

VICINITY MAP

DEVELOPMENT DATA

SITE AREA: 10.72 ACRES
 EXISTING ZONING: R-17 MF
 PROPOSED ZONING: B-2 (CD)
 PROPOSED USES: OFFICE, HOTEL, RESTAURANT
 TOTAL BUILDING AREAS:
 120,000 S.F. OFFICE SPACE
 100 ROOM HOTEL
 7,500 S.F. RESTAURANT SPACE
 PARKING PROVIDED: SHALL MEET OR EXCEED ZONING ORDINANCE REQUIREMENTS

APPROVED BY CITY COUNCIL

DATE May 20, 1996

1996-32

Jack S. Crouch
 2711 Rothwood Drive
 Charlotte, NC 28211
 Tax ID #061-241-16

Ernest Wilson Anthony and
 Wife, Hazel
 6007 Tuckaseegee Road
 Charlotte, NC 28208
 Tax ID #061-241-14

Ben Jack Dean and
 Wife, Mildred T.
 5915 Tuckaseegee Road
 Charlotte, NC 28208
 Tax ID #061-241-13

Marvin Sutton, II
 1313 Pinecrest Drive
 Rock Hill, SC 29730
 Tax ID #061-241-11

J.C. Brookshire
 Post Office Box 8123
 Charlotte, NC 28208
 Tax ID #061-241-07

6' screen fence to extend entire length of buffer. Location of fence in buffer varies to accommodate future proposed grades (see cross-sections.)

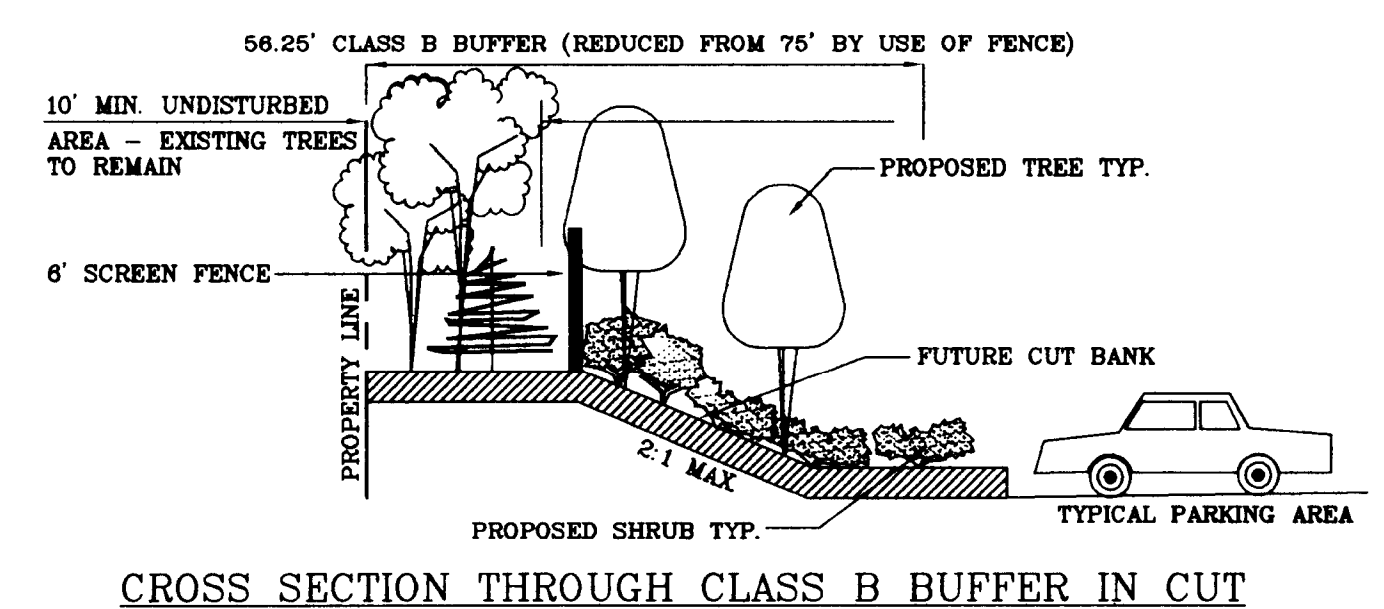
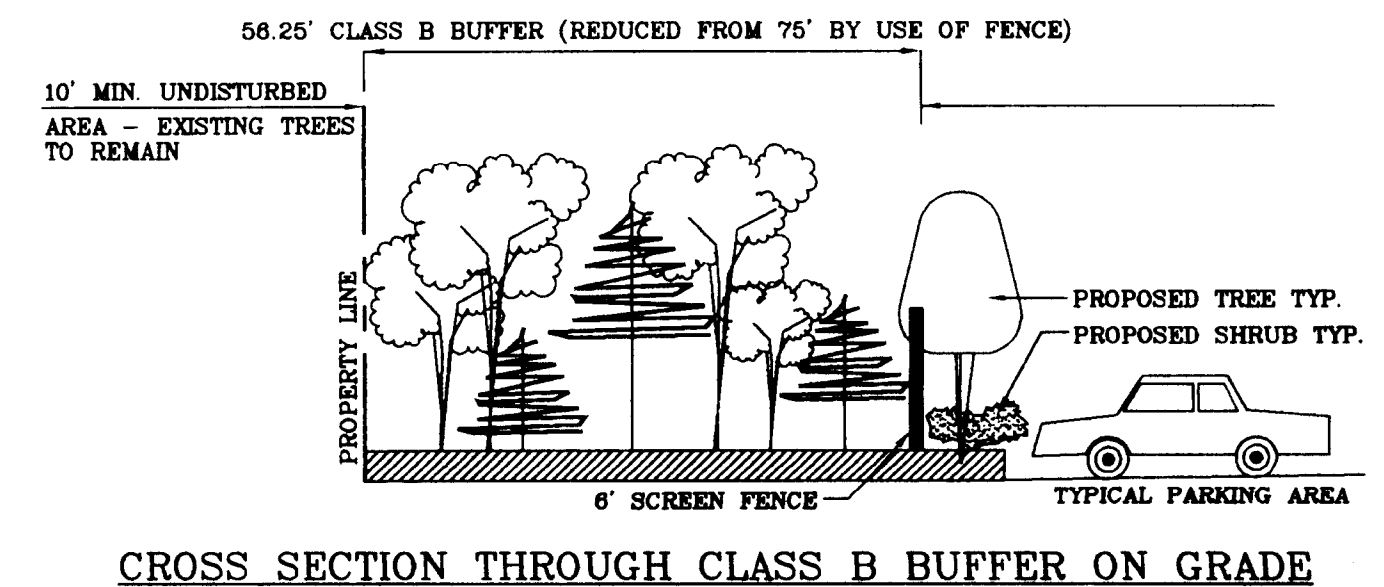
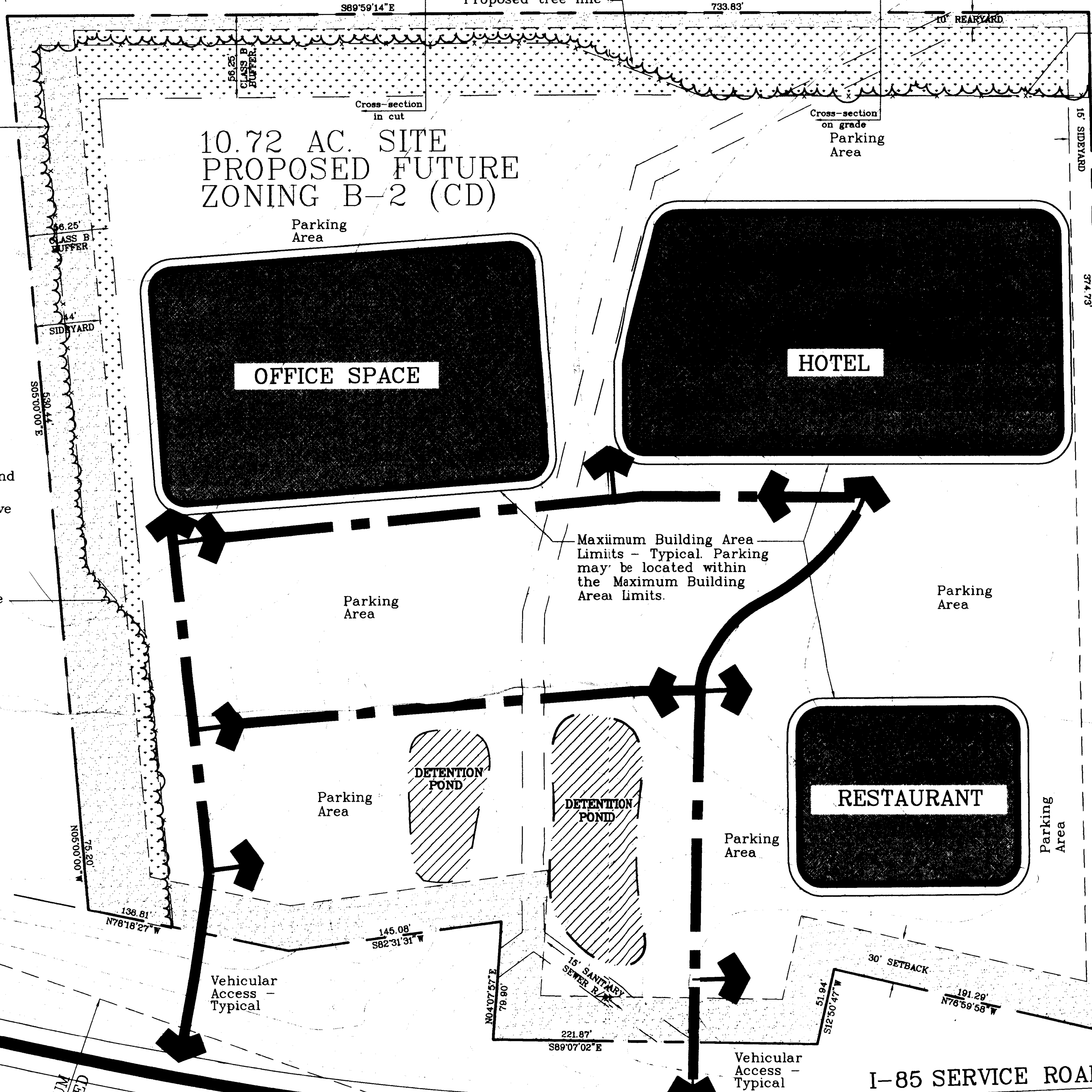
Preston Ira Aaron and
 Irene Deaton Aaron
 3111 Grand Lake Drive
 Charlotte, NC 28208
 Tax ID #061-251-12

John J. Dobson and
 Fred T. Boyd, Sr.
 c/o Dowell Moter Inn
 4040 South I-85
 Charlotte, NC 28208
 Tax ID #061-241-05

John J. Dobson and
 Fred T. Boyd, Sr.
 c/o Dowell Moter Inn
 4040 South I-85
 Charlotte, NC 28208
 Tax ID #061-241-04

GENERAL NOTES

- This Technical Data Plan and the accompanying schematic site plan depict a proposed form of development for this property. The requirements of the Technical Data Plan are binding; however, the building locations, building sizes and building shapes, as well as the exact parking configuration are schematic in nature and may be subject to revisions, but in no event shall they disregard the Technical Data requirements.
- Access to the site shall be limited to the general areas shown on the Technical Data Plan and are subject to design and location approval by the Charlotte Department of Transportation. Service road improvements will also be made as necessary to acquire driveway permits from the Charlotte Department of Transportation.
- Signage and parking shall be provided in accordance with Ordinance requirements. In addition, petitioner commits to comply with all other applicable ordinances, including the Tree Ordinance.
- Storm water detention shall be provided in the general area shown, with the exact design subject to the approval of the Charlotte Engineering Department. In no event shall any detention facility be placed within the required setback or buffer areas.
- Exterior buffer areas will be established in accordance with the specifications provided on the Technical Data Plan. All buffer areas will, at a minimum, satisfy the requirements of Section 112.304 of the Ordinance. Buffer areas are to remain as open space except to the extent necessary to accommodate the proposed fence, grading, drainage, and utility lines.
- The drainage areas extending through the middle of the property may be left as either a stabilized open drainage channel or piped at the discretion of the property owner.
- A fire hydrant shall be provided within 750 feet of the most remote point of any building as a fire truck would travel.
- The hotel shall be limited to 100 rooms, the restaurant shall be no greater than 7,500 square feet, and the office building shall be 120,000 square feet of office space or less. In no case shall more than three buildings or any structure greater than four stories in height be constructed on this site.
- No billboards shall be placed on this site.
- Site lighting shall be a maximum of 15 feet in height and will be directed/screened to prevent glare on adjacent residential properties.
- To the extent practical, proposed drainage and utility lines will penetrate the buffer at right angles to the buffer.



J.C. Brookshire
 Post Office Box 8123
 Charlotte, NC 28208
 Tax ID #061-252-02

J.C. Brookshire
 Post Office Box 8123
 Charlotte, NC 28208
 Tax ID #061-252-13

J.C. Brookshire
 Post Office Box 81123
 Charlotte, NC 28208
 Tax ID #061-252-01

Essex House Condominium Corporation
 c/o Marriott Corporation
 Department 938.07 Marriott Drive
 Washington, DC 20058
 Tax ID #061-223-03

Project Manager
LRM
 Drawn By
TND
 Checked By
LRM
 Date
11/22/95
 Project Number
95059

No.	Date	By	Description
1	3/13/96	TND	REVISED SETBACK TO 30', REVISED GENERAL NOTES, ADDED FENCE, REVISED CROSS SECTIONS, REVISED DETENTION POND.
2	5/23/96	TND	REV. BLD. HEIGHT LIMITATION (NOTE #8)



DPR ASSOCIATES, INC.
 Landscape Architects
 Planners & Engineers
 2036 East Seventh Street
 Charlotte, NC 28204
 704/332-1204

Technical Data Plan Petition #96-32

INTERSTATE 85 REZONING
 INDIGO HOSPITALITY GROUP
 CHARLOTTE, NORTH CAROLINA

Scale: 1" = 50'

Sheet Number
RZ-1

Of Total

As for Public Hearing