

**CONDITIONAL NOTES**

**GENERAL PROVISIONS**

All development standards established under the City of Charlotte Zoning Ordinance (the Ordinance) for the INST Zoning District Classification shall be followed in connection with development taking place on the site unless higher standards are established under this rezoning plan. The configuration, placement, and size of the structures and parking as shown on the schematic plan are general in nature and may be altered or modified during design development and construction document phases within the building envelopes depicted on the rezoning plan.

**PERMITTED USES**

The property shall be used as a library with all associated ancillary facilities and functions required throughout the site for this use.

**SETBACKS**

1. Parking setbacks shall be a minimum of 20' off of the right-of-way line of Rea Road. Building setbacks shall be a minimum of 30' off of the right-of-way of Rea Road within the designated Building/Parking Envelope.
2. A minimum parking and building setback of 40' is established from the right-of-way line of NC Hwy 51; however, this setback is superseded by the existing 100' buffer.

**BUFFERS**

1. A 55' wide buffer will be established along the southern and eastern boundaries of the property, as required by the ordinance.
2. Within the 55' buffer, existing vegetation will remain in areas not affected by construction of a retaining wall along the 55' buffer line. Where existing vegetation is removed from the 55' buffer, supplemental plantings will occur as necessary to meet the requirements of the Ordinance.
3. A 100' buffer and landscape easement will remain established along the northern property line. Existing vegetation is to remain within the 100' buffer.

**LANDSCAPING AND SCREENING**

1. Screening shall conform with the standards and treatments specified in Section 12.303 of the Ordinance.
2. Tree planting will conform with the City of Charlotte Tree Ordinance. However, if a hardship is faced during final design of the site in relation to the requirements of the Tree Ordinance, a variance may be requested for relief of the strict interpretation of the Tree Ordinance.

**ACCESS POINT**

The site will be accessed directly across from the existing intersection of the Calvary Church driveway and Rea Road where a median cut currently exists. The design of the driveway will be to City of Charlotte Department of Transportation standards.

**PARKING**

1. Each of the parking areas depicted on this rezoning plan may vary in size and location, but in all events, all street parking will meet the minimum requirements established under the ordinance.
2. Parking areas may be constructed within the depicted 'building/parking' envelopes as well as within the depicted 'parking' envelopes.

**STORMWATER MANAGEMENT**

Stormwater runoff from the site will be managed through a variety of proven techniques which satisfy the standards imposed by the City of Charlotte. Stormwater control devices are not allowed within the required buffers.

**FIRE PROTECTION**

1. Adequate fire protection in the form of fire hydrants will be provided to the Fire Marshall's specifications. Plans for each building will be submitted to the Fire Marshall's office for approval before the construction of that building commences.
2. Fire hydrants will be located within 500' of any building constructed on the property.

**SITE LIGHTING**

1. Site lighting standards will be a maximum height of 15' and no direct illumination of adjacent properties will occur. Lighting devices which are not solely intended to light pedestrian entrances are prohibited from being mounted on the buildings.

**NOISE**

1. Outside speaker devices for music and paging are prohibited.

**ARCHITECTURAL CONTROLS**

1. No building on the property may exceed 40' in height.

**LEGAL DESCRIPTION**

BEGINNING at a point in the southerly right-of-way line of Pineville-Matthews Road (N.C. Highway 51), said point being also the easterly right-of-way line of Rea Road, and running thence along Rea Road five courses as follows:  
 1. S 45-17-47 W 134.41 feet;  
 2. S 11-30-27 W 39.28 feet;  
 3. with the arc of a circular curve to the left, having a radius of 900.00 feet, an arc distance of 288.03 feet;  
 4. S 12-00-00 E 370.00 feet;  
 5. with the arc of a circular curve to the right, having a radius of 1,000.00 feet, an arc distance of 268.03 feet;  
 thence N 69-58-03 E 257.08 feet; thence N 41-36-28 W 168.45 feet; thence N 05-56-08 E 956.14 feet; to a point in the southerly right-of-way line of Pineville-Matthews Road, thence with said right-of-way, with an arc of a circular curve to the left, having a radius of 7,750.00 feet, an arc distance of 226.83 feet to the point of BEGINNING and containing 6.213 acres.

**SITE DATA**

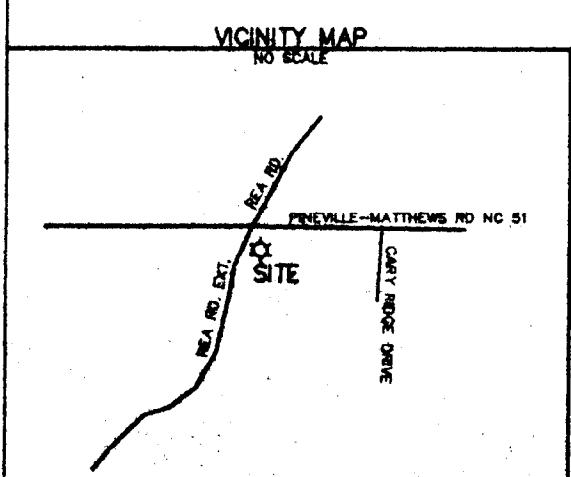
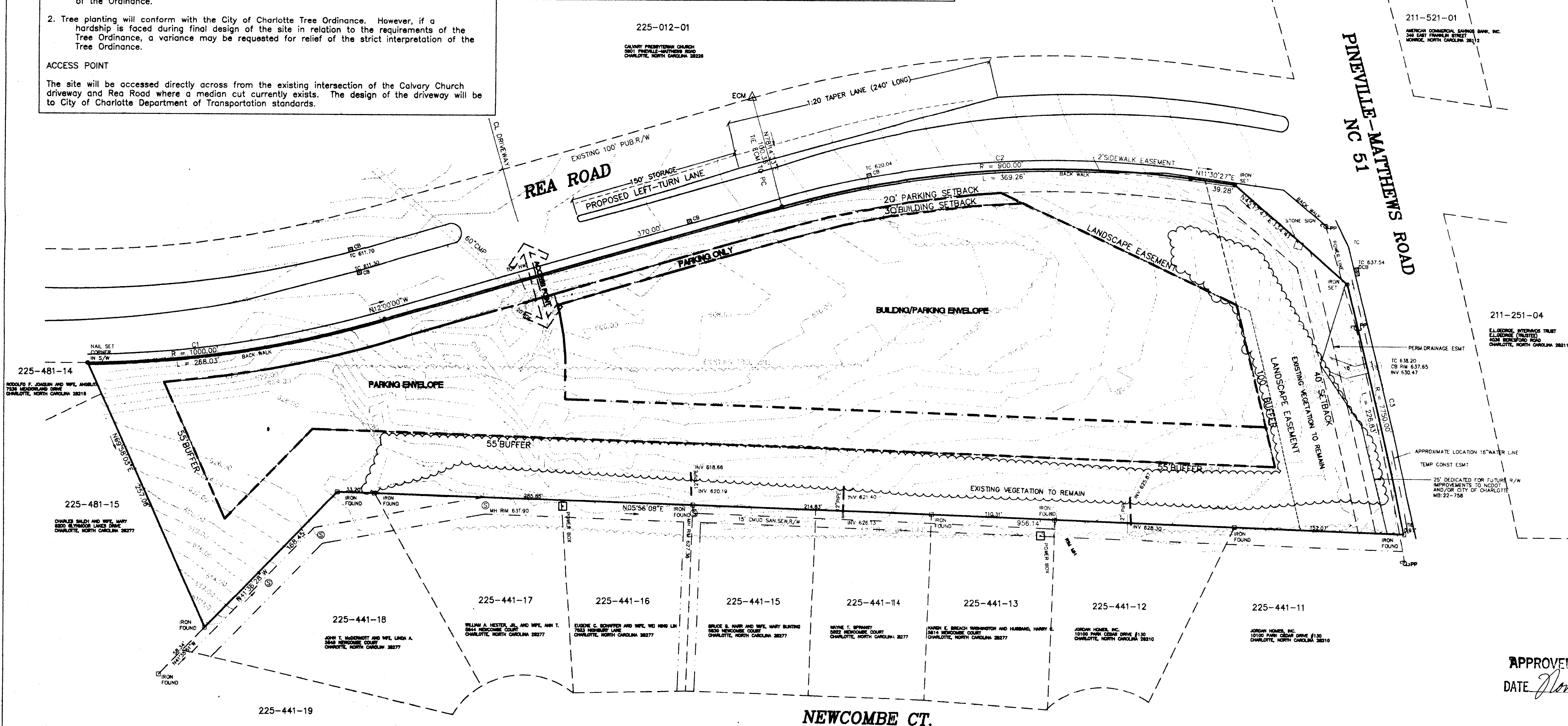
EXISTING ZONING	R-3(CD)
PROPOSED ZONING	INST(CD)
TOTAL ACREAGE	6.213
PROPOSED TOTAL BUILDING AREA	40,000 SQ.FT.
TOTAL PARKING REQUIRED:	132 SPACES
(40,000 SQ. FT. ÷ 1 SPACE PER 300 SQ. FT.)	
TOTAL PARKING PROVIDED:	201 SPACES

**ARCHITECT:**

LITTLE AND ASSOCIATES ARCHITECTS  
 3815 WESTPARK DRIVE  
 CHARLOTTE, NORTH CAROLINA 28217  
 (704) 525-6350

**PETITIONER:**

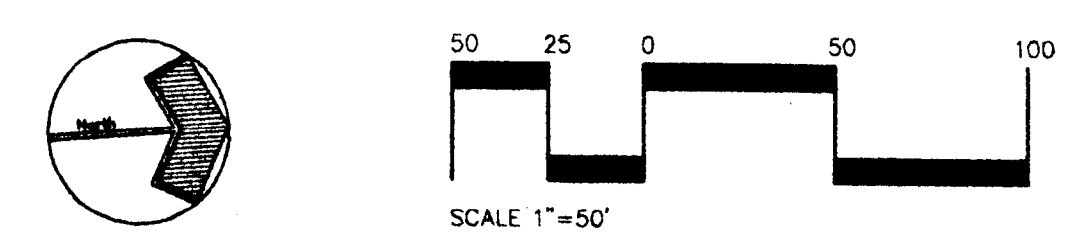
PUBLIC LIBRARIES OF CHARLOTTE AND MECKLENBURG COUNTY  
 310 NORTH TRYON STREET  
 CHARLOTTE, NORTH CAROLINA 28202  
 (704) 336-2860



APPROVED BY CITY COUNCIL  
 DATE November 27, 1995  
 95-89

BASED ON SURVEY BY YARBROUGH-WILLIAMS & ASSOCIATES  
 (801 CLANTON ROAD, SUITE 110, CHARLOTTE, N.C. 28217,  
 (704) 525-6024, DATED 4 MARCH, 1993.

AS FOR PUBLIC HEARING



**Little & Associates Architects**  
 3815 Westpark Drive  
 Charlotte, NC 28217  
 704 525-6350  
 704 525-7889 fax

This drawing and the design shown are the property of Little and Associates Architects, Inc. and are not to be used for any other project without the written consent of Little and Associates Architects, Inc. Any reproduction or use of this drawing without the written consent of Little and Associates Architects, Inc. is prohibited and any infringement will be subject to legal action.

© 1993 Little and Associates Architects, Inc.

Project: **SOUTH REGIONAL LIBRARY**  
 REA ROAD / N.C. HIGHWAY 51  
 Sheet Title: **REZONING PLAN**  
 TECHNICAL DATA SHEET

V. P. in Charge

MEZEL	Project Architect/Job Captain
QAMEL	Drawn By
MAJORS	Date Drawn
7/2/95	
CADD Draw Name	
REALIBLING	1-97
Revisions	
No. 1	Date 9/14/95
No. 2	Date 10/24/95
No. 3	Date 11/20/95
Issue Date	7/24/95

Project Number: **3791-01**  
 Sheet: **RZ-1** of 2  
 95-84

**SITE DATA**

EXISTING ZONING	R-3(CD)
PROPOSED ZONING	INST(CD)
TOTAL ACREAGE	6.213
PROPOSED TOTAL BUILDING AREA	40,000 SQ.FT.
TOTAL PARKING REQUIRED:	132 SPACES
(40,000 SQ. FT. ÷ 1 SPACE PER 300 SQ. FT.)	
TOTAL PARKING PROVIDED:	201 SPACES

**ARCHITECT:**

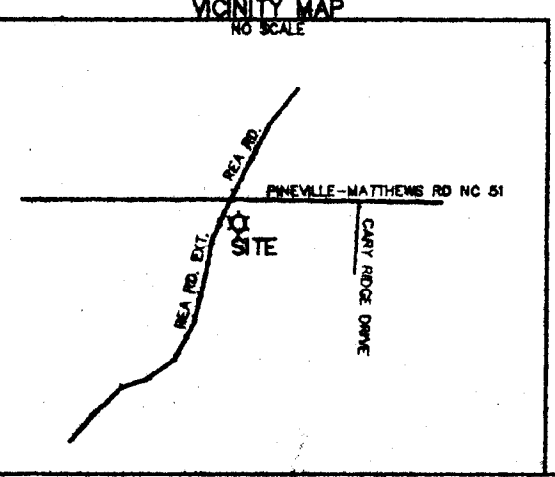
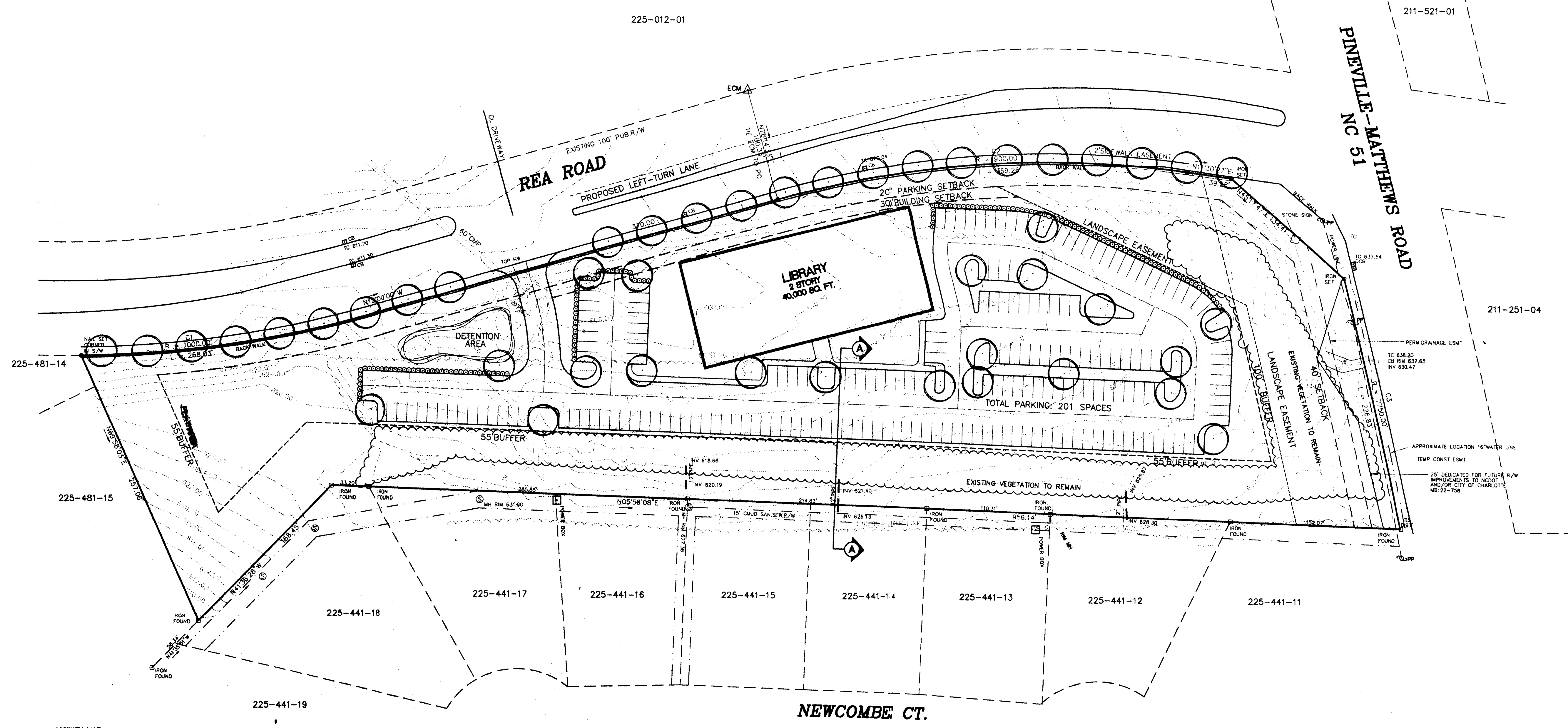
LITTLE AND ASSOCIATES ARCHITECTS  
 3815 WESTPARK DRIVE  
 CHARLOTTE, NORTH CAROLINA 28217  
 (704) 525-6350

**PETITIONER:**

PUBLIC LIBRARIES OF CHARLOTTE AND MECKLENBURG COUNTY  
 310 NORTH TRYON STREET  
 CHARLOTTE, NORTH CAROLINA 28202  
 (704) 336-2860

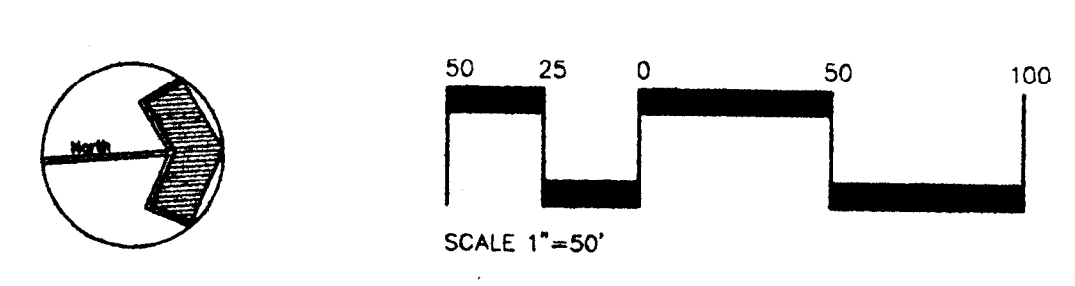
**SCHEMATIC SITE PLAN**

THIS PLAN IS SCHEMATIC IN NATURE AND SUBJECT TO MODIFICATION WITHIN THE LIMITS DEFINED WITHIN THIS REZONING DOCUMENT DURING SITE DEVELOPMENT DESIGN.



BASED ON SURVEY BY YARBROUGH-WILLIAMS & ASSOCIATES  
 (801 CLANTON ROAD, SUITE 110, CHARLOTTE, N.C. 28217,  
 (704) 525-6024, DATED 4 MARCH, 1993.

AS FOR PUBLIC HEARING



**Little & Associates Architects**  
 3815 Westpark Drive  
 Charlotte, NC 28217  
 704 525-6350  
 704 525-7889 fax

This drawing and the design shown are the property of Little and Associates Architects, Inc. and are not to be used for any other project without the written consent of Little and Associates Architects, Inc. Any reproduction or use of this drawing without the written consent of Little and Associates Architects, Inc. is prohibited and any infringement will be subject to legal action.

© 1993 Little and Associates Architects, Inc.

Project: **SOUTH REGIONAL LIBRARY**  
 REA ROAD / N.C. HIGHWAY 51  
 Sheet Title: **REZONING PLAN**  
 SCHEMATIC MASTER PLAN

V. P. in Charge

MEZEL	Project Architect/Job Captain
QAMEL	Drawn By
MAJORS	Date Drawn
7/2/95	
CADD Draw Name	
07/24/95-2.dwg	1-97
Revisions	
No. 1	Date 9/14/95
No. 2	Date 10/24/95
No. 3	Date 11/20/95
Issue Date	7/24/95

Project Number: **3791-01**  
 Sheet: **RZ-2** of 2  
 95-84