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# City of Charlotte – Planning Dept. Scanning Rezoning Files

Petition # \_\_\_\_\_

## Document type:

- Applications
- Correspondence
- Department Comments
- Land Use Consistency
  - Mail Info
  - Mapping
  - Other
- Site Plans



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Petition #: 96-33(c)

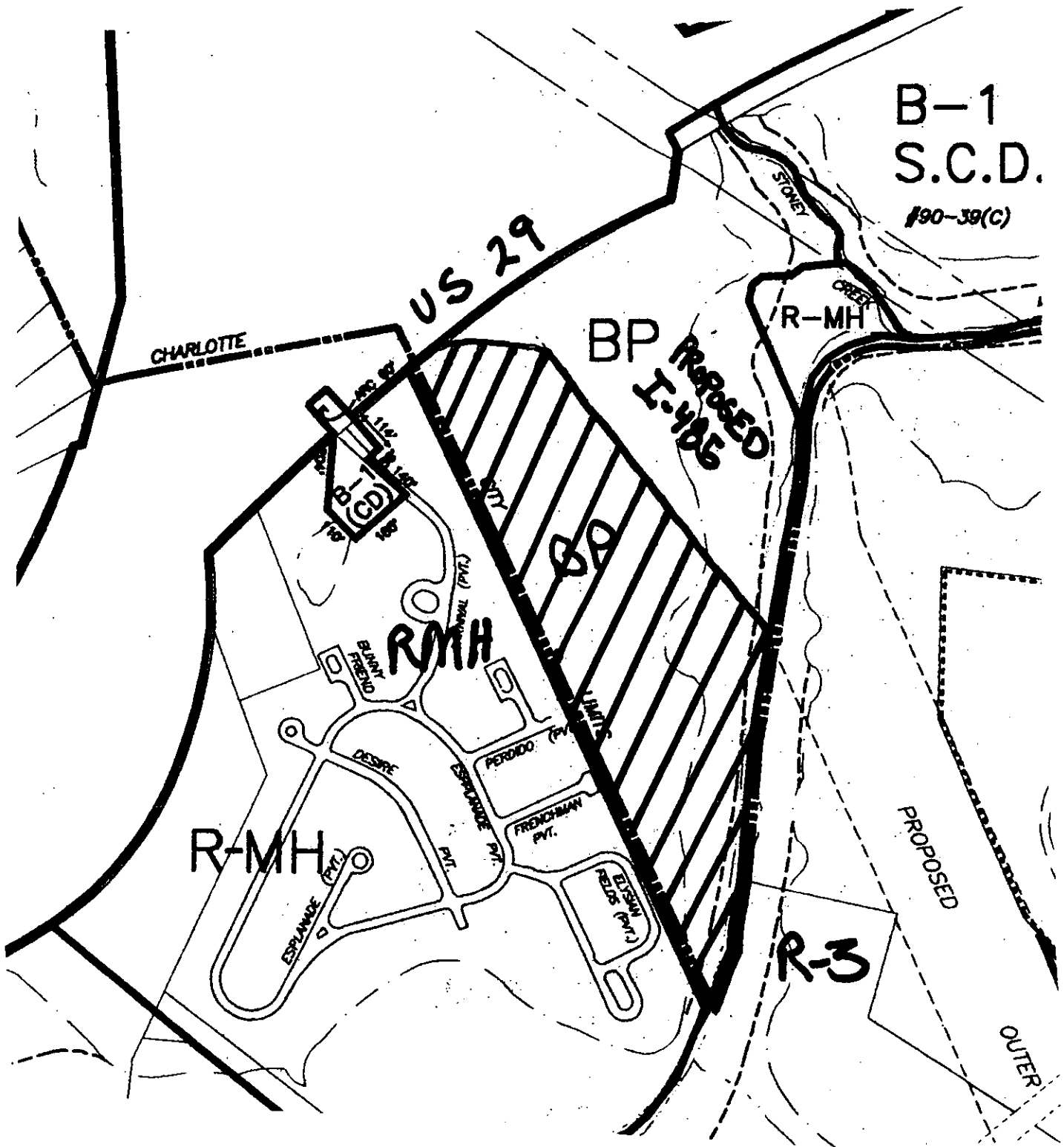
Petitioner: Morningstar Group, Inc.

Hearing Date: September 10, 1996

Zoning Classification (Existing): BP

Zoning Classification (Requested): BD(CD)

Location: Approximately 19.232 acres located on the west side of the proposed outer belt (I-485) south of US Hwy 29.



# OFFICIAL REZONING APPLICATION MECKLENBURG COUNTY

Petition #: 96-33(C)

Date Filed: June 24, 1996

Received By: T. Jones

OFFICE USE ONLY

## OWNERSHIP INFORMATION:

Property Owner: Funded Land Investment Partners

Owner's Address: c/o T.B. Harris, 741 Kenilworth Avenue, Suite 102, Charlotte NC 28204

Date Property Acquired: January 6, 1988

Tax Parcel Number(s): 051-033-02

LOCATION OF PROPERTY (Address or Description): Southeast side of U.S. Highway 29

(North Tryon Street) at southeast corner of the Outerbelt (under construction).

Size (Sq.Ft. or Acres): 19.232 acres Street Frontage (Ft.): 333.5' on U.S. Hwy. 29

Current Land Use: Vacant

## ZONING REQUEST:

Existing Zoning: B-P Proposed Zoning: B-D(CD)

Purpose of Zoning Change: To allow use of the site for public storage. Because of

area being taken for Outerbelt right-of-way, business park use is not appropriate.

Fred E. Bryant  
Name of Agent

1850 E. Third Street, Charlotte NC 28205  
Agent's Address

333-1680 376-5715  
Telephone Number Fax Number

[Signature]  
Signature of Property Owner  
if other than Petitioner Funded Land Investment Partners

Morningstar Group, Inc.  
Name of Petitioner(s)

10833 Monroe Road, Matthews NC 28105  
Address of Petitioner(s)

847-0936 847-1640  
Telephone Number Fax Number

[Signature]  
Signature