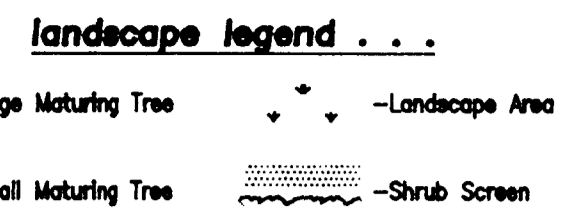


- landscape notes . . .**
- TOTAL PROJECT IMPERVIOUS AREA: 163,214 sq ft
  - MINIMUM BACK TO BACK DIMENSION FOR PLANTERS CONTAINING TREES: 8 ft
  - TOTAL LANDSCAPE AREA PROVIDED: 3 acres REQUIRED: 4 acres
  - MINIMUM TREE SIZE 2" CALIPER, 6' TALL. ALL MULTI-STEM PLANTS MUST BE TREE FORM (MAXIMUM 3 TO 5 TRUNKS) AND MINIMUM 10' TALL
  - AT LEAST 50% OF NEW TREES TO BE LARGE MATURING TYPE FROM APPROVED PLANTING LIST OR APPROVED BY URBAN FORESTRY STAFF.
  - FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL, SUBBASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL/PLANTING MIX OR UNCOMPACTED AND AMEND TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES.
  - ALL NON-IMPERVIOUS AREAS TO BE STABILIZED WITH SEEDING AND MULCH AS PRESCRIBED ON EROSION CONTROL PLAN.



**Project Summary**

Total Land Area: 10.375 acres  
 Car Wash Building Area: 4,290 sq ft  
 Paving Area: 22,000 sq ft  
 Coverage Ratio: .376 (total site)  
 Total Site Building Area: 116,820 sq ft

**STACKING NOTE:**  
 ONE STACKING SPACE PROVIDED IN WASH BAY FOR SELF-SERVICE & AUTOMATIC WASH.  
 TWO STACKING SPACES PROVIDED IN FRONT DRIVE FOR AUTOMATIC WASH (DRIVE WIDTH 20 FT).

- NOTES:**
- CONTOUR INTERVAL - 2 FEET
  - BENCHMARK IS RAILROAD SPIKE IN EDGE OF PAVEMENT AT FRONT OF SITE. ELEV=623.55 (NGVD)
  - OTHER UNDERGROUND UTILITIES MAY EXIST, THE LOCATION OF WHICH IS PRESENTLY UNKNOWN.
  - CROSS-SECTION ELEVATIONS WERE TAKEN FROM FLOOD MAP FURNISHED BY MECKLENBURG COUNTY ENGINEERING DEPARTMENT FOR IRVINS CREEK.
  - INFORMATION SHOWN BASED ON SURVEY BY JACK R. CHRISTIAN & ASSOCIATES SURVEYING 811 CENTRAL AVENUE SUITE #6, CHARLOTTE, NC

**I-2 (CD)**

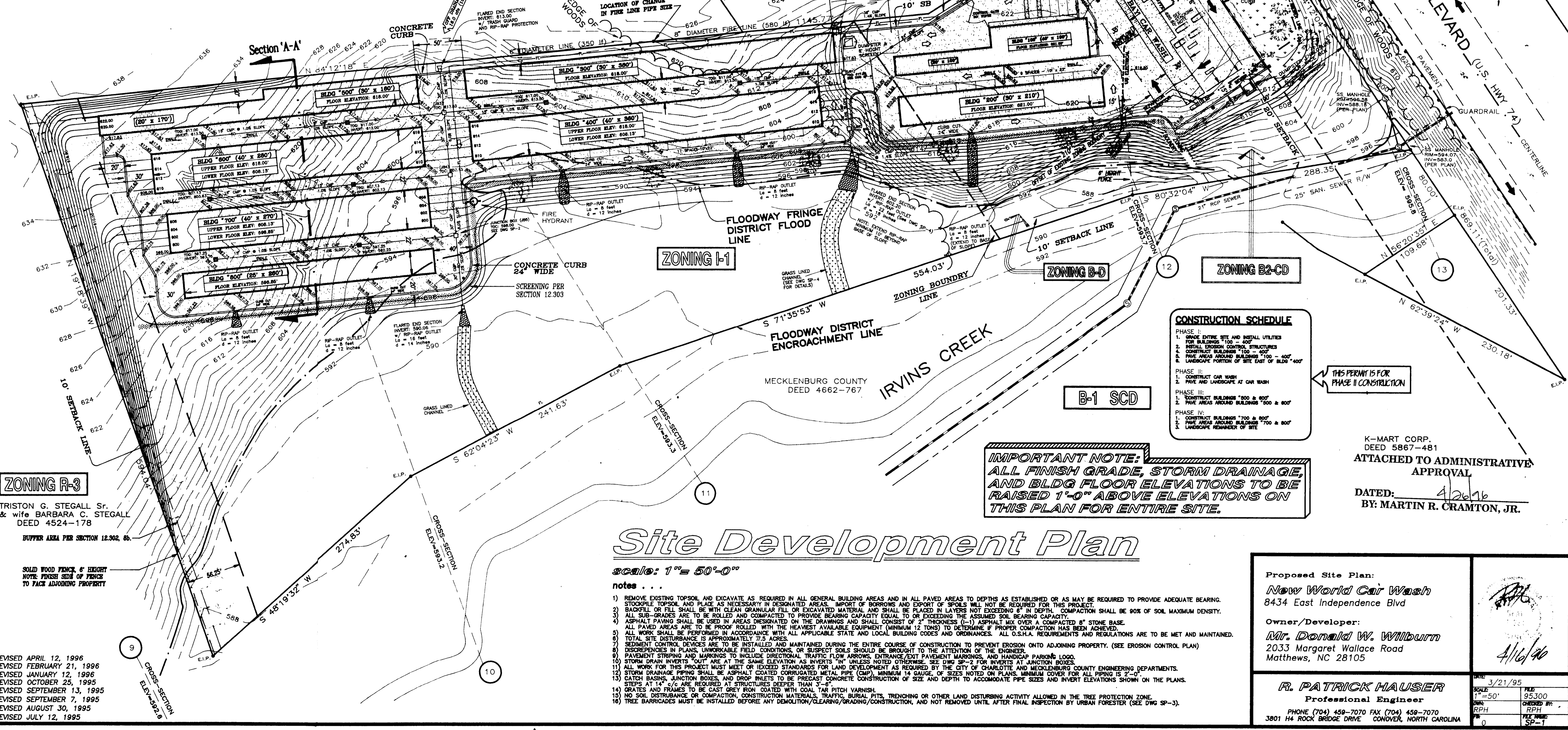
T.G. STEGALL LEASING CO., INC.  
 DEED 3417-253

NOTE: DRAINAGE BASEMENTS WILL BE PROVIDED IN TWO (2) LOCATIONS FOR OFF SITE DRAINAGE. BASEMENT WIDTH TO BE 30" FOR 36" PIPE SIZE AND 28" FOR 30" PIPE SIZE.

- LEGEND**
- EXISTING CONTOURS
  - NEW CONTOURS
  - SPOT ELEVATION
  - STORM DRAINAGE PIPING
  - FLARED END SECTION
  - TOP OF GRATE
  - TOP OF COVER
  - CATCH BASIN
  - JUNCTION BOX

**R-12 MF (CD)**

8" GAS, TELEPHONE, & ELECTRIC LINES ON THE THIS SIDE OF INDEPENDENCE BOULEVARD



**CONSTRUCTION SCHEDULE**

PHASE I:  
 1. GRADE ENTIRE SITE AND INSTALL UTILITIES FOR BUILDINGS 100 - 400'  
 2. INSTALL EROSION CONTROL STRUCTURES  
 3. CONSTRUCT BUILDINGS 100 - 400'  
 4. PAVE AREAS AROUND BUILDINGS 100 - 400'  
 5. LANDSCAPE PORTION OF SITE EAST OF BLDG 400'

PHASE II:  
 1. CONSTRUCT CAR WASH  
 2. PAVE AND LANDSCAPE AT CAR WASH

PHASE III:  
 1. CONSTRUCT BUILDINGS 500 & 600'  
 2. PAVE AREAS AROUND BUILDINGS 500 & 600'

PHASE IV:  
 1. CONSTRUCT BUILDINGS 700 & 800'  
 2. PAVE AREAS AROUND BUILDINGS 700 & 800'  
 3. LANDSCAPE REMAINDER OF SITE

THIS PERMIT IS FOR PHASE I CONSTRUCTION

**IMPORTANT NOTE:**  
 ALL FINISH GRADE, STORM DRAINAGE, AND BLDG FLOOR ELEVATIONS TO BE RAISED 1'-0" ABOVE ELEVATIONS ON THIS PLAN FOR ENTIRE SITE.

K-MART CORP.  
 DEED 5867-481  
 ATTACHED TO ADMINISTRATIVE APPROVAL  
 DATED: 4/26/96  
 BY: MARTIN R. CRAMTON, JR.

# Site Development Plan

scale: 1" = 50'-0"

- notes . . .**
- REMOVE EXISTING TOPSOIL AND EXCAVATE AS REQUIRED IN ALL GENERAL BUILDING AREAS AND IN ALL PAVED AREAS TO DEPTHS AS ESTABLISHED OR AS MAY BE REQUIRED TO PROVIDE ADEQUATE BEARING.
  - STOCKPILE TOPSOIL AND PLACE AS NECESSARY IN DESIGNATED AREAS. IMPORT OF BORROWNS AND EXPORT OF SPOILS WILL NOT BE REQUIRED FOR THIS PROJECT.
  - BACKFILL OR FILL SHALL BE WITH CLEAN GRANULAR FILL OR EXCAVATED MATERIAL AND SHALL BE PLACED IN LAYERS NOT EXCEEDING 8" IN DEPTH. COMPACTION SHALL BE 90% OF SOIL MAXIMUM DENSITY.
  - ALL SUB-GRADES ARE TO BE ROLLED AND COMPACTED TO PROVIDE BEARING CAPACITY EQUAL TO OR EXCEEDING THE ASSUMED SOIL BEARING CAPACITY.
  - ASPHALT PAVING SHALL BE USED IN AREAS DESIGNATED ON THE DRAWINGS AND SHALL CONSIST OF 2" THICKNESS (1-1) ASPHALT MIX OVER A COMPACTED 8" STONE BASE.
  - ALL PAVED AREAS ARE TO BE PROOF ROLLED WITH THE HEAVIEST AVAILABLE EQUIPMENT (MINIMUM 12 TONS) TO DETERMINE IF PROPER COMPACTION HAS BEEN ACHIEVED.
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES AND ORDINANCES. ALL O.S.H.A. REQUIREMENTS AND REGULATIONS ARE TO BE MET AND MAINTAINED.
  - TOTAL SITE DISTURBANCE IS APPROXIMATELY 7.5 ACRES.
  - SEDIMENT CONTROL DEVICES ARE TO BE INSTALLED AND MAINTAINED DURING THE ENTIRE COURSE OF CONSTRUCTION TO PREVENT EROSION ONTO ADJOINING PROPERTY. (SEE EROSION CONTROL PLAN)
  - DESIGNER'S IN PLANS, UNWORKABLE FIELD CONDITIONS, OR SUSPECT SOILS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
  - PAVEMENT STRIPING AND MARKINGS TO INCLUDE DIRECTIONAL TRAFFIC FLOW ARROWS, ENTRANCE/EXIT PAVEMENT MARKINGS, AND HANDICAP PARKING LOGO.
  - STORM DRAIN INVERTS "OUT" ARE AT THE SAME ELEVATION AS INVERTS "IN" UNLESS NOTED OTHERWISE. SEE DWG SP-2 FOR INVERTS AT JUNCTION BOXES.
  - ALL WORK FOR THIS PROJECT MUST MEET OR EXCEED STANDARDS FOR LAND DEVELOPMENT AS REQUIRED BY THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY ENGINEERING DEPARTMENTS.
  - STORM DRAINAGE PIPING SHALL BE ASPHALT COATED CORRUGATED METAL PIPE (CMP), MINIMUM 14 GAUGE, OF SIZES NOTED ON PLANS. MINIMUM COVER FOR ALL PIPING IS 2'-0". STEPS AT 14" C/C ARE REQUIRED AT STRUCTURES DEEPER THAN 3'-6".
  - CATCH BASINS, JUNCTION BOXES, AND DROP INLETS TO BE PRECAST CONCRETE CONSTRUCTION OF SIZE AND DEPTH TO ACCOMMODATE PIPE SIZES AND INVERT ELEVATIONS SHOWN ON THE PLANS.
  - NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE.
  - GRATES AND FRAMES TO BE CAST GREY IRON COATED WITH COAL TAR BITCH VARNISH.
  - TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/CLEARING/GRADING/CONSTRUCTION, AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTER (SEE DWG SP-3).

**ZONING R-3**  
 TRISTON G. STEGALL Sr.  
 & wife BARBARA C. STEGALL  
 DEED 4524-178  
 BUFFER AREA PER SECTION 12.302, 80.

SOLID WOOD FENCE 6' HEIGHT  
 NOTE: FINISH SIDE OF FENCE TO FACE ADJOINING PROPERTY

- REVISED APRIL 12, 1996  
 REVISED FEBRUARY 21, 1996  
 REVISED JANUARY 12, 1996  
 REVISED OCTOBER 25, 1995  
 REVISED SEPTEMBER 13, 1995  
 REVISED SEPTEMBER 7, 1995  
 REVISED AUGUST 30, 1995  
 REVISED JULY 12, 1995

Proposed Site Plan:  
**New World Car Wash**  
 8434 East Independence Blvd

Owner/Developer:  
**Mr. Donald W. Wilburn**  
 2033 Margaret Wallace Road  
 Matthews, NC 28105

**R. PATRICK HAUSER**  
 Professional Engineer  
 PHONE (704) 459-7070 FAX (704) 459-7070  
 3801 H4 ROCK BRIDGE DRIVE CONOVER, NORTH CAROLINA

DATE: 3/21/96  
 SCALE: 1" = 50'-0"  
 DRAWN BY: RPH  
 CHECKED BY: RPH  
 TITLE: SP-1