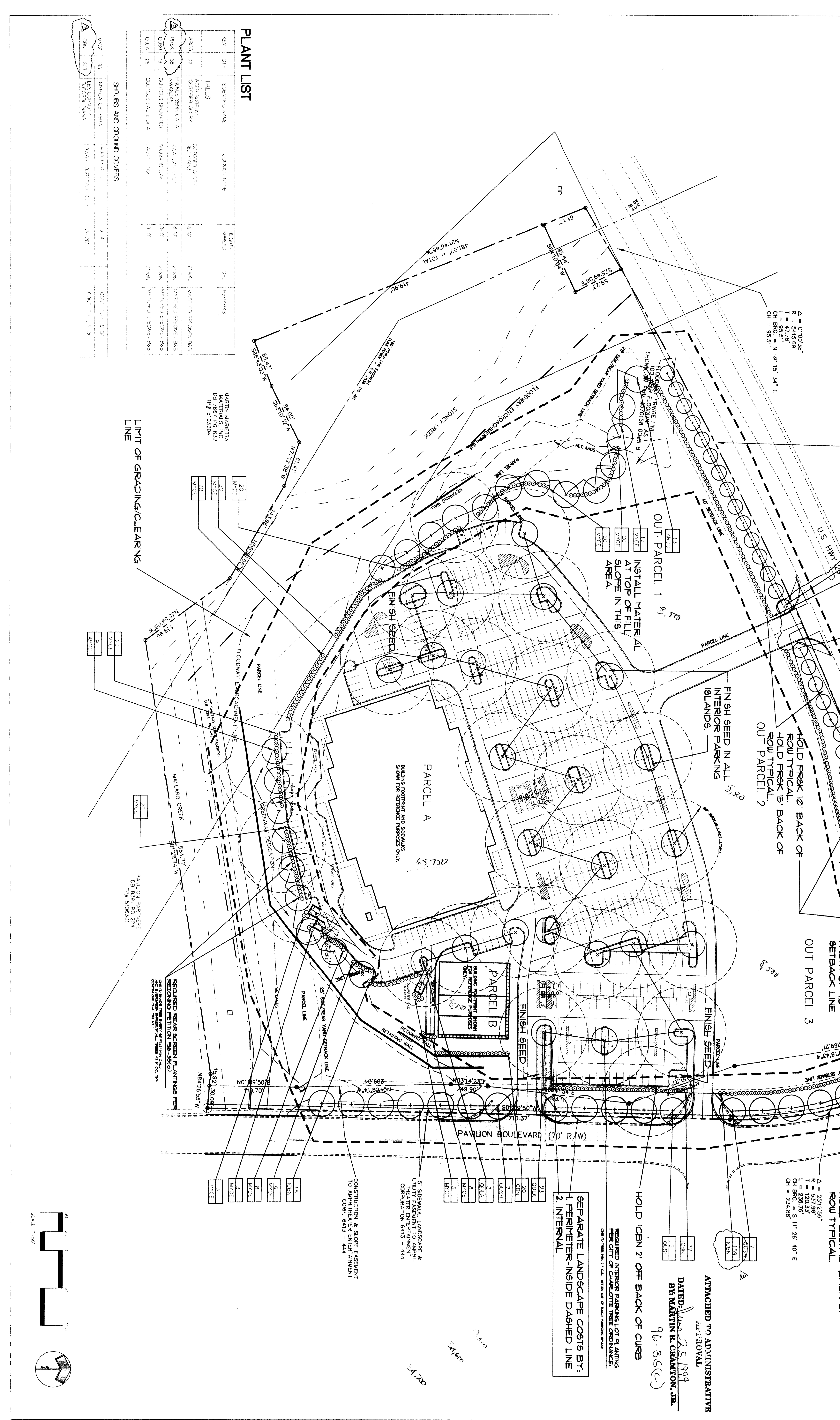


- GENERAL NOTES**
1. CONSULT PLANT LIST THIS SHEET FOR PLANT SIZES AND SPECIFICATIONS.
 2. CONSULT LOCAL AGENCY FOR ALL CITY, COUNTY AND STATE REGULATIONS AND ORDINANCES.
 3. CONSULT LOCAL AGENCY FOR ALL CITY, COUNTY AND STATE REGULATIONS AND ORDINANCES.
 4. HOLD TO BE FINE WEEDS.
 5. COMPOSITE LANDSCAPE INSTALLATION INSURANCE.
 6. SEE SHEET L-1 FOR LANDSCAPE DETAILS.
 7. SEE SHEET L-2 FOR LANDSCAPE DETAILS.
 8. SEE SHEET L-3 FOR LANDSCAPE DETAILS.
 9. SEE SHEET L-4 FOR LANDSCAPE DETAILS.
 10. SEE SHEET L-5 FOR LANDSCAPE DETAILS.
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 16. SEE SHEET L-11 FOR LANDSCAPE DETAILS.
 17. SEE SHEET L-12 FOR LANDSCAPE DETAILS.
 18. SEE SHEET L-13 FOR LANDSCAPE DETAILS.
 19. SEE SHEET L-14 FOR LANDSCAPE DETAILS.
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 21. SEE SHEET L-16 FOR LANDSCAPE DETAILS.
 22. SEE SHEET L-17 FOR LANDSCAPE DETAILS.
 23. SEE SHEET L-18 FOR LANDSCAPE DETAILS.
 24. SEE SHEET L-19 FOR LANDSCAPE DETAILS.
 25. SEE SHEET L-20 FOR LANDSCAPE DETAILS.

PLANTING REQUIREMENT SCHEDULE

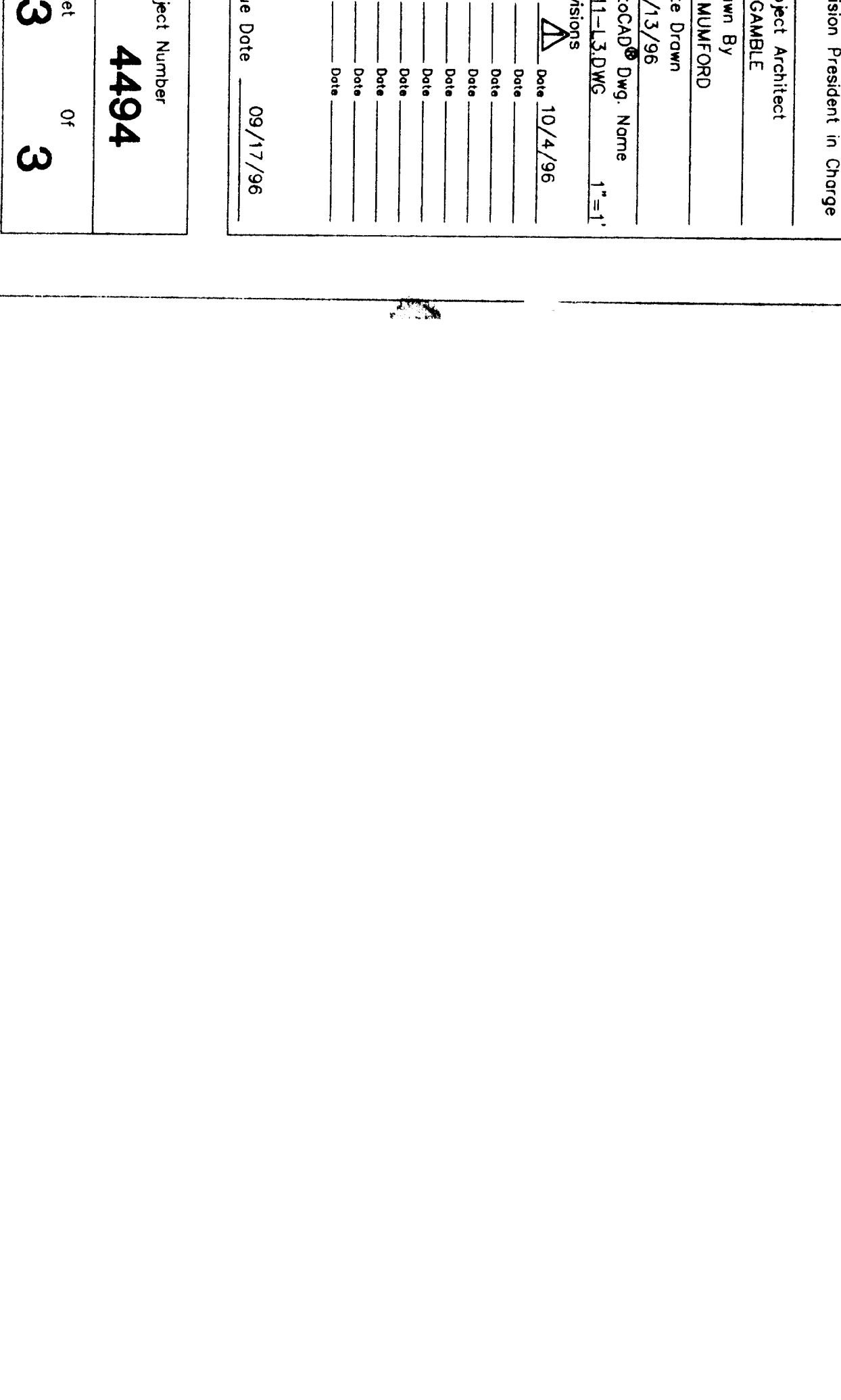
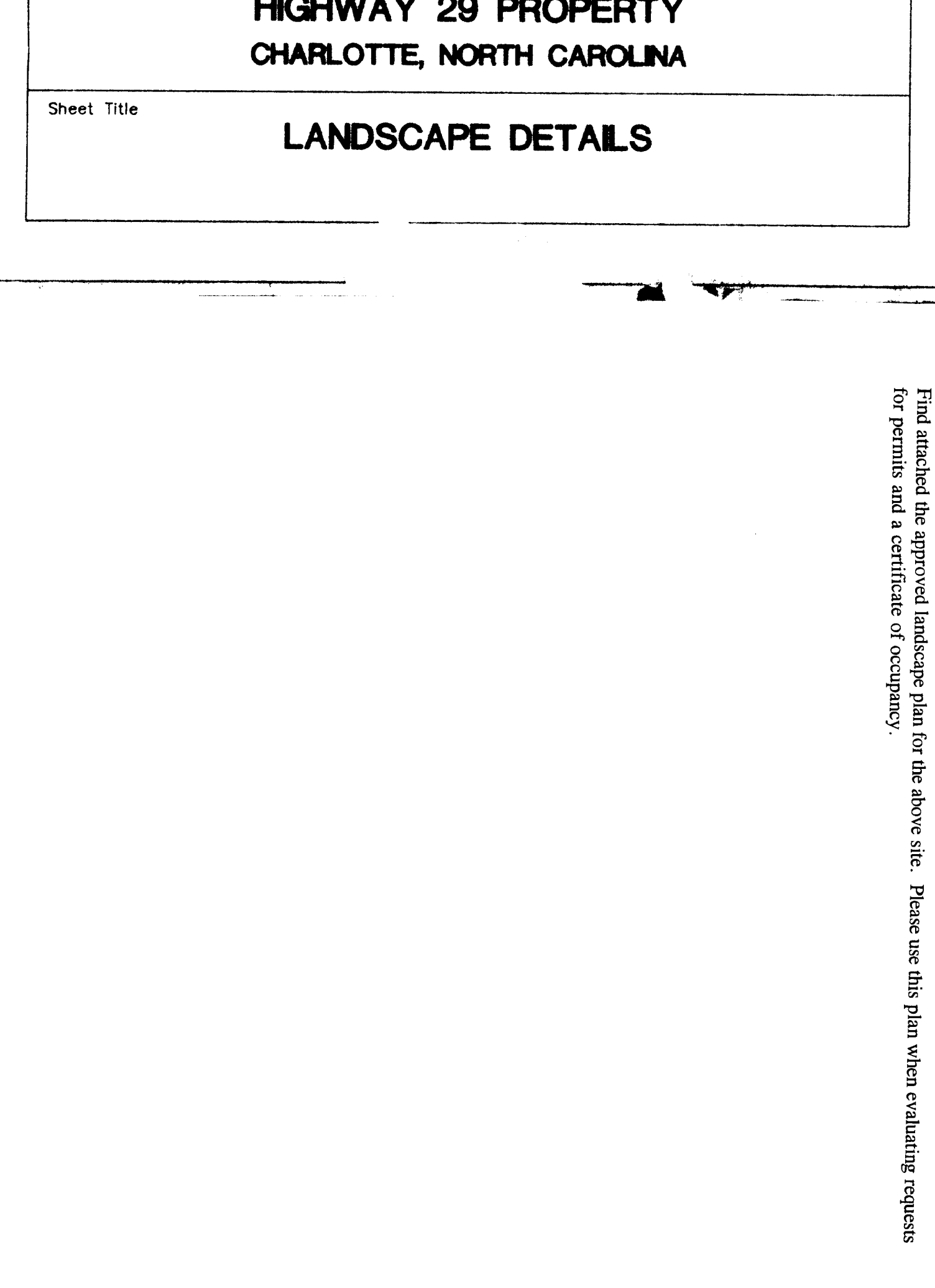
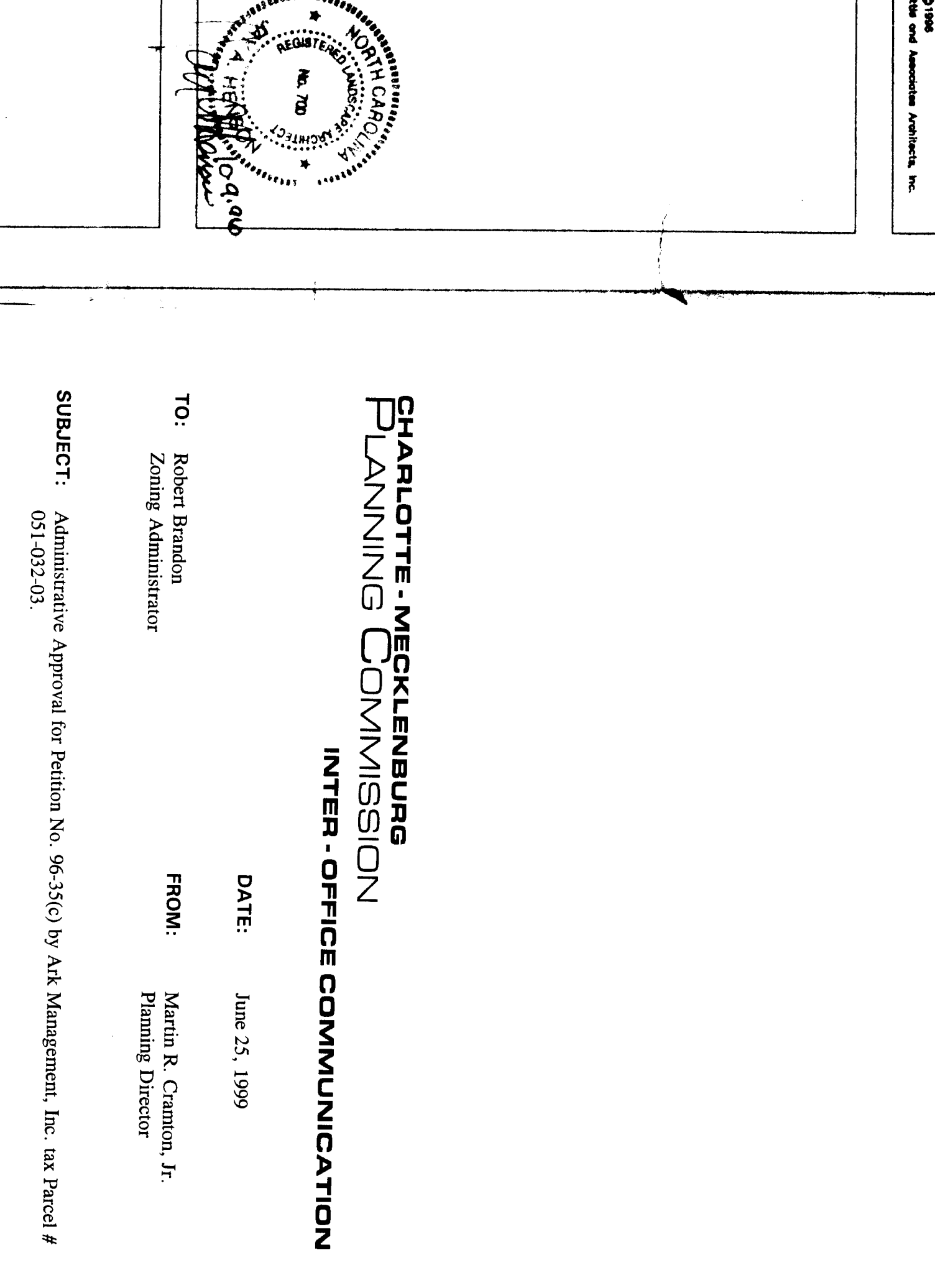
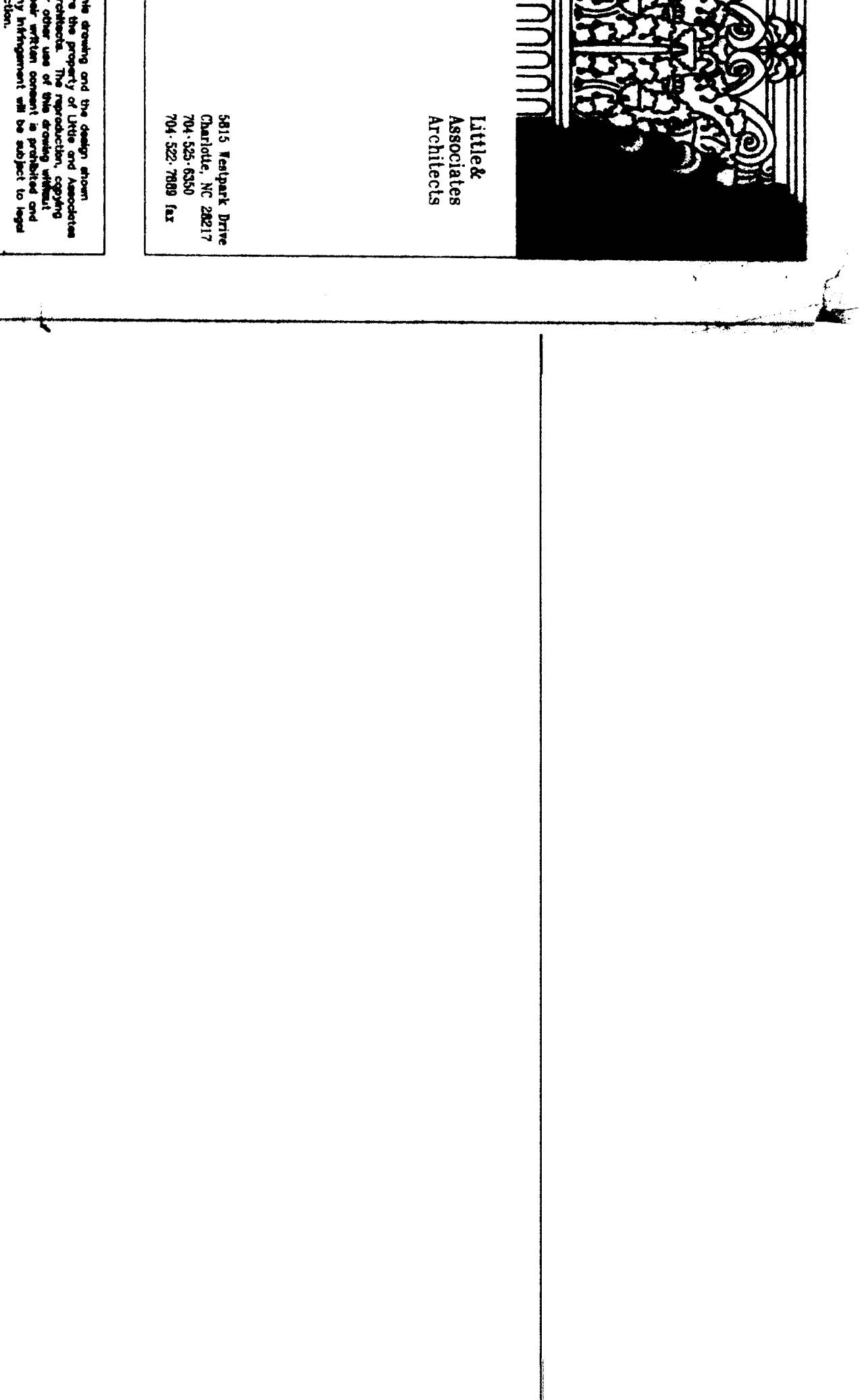
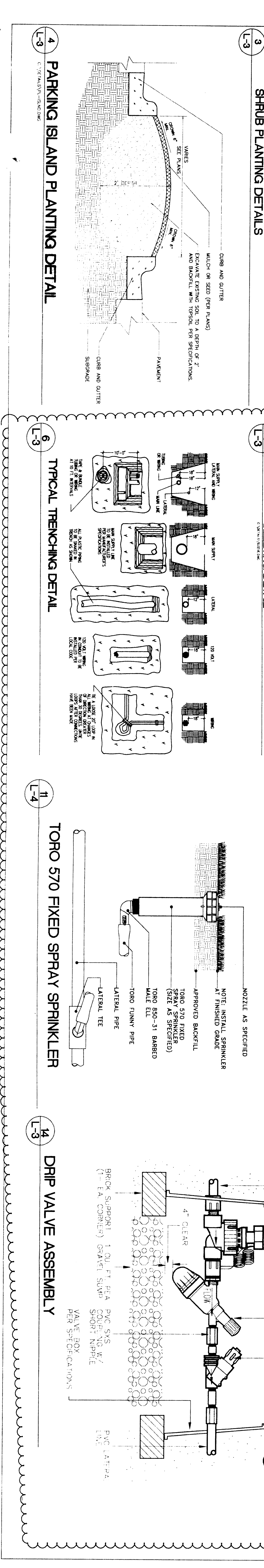
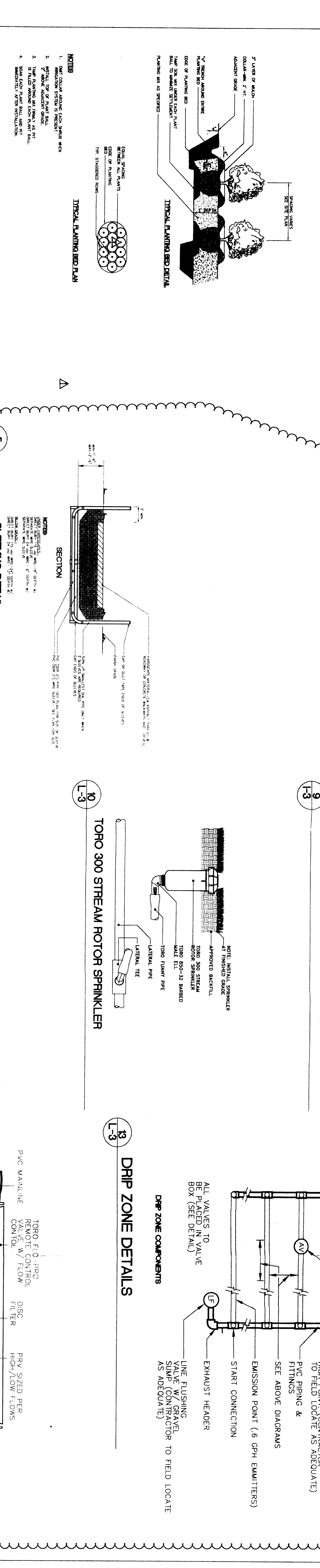
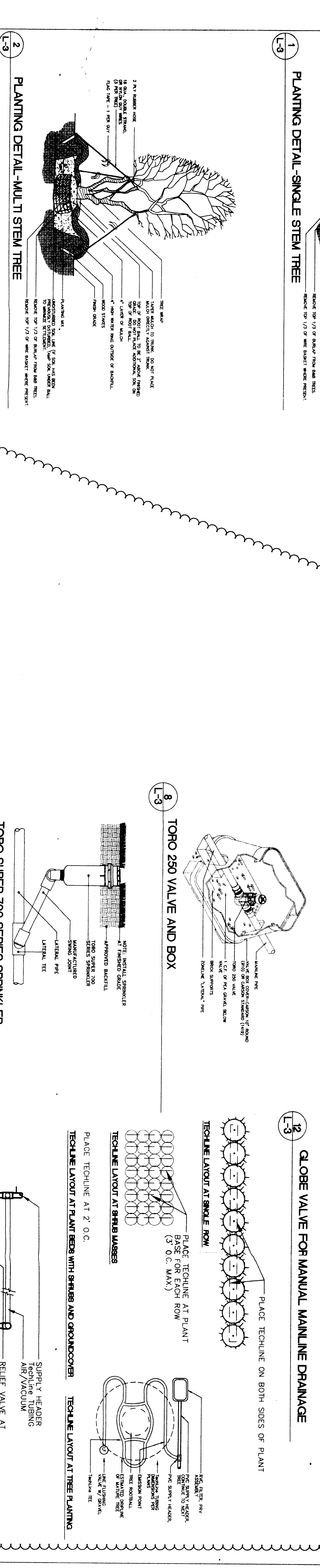
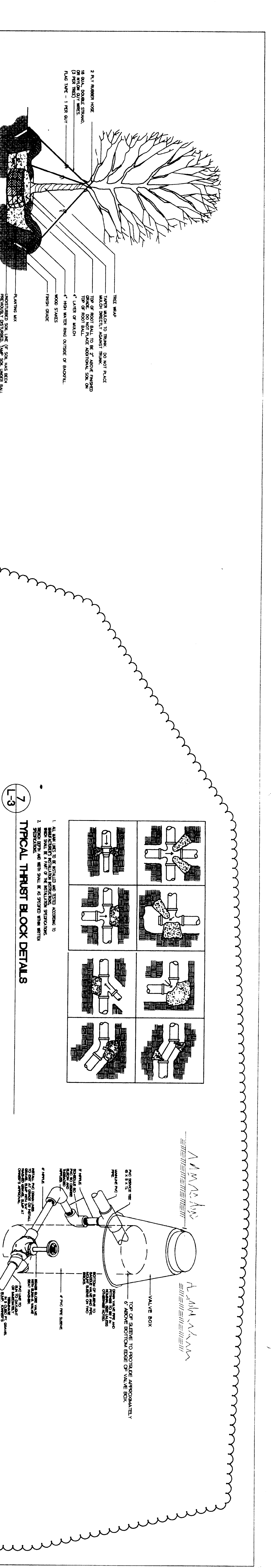
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HIGHWAY 29 PROPERTY
CHARLOTTE, NORTH CAROLINA

LANDSCAPE PLAN

Project: Highway 29 Property in Orange
 Sheet Title: Highway 29 Property in Orange
 Date: 09/17/98
 Project Number: 4494
 Sheet of: 3



CHARLOTTE-MECKLENBURG
PLANNING COMMISSION
INTER-OFFICE COMMUNICATION

DATE: June 25, 1999
 FROM: Martin R. Chism, Jr., Planning Director
 TO: Robert Brinkman, Zoning Administrator

SUBJECT: Administrative Approval for Petition No. 96-3040 by A&B Management, Inc. for Parcel # 021-01020.

Final attached the approved landscape plan for the above site. Please see the plan sheet regarding requests for permits and a certificate of occupancy.

SITE DATA

EXISTING ZONING
PROPOSED ZONING

SITE AREA:
UNDEVELOPED AREA FOR GREENWAY DEDICATION: 177.71 AC (GROSS)
4536 ACRES

TOTAL BUILDING AREA: NOT TO EXCEED 83,000 sqft.
(including outparcel #1 buildings)
400 SPACES
PARKING PROVIDED (excluding outparcels): 506 SPACES

PARKING:
PARKING REQUIRED
PARKING PROVIDED (excluding outparcels): 506 SPACES

LEGAL DESCRIPTION

BEGINNING at point, said point being the northernmost corner of that certain tract or parcel of property conveyed to Martin Marietta Corporation (formerly American-Marietta Company) by deed recorded in Book 2065 at page 187 in Mecklenburg County Public Registry; thence from said beginning point S. 63-10-32 W. 84 feet to a point; thence S. 69-15-52 W. 64.55 feet to a point; thence N. 21-52-50 W. 418.43 feet to a set iron pin; thence N. 21-52-50 W. 81.1 feet to an existing iron pin with D.O.T. cap in the margin of the right-of-way of U.S. Highway 29 (Highway 29); thence with the margin of said Highway 29 N. 59-11-44 E. 95.77 feet to a set iron pin; thence continuing with the margin of said Highway 29 in an easterly direction with the arc of a circular curve to the right having a radius of 5,415.69 feet, a chord bearing and distance of N. 62-48-53 E. 778.20 feet, and an arc distance of 883.96 feet to an existing iron pin with D.O.T. cap; thence leaving the margin of said Highway 29 N. 78-31-41 E. 115.85 feet to an existing iron pin with D.O.T. cap, said pin being N. 44-56-38 E. 11,543.72 feet from NCOS Horizontal Control Monument "GOLF" (NAD 83) 573,180.00 E(4) 1,470,800.16; thence N. 71-00-23 E. 300 feet to a set iron pin; thence S. 87-05-33 E. 78.66 feet to a set iron pin in the westerly margin of the right-of-way of Pavilion Boulevard; thence with the westerly margin of the right-of-way of Pavilion Boulevard S. 24-03-10 E. 16.47 feet to a set iron pin; thence continuing with the margin of said Pavilion Boulevard in a southerly direction with the arc of a circular curve to the right having a radius of 537.98 feet, a chord bearing and distance of S. 11-26-49 E. 234.86 feet, and an arc distance of 236.77 feet to a set iron pin; thence continuing with the margin of said Pavilion Boulevard S. 01-09-50 W. 710.37 feet to a point in the center-line of Mallard Creek; thence continuing with the center-line of Mallard Creek the following courses and distances: (1) N. 84-26-55 W. 48.01 feet to a point, and (2) S. 81-28-44 W. 584.72 feet to a point; and thence leaving the center-line of Mallard Creek N. 35-59-08 W. 139.96 feet to a point; thence N. 58-10-08 W. 143.96 feet to a point; thence N. 71-12-38 W. 51.41 feet to a point, the point or place of BEGINNING, according to the Boundary Survey dated December 24, 1987 prepared by Concord Engineering & Surveying, Inc.

PETITIONER:

ARK MANAGEMENT, INC.
7992 BLUE WATER COURT
DENVER, NORTH CAROLINA 28037
(704) 483-6266

ARCHITECT:

LITTLE & ASSOCIATES ARCHITECTS
5815 WESTPARK DRIVE
CHARLOTTE, NORTH CAROLINA 28217
(704) 525-6350

CONDITIONAL NOTES:

DEVELOPMENT STANDARDS

PART I
Covenant
Development of the real estate identified on the accompanying Technical Data Sheet prepared by Little & Associates, Architects on July 1, 1998, consisting of 17.71 acres, more or less (the "Site") and its individual components will be governed by the conditions of these Development Standards, the Technical Data Sheet, and the applicable provisions of the Mecklenburg County Zoning Ordinance (the "Ordinance").

The building configurations, placements, and sizes shown on Sheet RZ-2, which accompanies this rezoning plan, are schematic in nature and may be altered and/or modified during design development and construction document phases within the maximum building areas established on this Rezoning Plan. Parking layouts may also be modified to accommodate final building configurations.

PART II
Statement of Intent
It is the intention of the Petitioner to create within the Site a high quality development, offering retail opportunities anchored by a theater.

PART III
Permitted Development Within the Site
The site consists of approximately 17.71 acres and contains frontage on U.S. Highway 29 to the north and Pavilion Boulevard to the east.

a) The site may be devoted to any use (including any accessory use) which is permitted by right or under prescribed conditions in the Zoning District under the Ordinance.

b) No use shall be permitted on the site which is prohibited by the Ordinance.

c) No use shall be permitted on the site which is prohibited by the Ordinance.

PART IV
Section 1. Transportation Commitments
a) The Developer agrees to match at its expense the design of right turn lanes into the site as part of the construction of the proposed Highway 29 and Pavilion Boulevard.

b) The Developer reserves the right to include this work in the NCOOT contract under a reimbursable arrangement.

PART V
Design Guidelines
Section 1. Access Points
a) The number of vehicular access points to each tract will be limited to those shown on the Technical Data Sheet and each will be located in the general area depicted.
b) The placement and configuration of each access point and driveway within the site are subject to any modifications required to accommodate the final site and architectural/engineering construction plans and designs and are further subject to approval by the NCOOT.

Section 2. Yard Restrictions
a) In every instance, the side yard, setback, and rear yard requirements imposed under the Ordinance will be satisfied with respect to development taking place within the site.

Section 3. Storm Water Management and Greenway Dedication
a) Storm water on the Site will be discharged into the flood way as is allowed by Mecklenburg County Regulations.
b) The Developer reserves the right to fill within the dedicated greenway area, between the Flood Way Fringe and Flood Way District Encroachment lines, subject to the following conditions:
1) No fill will be placed beyond or within the flood way district encroachment line.
2) All fill slopes within the greenway area shall be completely stabilized with ground cover vegetation such as grass and impasses to the satisfaction of the Mecklenburg County Park and Recreation Department.
3) Erosion and sediment will be carefully controlled at all times to prevent erosion and siltation of the greenway area.
4) Fill slopes within the greenway shall not exceed 2:1 horizontal to 1:1 vertical in steepness.
5) Fill will not be placed any closer than 75' from the top of bank of Mallard Creek or 50' from the top of bank of Stony Creek.
6) Additional buffer planting shall be provided where fill occurs within the Greenway Dedication Area.
c) Dedication to the Greenway shall be completed prior to issuance of building permits. Area to be dedicated includes 100' minimum from the top of creek bank along Mallard Creek and 75' minimum from the top of bank along Stony Creek.

Section 4. General Design Provisions
a) Parking: The parking area as depicted on Sheet RZ-2 may vary in use and location, but will meet the minimum standards established under the Ordinance. Parking may be constructed inside and outside of the building envelopes as depicted on Sheet RZ-1.
b) Signs: All signs placed on the property will be erected in accordance with the Ordinance. The Developer reserves the right to seek a variance from the Ordinance for the proposed signs associated with the proposed retail building facing Pavilion Blvd.
c) Fire Protection: Plans for each building will be submitted to the Fire Marshal's office for approval before the construction of that building, under the Charlotte Fire Department Building Code.
d) Trash Handling: All dumpster areas will be located in the rear service area behind buildings and will be screened in accordance with the requirements of the Ordinance. Each dumpster area will be enclosed on all four sides by a fence and a hinged gate which are constructed of brick and wood, unless one or more sides of the dumpster area joins the rear of a building. In this case, the rear wall will be substituted for the fence on that side.
e) Environmental Controls: All buildings constructed within the site, including those constructed on outparcels, will be architecturally compatible. The east end of the proposed retail building facing Pavilion Blvd. will be screened on a building facade with a brick or stone finish and include a screen to other buildings located within the development.

Section 5. Buffer Areas
a) Exterior buffer areas will be provided as established in the Ordinance or as shown on Sheet RZ-1, whichever is greater.
b) Buffer areas shall be provided as established in the Ordinance, or as necessary to accommodate walls, drainage structures and utility lines as prescribed within the Ordinance.

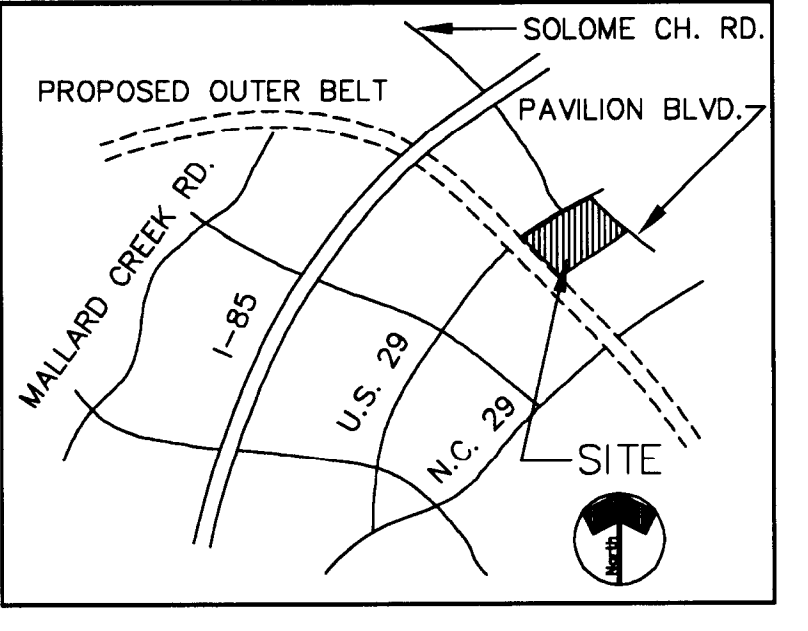
Section 6. Landscaping and Screening
a) Landscaping and Screening shall, at a minimum, satisfy the requirements of the Ordinance.
b) Internal parking and circulation areas shall have tree plantings in accordance with internal planting requirements as defined in the City of Charlotte Tree Ordinance.
c) Best screen plantings shall include shade trees at 40' o.c. (2" min. caliper at planting) and evergreen shrubs/small trees (i.e. - wax myrtle, cedar) at 5' o.c. 75% continuous (3" min. height at planting). Shade trees shall be planted within the Public Power Easement.
d) Street trees with a minimum 40' center along Pavilion Blvd. and Highway 29 in the event that power lines are present, small flowering trees will be planted at 25' on center instead of the shade trees.
e) Site planting plan shall be submitted to planning commission for review to ensure compliance with city tree planting ordinance requirements. Planting plan must be approved by the Planning Commission prior to issuance of a building permit.

PART VI
Binding Effect of the Rezoning Application
Section 1. If the petitioner's Rezoning Petition is approved, the development program established under these Development Standards and the Technical Data Sheet shall, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the petitioner and the Owner(s) and their respective heirs, devisees, personal representatives, successors in interest and assigns.

029-031-25
HAYWARD INVESTMENT PARTNERS
4300 WIDE PARK DRIVE
CHARLOTTE, N.C. 28214

031-033-04
MARTIN MARIETTA CORP.
P.O. BOX 30013
CHARLOTTE, N.C. 28272

031-063-01
HAYWARD INVESTMENT PARTNERS
515 OAK HOLLOW DRIVE
HOUSTON, TEXAS 77007



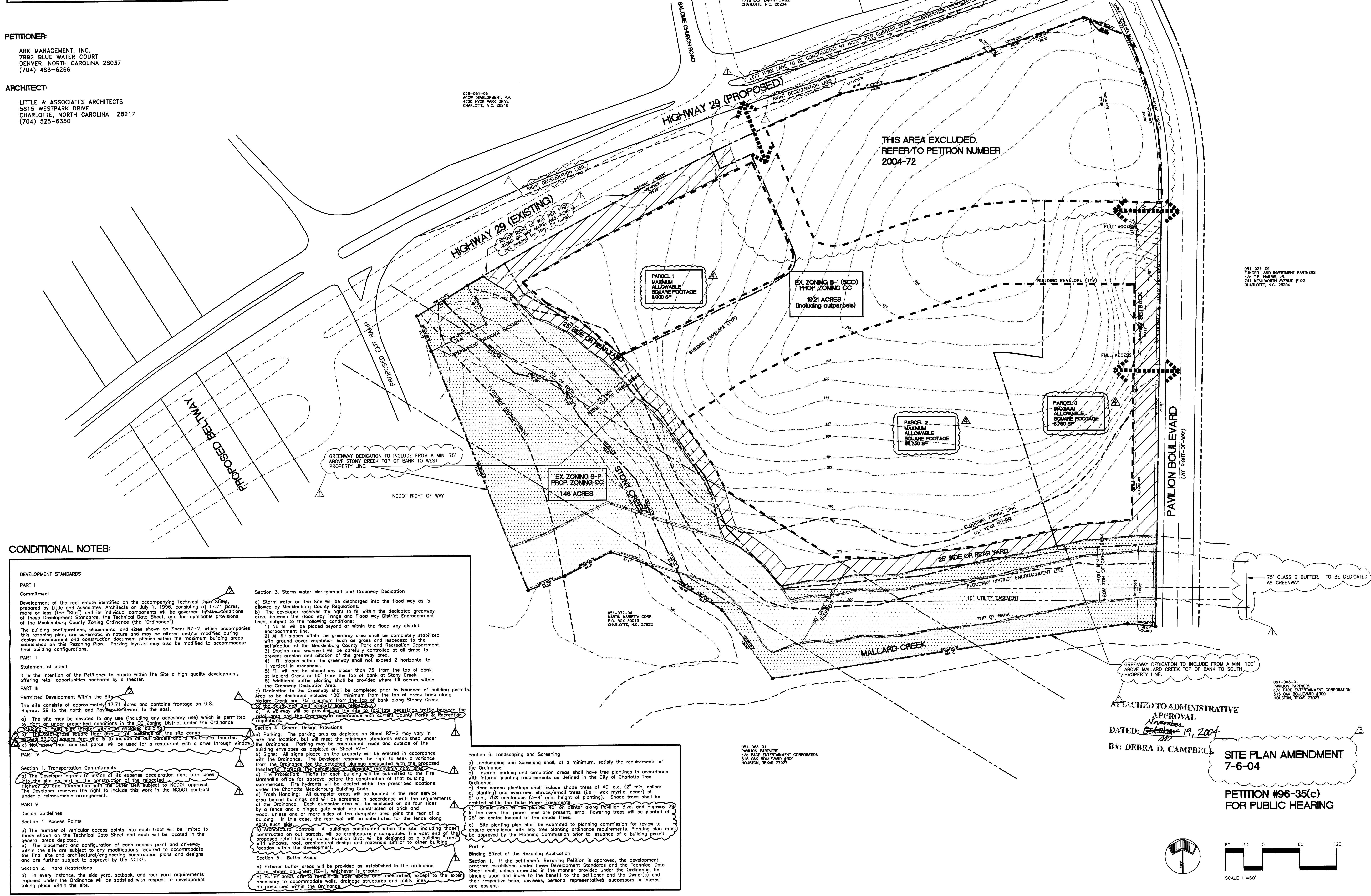
LOCATION MAP

Little & Associates Architects

2815 Westpark Drive
Charlotte, NC 28217
Tel: 704-525-6350
Fax: 704-525-7888

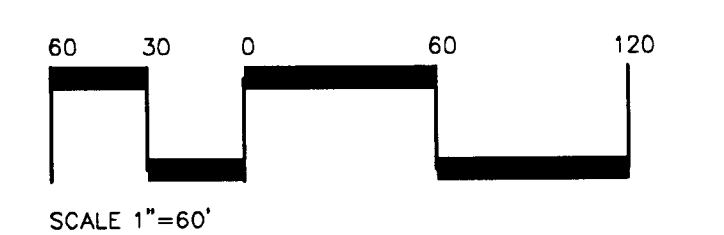
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ATTACHED TO ADMINISTRATIVE APPROVAL
DATED: ~~October 19, 2004~~
BY: DEBRA D. CAMPBELL

SITE PLAN AMENDMENT 7-6-04
PETITION #96-35(c) FOR PUBLIC HEARING



CHARLOTTE - MECKLENBURG PLANNING COMMISSION
INTER - OFFICE COMMUNICATION

DATE: November 19, 2004

TO: Katrina Young, Interim Zoning Administrator

FROM: Debra Campbell, Planning Director

SUBJECT: Administrative Approval for Petition No. 96-35(c)

Attached are specific plans, including development notes, for the aforementioned rezoning petition. This administrative request excludes 3.43 acres, previously shown as Outparcel #2 and #3, that are now reflected under Rezoning Petition 2004-72. As a result, the acreage has been amended from 20.67 acres to 17.71 acres and the total gross square footage of all buildings on the site has been reduced from 100,000 square feet to 83,000 square feet. Please use these specific plans when evaluating requests for building permits.

HIGHWAY 29 PROPERTY
CHARLOTTE, NORTH CAROLINA

REZONING PLAN
TECHNICAL DATA SHEET

Project: _____
Sheet: Title _____

V. P. in Charge
F. GOPPOLD
Project Architect/Job Captain
J. GAMBLE

Drawn By
C. MUMFORD

Date Drawn
7/1/98

CADD Dwg. Name
331122.DWG

Scale
1"=60'

Revisions

No. 1	Date	8-16-98
No. 2	Date	8-18-04
No. 3	Date	7-5-04
No. 4	Date	9-15-04
No. 5	Date	
No. 6	Date	
No. 7	Date	
No. 8	Date	
No. 9	Date	
No. 10	Date	

Issue Date
7/2/98

Project Number
3991-02

Sheet Of
RZ-1 2



Charlotte-Mecklenburg Planning Department

DATE: September 4, 2015

TO: Donald Moore
Zoning Supervisor

FROM: Ed McKinney
Interim, Planning
Director

ly \$F

SUBJECT: Administrative Approval for Petition No. 1996-035C

Attached is the revised site plan for the petition above. This request allows the modification of the proposed site plan as listed below. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

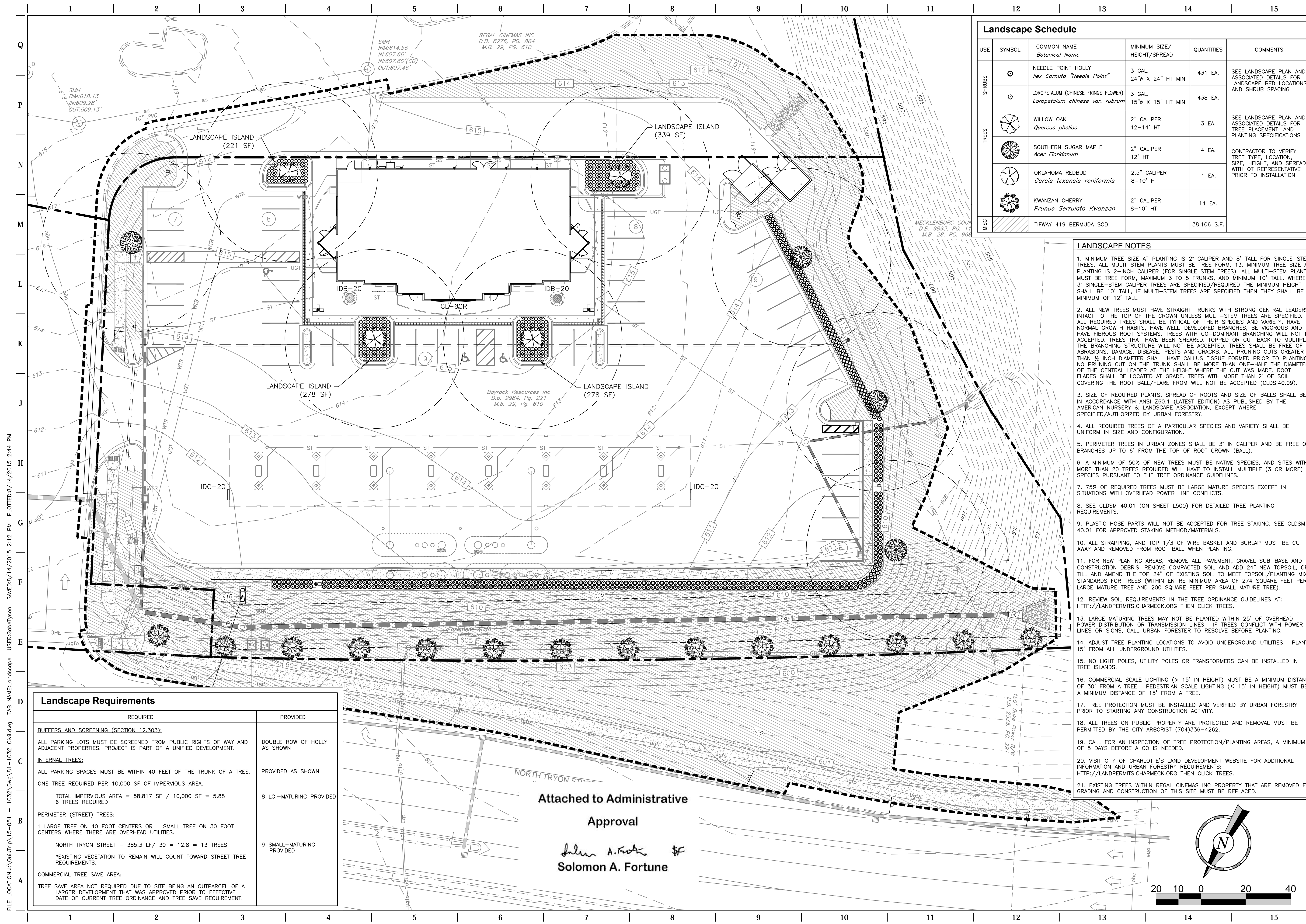
- Landscaping Plan

Reasons for Staff's support of the request:

- The site plan complies with the conditional notes and still meets the intent of the approved site plan by the County Commissioners.

Note: All other Zoning, Subdivision, Tree Ordinances and conditional requirements still apply.

Signage was note reviewed as part of this request.

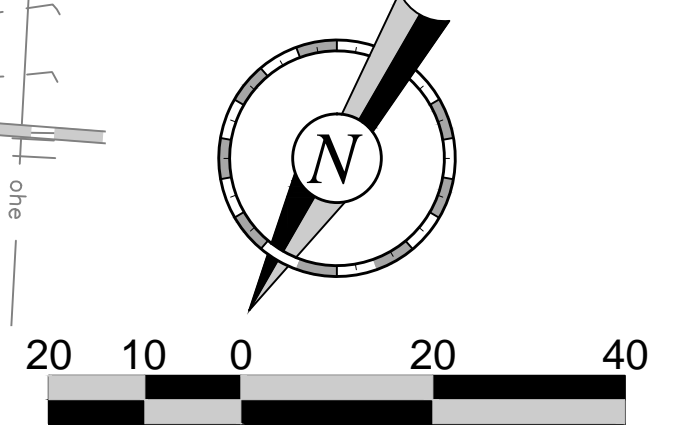


Landscape Schedule					
USE	SYMBOL	COMMON NAME <i>Botanical Name</i>	MINIMUM SIZE/ HEIGHT/SPREAD	QUANTITIES	COMMENTS
SHRUBS	○	NEEDLE POINT HOLLY <i>Ilex Cornuta "Needle Point"</i>	3 GAL. 24" x 24" HT MIN	431 EA.	SEE LANDSCAPE PLAN AND ASSOCIATED DETAILS FOR LANDSCAPE BED LOCATIONS AND SHRUB SPACING
	○	LOROPETALUM (CHINESE FRINGE FLOWER) <i>Loropetalum chinense var. rubrum</i>	3 GAL. 15" x 15" HT MIN	438 EA.	
TREES	⊗	WILLOW OAK <i>Quercus phellos</i>	2" CALIPER 12-14' HT	3 EA.	SEE LANDSCAPE PLAN AND ASSOCIATED DETAILS FOR TREE PLACEMENT, AND PLANTING SPECIFICATIONS
	⊗	SOUTHERN SUGAR MAPLE <i>Acer Floridanum</i>	2" CALIPER 12' HT	4 EA.	
	⊗	OKLAHOMA REDBUD <i>Cercis texensis reniformis</i>	2.5" CALIPER 8-10' HT	1 EA.	
	⊗	KWANZAN CHERRY <i>Prunus Serrulata Kwanzan</i>	2" CALIPER 8-10' HT	14 EA.	
MISC		TIFWAY 419 BERMUDA SOD		38,106 S.F.	

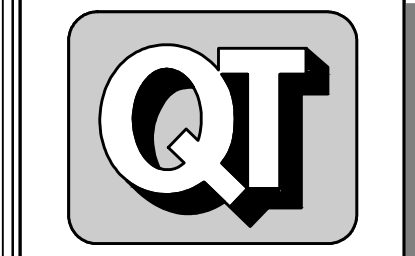
- LANDSCAPE NOTES**
- MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER AND 8' TALL FOR SINGLE-STEM TREES. ALL MULTI-STEM PLANTS MUST BE TREE FORM. 13. MINIMUM TREE SIZE AT PLANTING IS 2-INCH CALIPER (FOR SINGLE STEM TREES). ALL MULTI-STEM TREES MUST BE TREE FORM. MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 10' TALL. WHERE 3" SINGLE-STEM CALIPER TREES ARE SPECIFIED/REQUIRED THE MINIMUM HEIGHT SHALL BE 10' TALL. IF MULTI-STEM TREES ARE SPECIFIED THEN THEY SHALL BE A MINIMUM OF 12' TALL.
 - ALL NEW TREES MUST HAVE STRAIGHT TRUNKS WITH STRONG CENTRAL LEADERS INTACT TO THE TOP OF THE CROWN UNLESS MULTI-STEM TREES ARE SPECIFIED. ALL REQUIRED TREES SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY. HAVE NORMAL GROWTH HABITS, HAVE WELL-DEVELOPED BRANCHES, BE VIGOROUS AND HAVE FIBROUS ROOT SYSTEMS. TREES WITH CO-DOMINANT BRANCHING WILL NOT BE ACCEPTED. TREES THAT HAVE BEEN SHEARED, TOPPED OR CUT BACK TO MULTIPLY THE BRANCHING STRUCTURE WILL NOT BE ACCEPTED. TREES SHALL BE FREE OF ABRASIONS, DAMAGE, DISEASE, PESTS AND CRACKS. ALL PRUNING CUTS GREATER THAN 1/2 INCH DIAMETER SHALL HAVE CALLUS TISSUE FORMED PRIOR TO PLANTING. NO PRUNING CUT ON THE TRUNK SHALL BE MORE THAN ONE-HALF THE DIAMETER OF THE CENTRAL LEADER AT THE HEIGHT WHERE THE CUT WAS MADE. ROOT FLARES SHALL BE LOCATED AT GRADE. TREES WITH MORE THAN 2" OF SOIL COVERING THE ROOT BALL/FLARE WILL NOT BE ACCEPTED (CLDS.40.09).
 - SIZE OF REQUIRED PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (LATEST EDITION) AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, EXCEPT WHERE SPECIFIED/AUTHORIZED BY URBAN FORESTRY.
 - ALL REQUIRED TREES OF A PARTICULAR SPECIES AND VARIETY SHALL BE UNIFORM IN SIZE AND CONFIGURATION.
 - PERIMETER TREES IN URBAN ZONES SHALL BE 3" IN CALIPER AND BE FREE OF BRANCHES UP TO 6' FROM THE TOP OF ROOT CROWN (BALL).
 - A MINIMUM OF 50% OF NEW TREES MUST BE NATIVE SPECIES, AND SITES WITH MORE THAN 20 TREES REQUIRED WILL HAVE TO INSTALL MULTIPLE (3 OR MORE) SPECIES PURSUANT TO THE TREE ORDINANCE GUIDELINES.
 - 75% OF REQUIRED TREES MUST BE LARGE MATURE SPECIES EXCEPT IN SITUATIONS WITH OVERHEAD POWER LINE CONFLICTS.
 - SEE CLDSM 40.01 (ON SHEET L500) FOR DETAILED TREE PLANTING REQUIREMENTS.
 - PLASTIC HOSE PARTS WILL NOT BE ACCEPTED FOR TREE STAKING. SEE CLDSM 40.01 FOR APPROVED STAKING METHOD/MATERIALS.
 - ALL STRAPPING, AND TOP 1/3 OF WIRE BASKET AND BURLAP MUST BE CUT AWAY AND REMOVED FROM ROOT BALL WHEN PLANTING.
 - FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL, OR TILL AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 274 SQUARE FEET PER LARGE MATURE TREE AND 200 SQUARE FEET PER SMALL MATURE TREE).
 - REVIEW SOIL REQUIREMENTS IN THE TREE ORDINANCE GUIDELINES AT: [HTTP://LANDPERMITS.CHARMECK.ORG](http://LANDPERMITS.CHARMECK.ORG) THEN CLICK TREES.
 - LARGE MATURING TREES MAY NOT BE PLANTED WITHIN 25' OF OVERHEAD POWER DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
 - ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES.
 - NO LIGHT POLES, UTILITY POLES OR TRANSFORMERS CAN BE INSTALLED IN TREE ISLANDS.
 - COMMERCIAL SCALE LIGHTING (> 15' IN HEIGHT) MUST BE A MINIMUM DISTANCE OF 30' FROM A TREE. PEDESTRIAN SCALE LIGHTING (< 15' IN HEIGHT) MUST BE A MINIMUM DISTANCE OF 15' FROM A TREE.
 - TREE PROTECTION MUST BE INSTALLED AND VERIFIED BY URBAN FORESTRY PRIOR TO STARTING ANY CONSTRUCTION ACTIVITY.
 - ALL TREES ON PUBLIC PROPERTY ARE PROTECTED AND REMOVAL MUST BE PERMITTED BY THE CITY ARBORIST (704)336-4262.
 - CALL FOR AN INSPECTION OF TREE PROTECTION/PLANTING AREAS, A MINIMUM OF 5 DAYS BEFORE A CO IS NEEDED.
 - VISIT CITY OF CHARLOTTE'S LAND DEVELOPMENT WEBSITE FOR ADDITIONAL INFORMATION AND URBAN FORESTRY REQUIREMENTS: [HTTP://LANDPERMITS.CHARMECK.ORG](http://LANDPERMITS.CHARMECK.ORG) THEN CLICK TREES.
 - EXISTING TREES WITHIN REGAL CINEMAS INC PROPERTY THAT ARE REMOVED FOR GRADING AND CONSTRUCTION OF THIS SITE MUST BE REPLACED.

Landscape Requirements	
REQUIRED	PROVIDED
BUFFERS AND SCREENING (SECTION 12.303):	
ALL PARKING LOTS MUST BE SCREENED FROM PUBLIC RIGHTS OF WAY AND ADJACENT PROPERTIES. PROJECT IS PART OF A UNIFIED DEVELOPMENT.	DOUBLE ROW OF HOLLY AS SHOWN
INTERNAL TREES:	
ALL PARKING SPACES MUST BE WITHIN 40 FEET OF THE TRUNK OF A TREE.	PROVIDED AS SHOWN
ONE TREE REQUIRED PER 10,000 SF OF IMPERVIOUS AREA.	
TOTAL IMPERVIOUS AREA = 58,817 SF / 10,000 SF = 5.88	8 LG.-MATURING PROVIDED
6 TREES REQUIRED	
PERIMETER (STREET) TREES:	
1 LARGE TREE ON 40 FOOT CENTERS OR 1 SMALL TREE ON 30 FOOT CENTERS WHERE THERE ARE OVERHEAD UTILITIES.	
NORTH TRYON STREET - 385.3 LF / 30 = 12.8 = 13 TREES	9 SMALL-MATURING PROVIDED
*EXISTING VEGETATION TO REMAIN WILL COUNT TOWARD STREET TREE REQUIREMENTS.	
COMMERCIAL TREE SAVE AREA:	
TREE SAVE AREA NOT REQUIRED DUE TO SITE BEING AN OUTPARCEL OF A LARGER DEVELOPMENT THAT WAS APPROVED PRIOR TO EFFECTIVE DATE OF CURRENT TREE ORDINANCE AND TREE SAVE REQUIREMENT.	

Attached to Administrative
Approval
Solomon A. Fortune SF
Solomon A. Fortune



QuikTrip No. 1032
11230 NORTH TRYON STREET
CHARLOTTE, NC



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PROTOTYPE: P-83 (05/01/15)
DIVISION: CAROLINAS
VERSION: 001
DESIGNED BY: UDP
DRAWN BY: UDP
REVIEWED BY:

REV	DATE	DESCRIPTION
1	08-14-15	PER CITY COMMENTS

SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
L100

ORIGINAL ISSUE DATE: 05-22-15

FILE LOCATION: \\s:\quiktrip\15-051 - 1032\dwg\81-1032 Civil.dwg TAB NAME: Landscape USER: Gaberlyson SAVED: 8/14/2015 2:12 PM PLOTTED: 8/14/2015 2:44 PM



Charlotte-Mecklenburg Planning Department

DATE: October 19, 2015

TO: Donald Moore
Zoning Supervisor

FROM: Ed McKinney
Interim, Planning
Director

SUBJECT: Administrative Approval for Petition No. 1996-035C

Attached is the revised site plan for the petition above. This request allows the modification of the proposed site plan as listed below. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

- Building Elevations

Reasons for Staff's support of the request:

- The site plan complies with the conditional notes and still meets the intent of the approved site plan by the County Commissioners.

Note: All other Zoning, Subdivision, Tree Ordinances and conditional requirements still apply.

Signage was note reviewed as part of this request.



QuikTrip.

4705 South 129th East Ave.
Tulsa, OK 74134-7008
P.O. Box 3475
Tulsa, OK 74101-3475
(918) 615-7700

Store # 1032 Angled Entry Building Elevations

Address: 11230 N Tryon St.

City, State: Charlotte, NC

Serial # 81-1032-BSTI Scale: 1/16"=1'-0"

Issue Date: 06.09.15

Drawn By: JK

Rev/Notes:

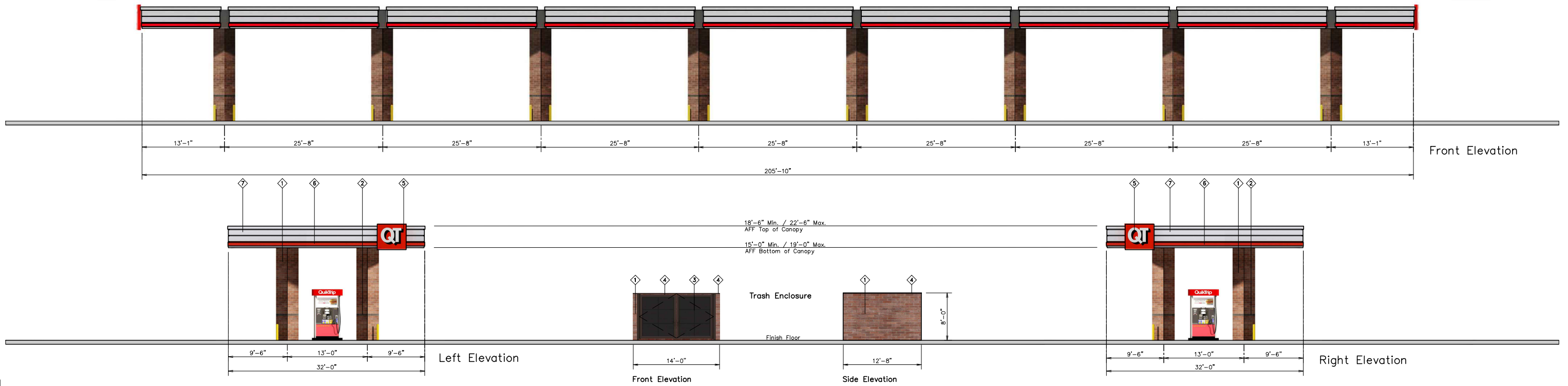
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②	FINISH	MANUFACTURER	SPECIFICATION
1	BRONZESTONE	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK
2	MIDNIGHT	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK
3	HL2-ALUMINUM	ALPOLIC	FASCIA
4	QT RED	LANE	STANDING SEAM AWNING
5	RED POLYCARBONATE	ALLEN INDUSTRIES	ILLUMINATED BAND
6	DARK BRONZE	LANE	METAL / PAINT
7	QT BROWN	SHERWIN WILLIAMS	PAINT
8	CL-60R	ALLEN INDUSTRIES	SIGNAGE
9	TIPO4 RADIANT IRON	DALILE	PORCELAIN TILE
10	BLACK	ALL COURT FABRICS	POLYPRO 95 MESH
11	IDB-20	ALLEN INDUSTRIES	ILLUMINATED SIGNAGE



Attached to Administrative
Approval

Solomon A. Fortune \$F
Solomon A. Fortune



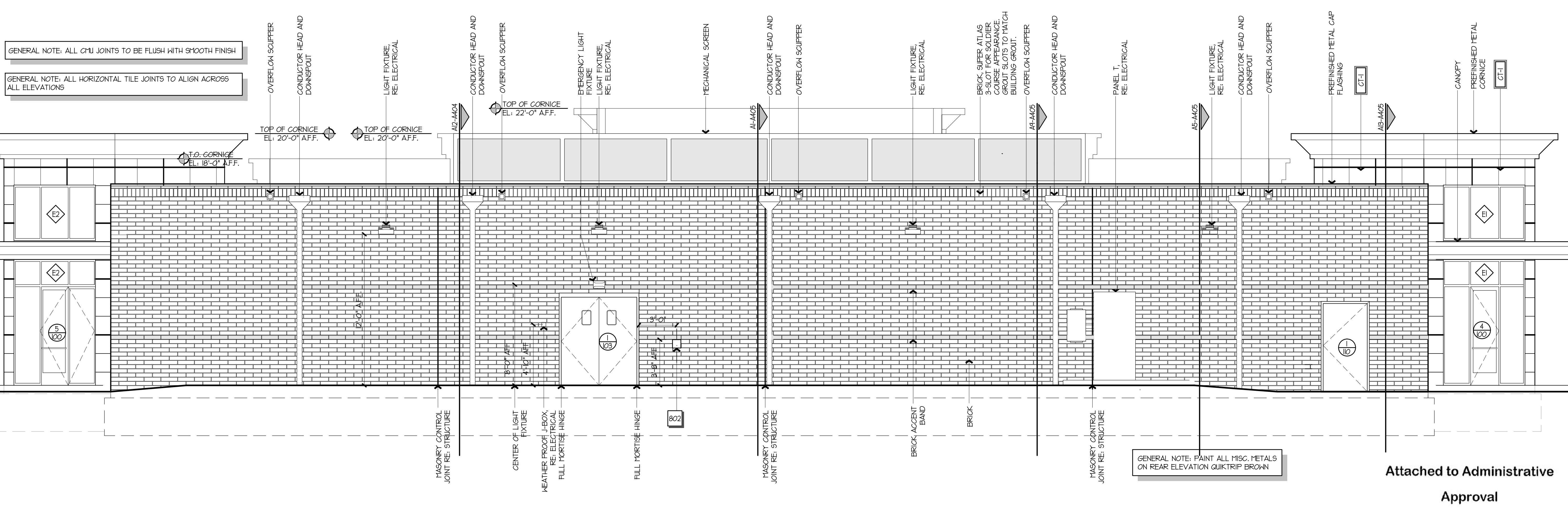
Store # 1032 Vertical 8 Canopy Elevations
Serial # 81-1032-GV08
Scale: 1/16" = 1'-0"
Issue Date: 06.09.15

Address: 11230 N. Tryon St.
City, State: Charlotte, NC
Drawn By: JK
Rev/Notes:

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①	FINISH	MANUFACTURER	SPECIFICATION
1	BRONZESTONE	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK
2	MIDNIGHT BLACK	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK
3	BLACK	ALL COURT FABRICS	POLYPRO 95 MESH
4	DARK BRONZE	LANE	METAL/PAINT
5	IDC-20	ALLEN INDUSTRIES	ILLUMINATED SIGNAGE
6	RED POLYCARBONATE	ALLEN INDUSTRIES	ILLUMINATED BAND
7	HLZ-ALUMINUM	ALPOLIC	CANOPY

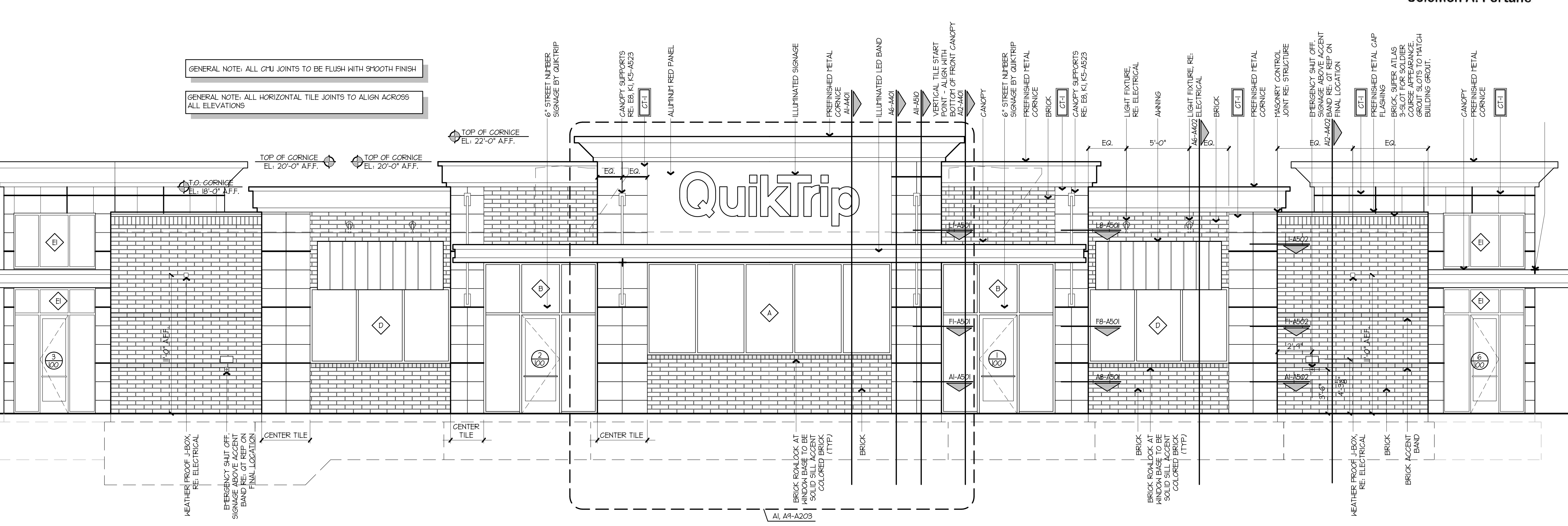
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16



H1 REAR ELEVATION
A1-A101
1/8" = 1'-0"

Attached to Administrative Approval

Solomon A. Fortune
Solomon A. Fortune



A1 FRONT ELEVATION
A1-A101
1/8" = 1'-0"

Signature: Shawn Johnson
Professional Architect
North Carolina
Charlotte, NC
8443
6/24/2015

SIGNATURE DATE:

TOBIN, PLLC
Professional Architectural Firm
52892
North Carolina
Charlotte, North Carolina
www.tobinarchitecture.com

TOBIN, PLLC
333 W. Trade St.
Suite 350, NC 28202
P: 980.237.6822

QuikTrip No. 1032

11230 NORTH TRYON ST
CHARLOTTE, NC 28262

QT

PROTOTYPE P-83
DIVISION Division
VERSION GEN III
DATE 05-01-2015

REV	DATE	DESCRIPTION

ORIGINAL ISSUE DATE: 06/29/2015

SHEET TITLE:
EXTERIOR ELEVATIONS

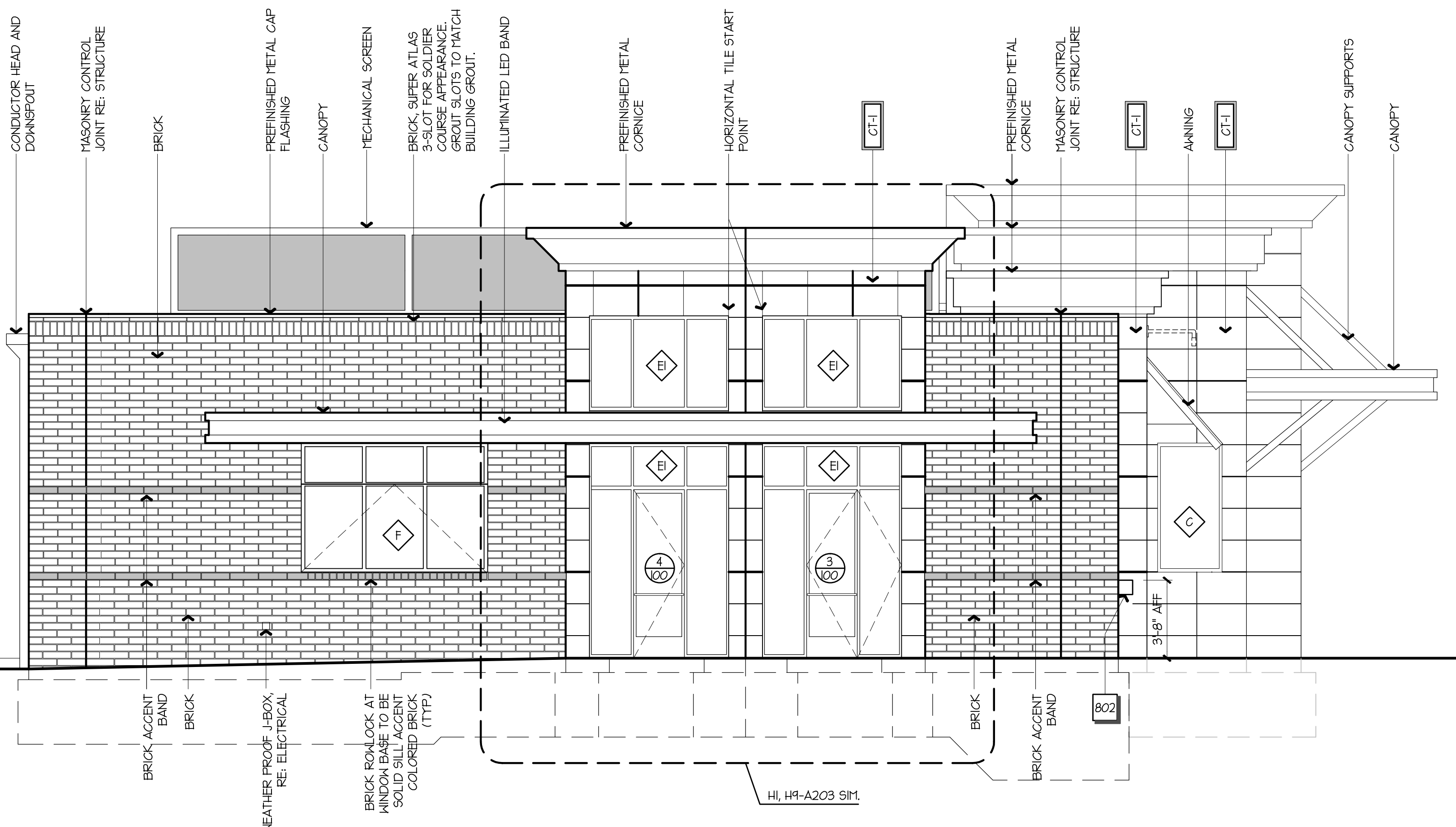
SHEET NUMBER:
A201

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16

GENERAL NOTE: ALL MECHANICAL EQUIPMENT SHALL BE EQUAL TO OR LOWER THAN ADJACENT BUILDING

GENERAL NOTE: ALL CMU JOINTS TO BE FLUSH WITH SMOOTH FINISH

GENERAL NOTE: ALL HORIZONTAL TILE JOINTS TO ALIGN ACROSS ALL ELEVATIONS



- TOP OF CORNICE EL: 22'-0" A.F.F.
- TOP OF CORNICE EL: 20'-0" A.F.F.
- TOP OF CORNICE EL: 18'-0" A.F.F.
- TOP OF MASONRY EL: 16'-0" A.F.F.
- BOTTOM OF CANOPY EL: 12'-0" A.F.F.
- BOTTOM OF CANOPY EL: 10'-0" A.F.F.
- TOP OF ACCENT BAND EL: 8'-0" A.F.F.
- TOP OF ACCENT BAND EL: 4'-0" A.F.F.
- FINISH FLOOR EL: 0'-0" A.F.F.

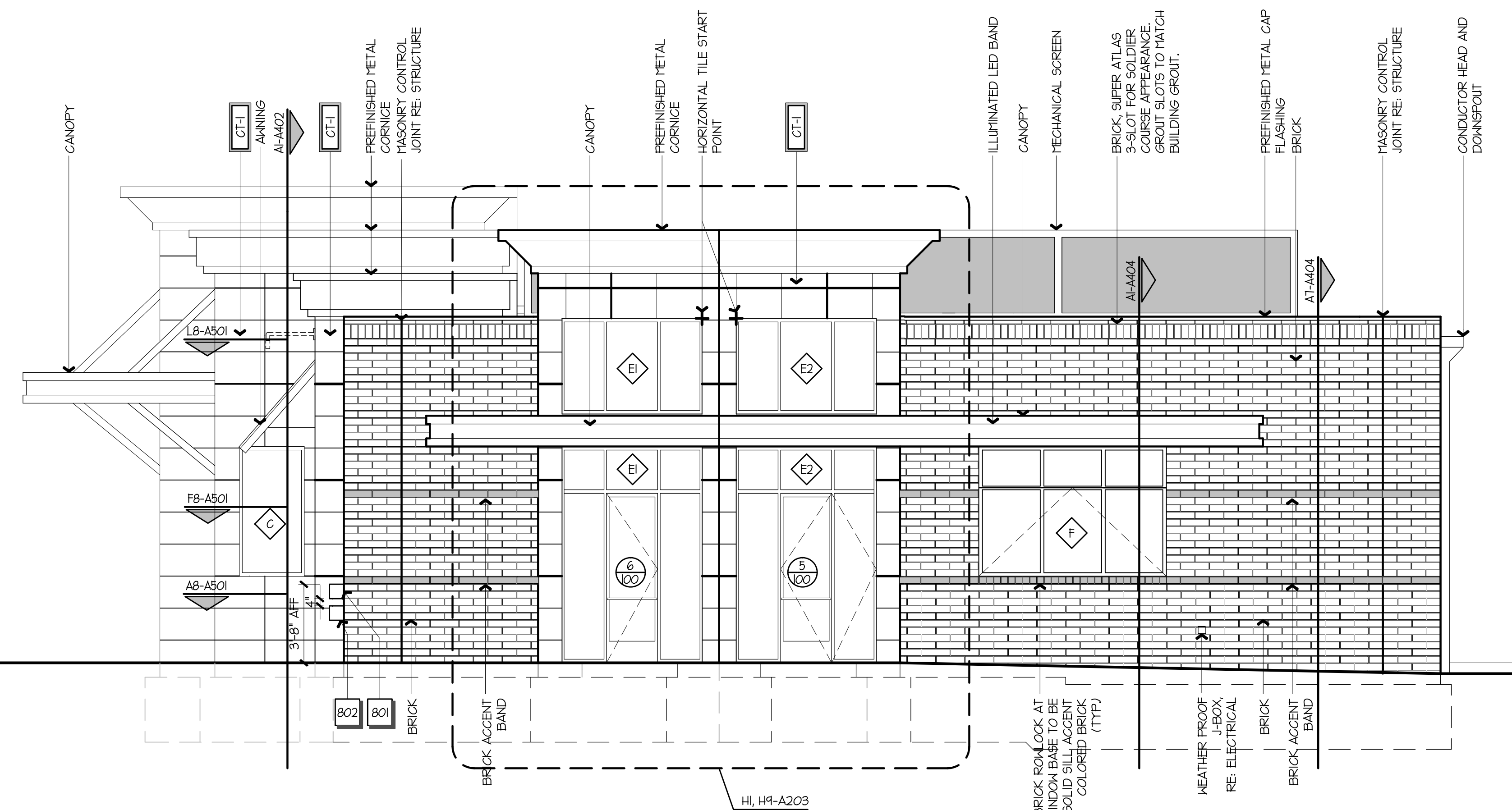
Attached to Administrative Approval

Solomon A. Fortune SF
Solomon A. Fortune

H1 SIDE ELEVATION

1/8" = 1'-0" A1-A101

- TOP OF CORNICE EL: 22'-0" A.F.F.
- TOP OF CORNICE EL: 20'-0" A.F.F.
- TOP OF CORNICE EL: 18'-0" A.F.F.
- TOP OF MASONRY EL: 16'-0" A.F.F.
- BOTTOM OF CANOPY EL: 12'-0" A.F.F.
- BOTTOM OF CANOPY EL: 10'-0" A.F.F.
- TOP OF ACCENT BAND EL: 8'-0" A.F.F.
- TOP OF ACCENT BAND EL: 4'-0" A.F.F.
- FINISH FLOOR EL: 0'-0" A.F.F.



GENERAL NOTE: ALL MECHANICAL EQUIPMENT SHALL BE EQUAL TO OR LOWER THAN ADJACENT BUILDING

TOP OF SCREEN EL: 20'-0" A.F.F.

TOP OF MASONRY EL: 16'-0" A.F.F.

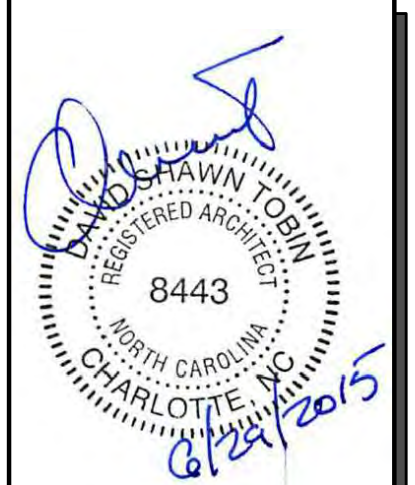
GENERAL NOTE: ALL CMU JOINTS TO BE FLUSH WITH SMOOTH FINISH

GENERAL NOTE: ALL HORIZONTAL TILE JOINTS TO ALIGN ACROSS ALL ELEVATIONS

FINISH FLOOR EL: 0'-0" A.F.F.

A1 SIDE ELEVATION

1/8" = 1'-0" A1-A101



SIGNATURE DATE:
TOBIN, PLLC
52892
North Carolina
Charlotte, North Carolina
www.tobinarchitecture.com

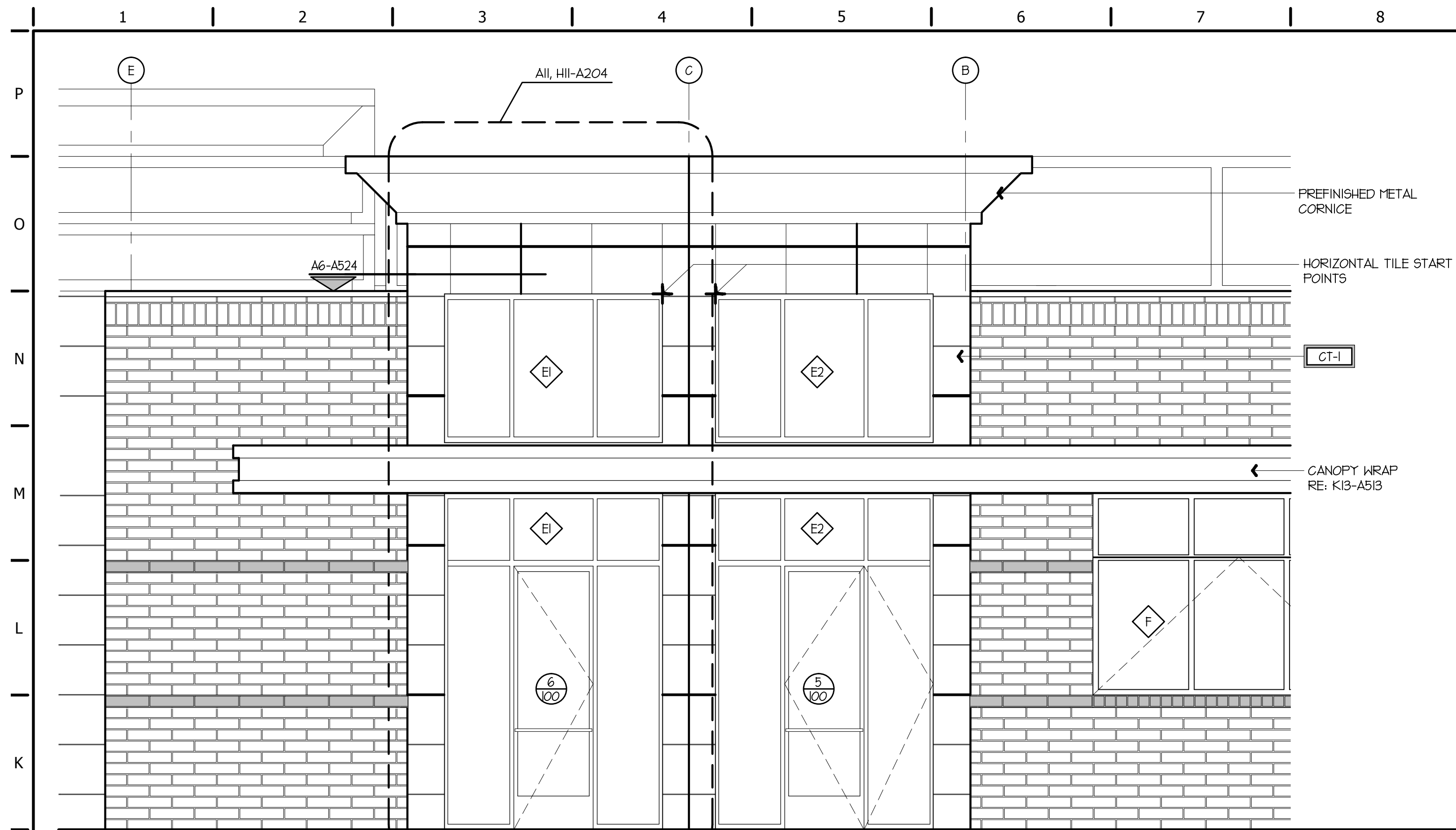
QuikTrip No. 1032
11230 NORTH TRYON ST
CHARLOTTE, NC 28262

PROTOTYPE	P-83
DIVISION	Division
VERSION	GEN III
DATE	05-01-2015

REV	DATE	DESCRIPTION

SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NUMBER:
A202

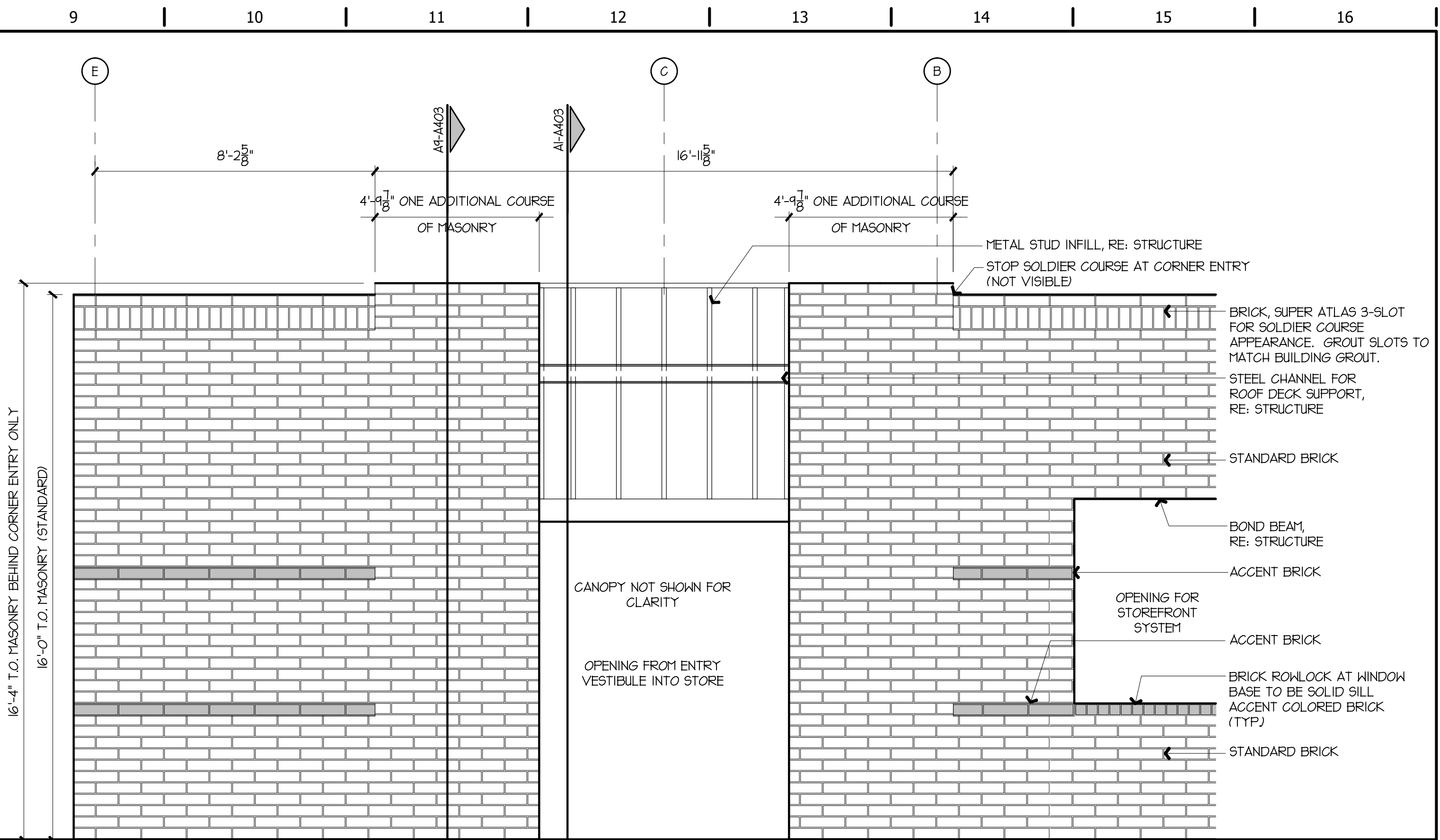


GENERAL NOTE: ALL CMU JOINTS TO BE FLUSH WITH SMOOTH FINISH
 GENERAL NOTE: ALL HORIZONTAL TILE JOINTS TO ALIGN ACROSS ALL ELEVATIONS

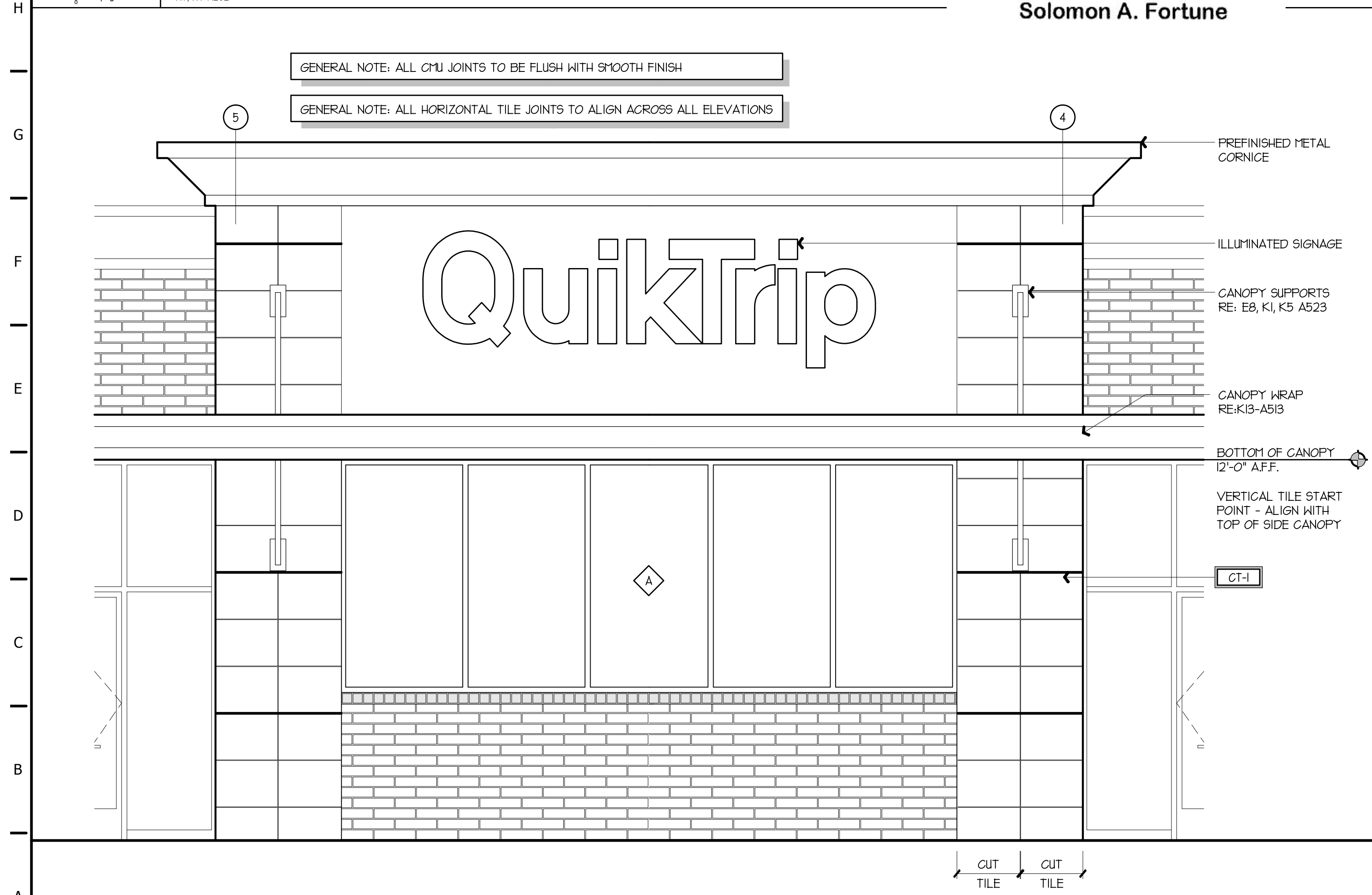
Attached to Administrative
 Approval

Solomon A. Fortune \$
 Solomon A. Fortune

H1 ENLARGED SIDE ELEVATION (WITH SIDE ENTRY SHOWN)
 1/4" = 1'-0" A1, H1-A202

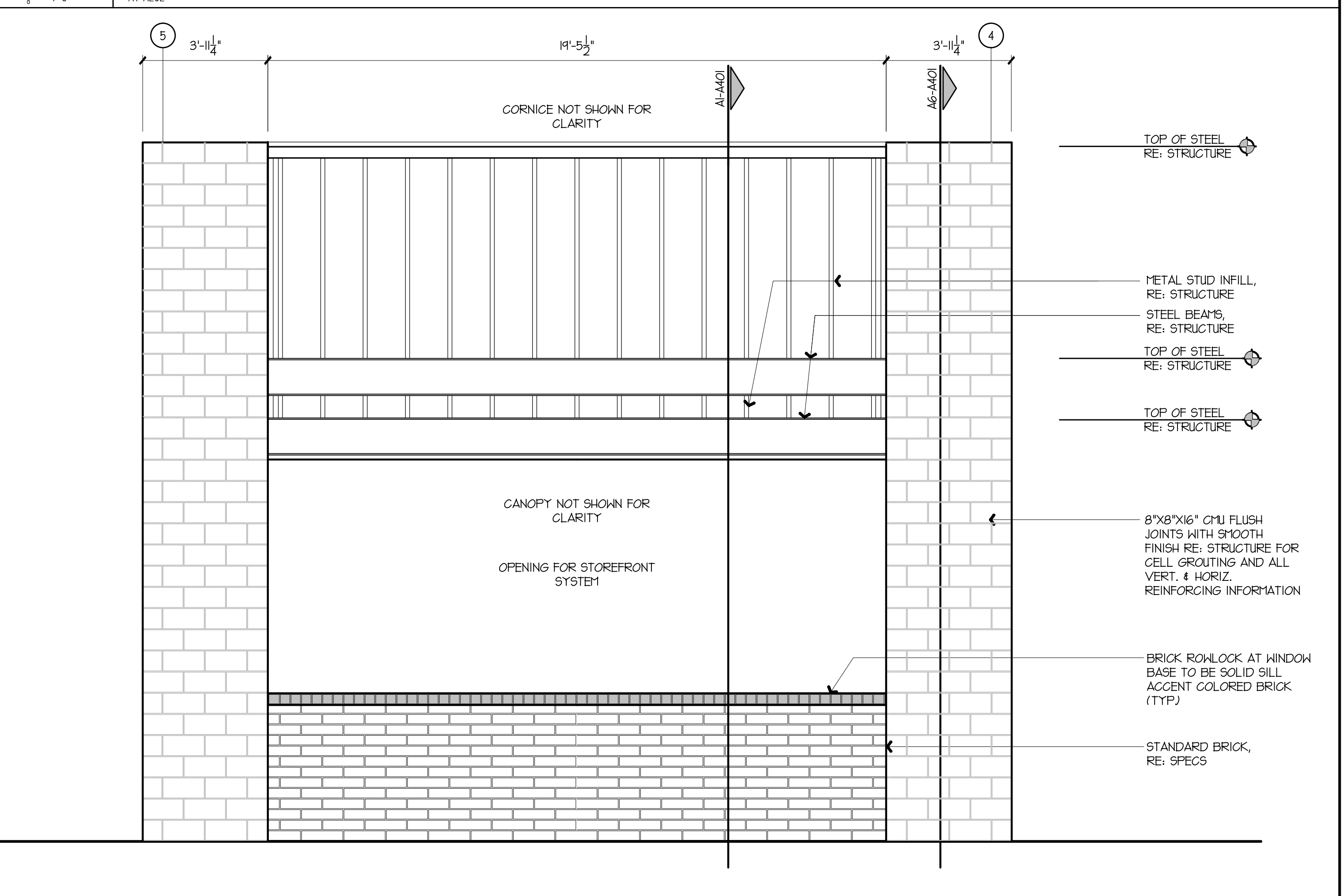


H9 ENLARGED SIDE ELEVATION (WITHOUT SIDE ENTRY SHOWN)
 1/4" = 1'-0" A1-A202



GENERAL NOTE: ALL CMU JOINTS TO BE FLUSH WITH SMOOTH FINISH
 GENERAL NOTE: ALL HORIZONTAL TILE JOINTS TO ALIGN ACROSS ALL ELEVATIONS

A1 ENLARGED FRONT ELEVATION (WITH FINISHES)
 1/4" = 1'-0" A1-A201



A9 ENLARGED FRONT ELEVATION (WITHOUT FINISHES)
 1/4" = 1'-0" A1-A201

Signature: *[Signature]*
 Signature Date: 6/29/2015
 TOBIN, PLLC
 52892
 333 W. Trade St.
 Suite 350 NC 28202
 P: 980 237 6922
 www.tobinarchitecture.com

QuikTrip No. 1032
 11230 NORTH TRYON ST
 CHARLOTTE, NC 28262

QT
 PROTOTYPE P-83
 DIVISION Division
 VERSION GEN III
 DATE 05-01-2015

REV	DATE	DESCRIPTION

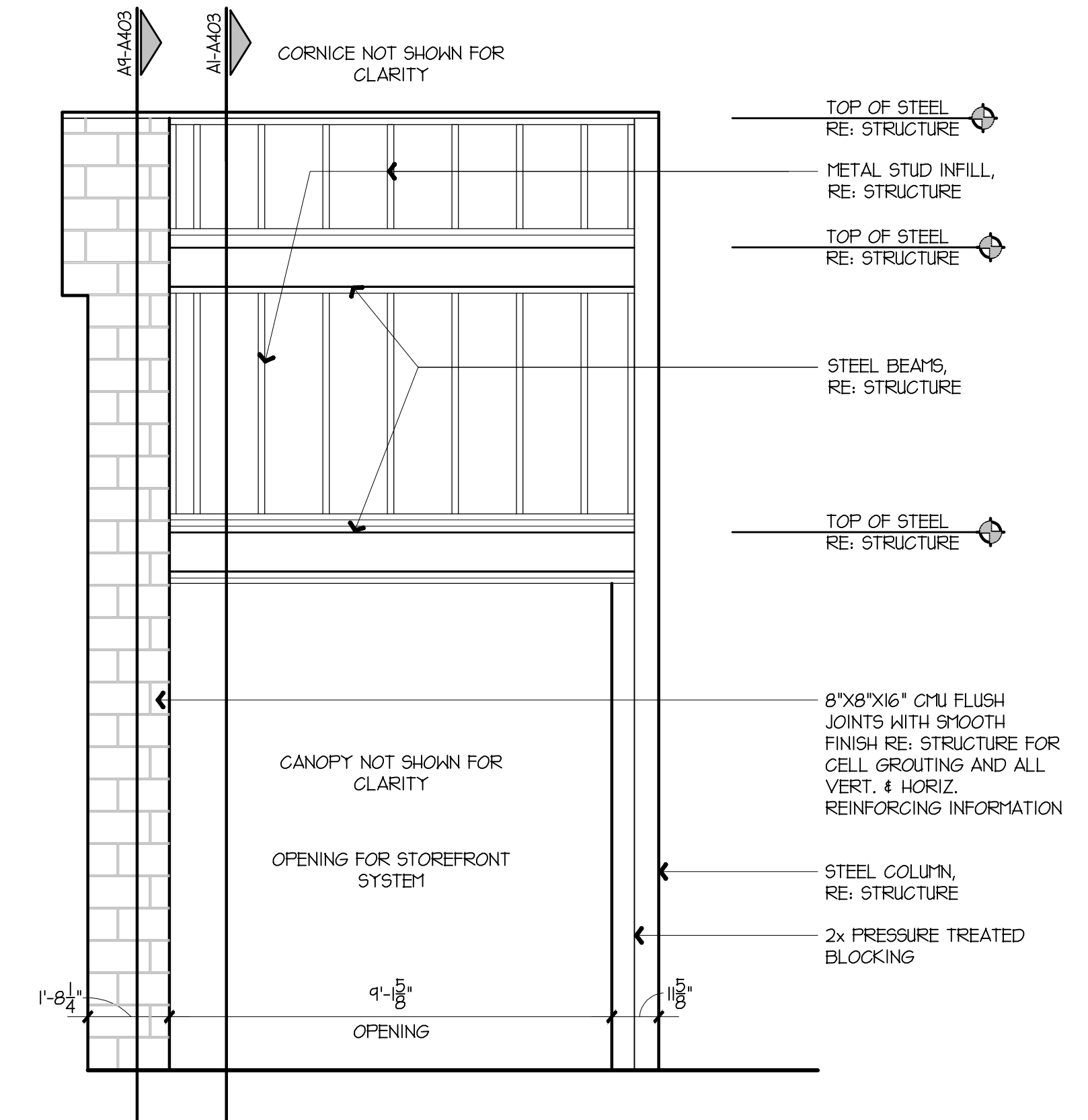
ORIGINAL ISSUE DATE: 06/29/2015

SHEET TITLE:
 ENLARGED EXTERIOR ELEVATIONS

SHEET NUMBER:
A203

Attached to Administrative
Approval

Solomon A. Fortune
Solomon A. Fortune

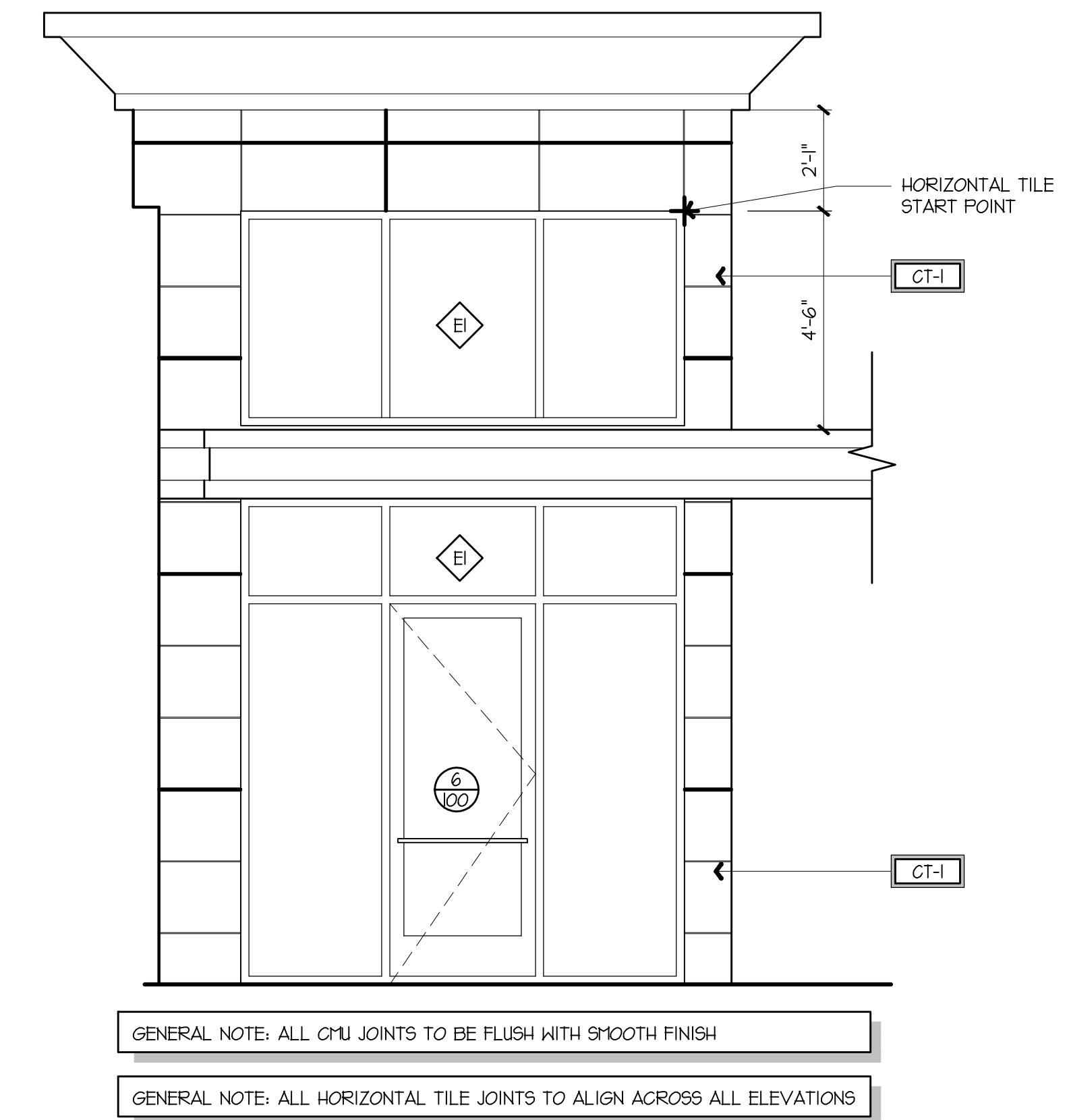


H1 NOT USED

1/8" = 1'-0" XXX-XXXX

H11 ENLARGED SIDE ELEVATION (WITHOUT FINISHES)

1/8" = 1'-0" H1-A203

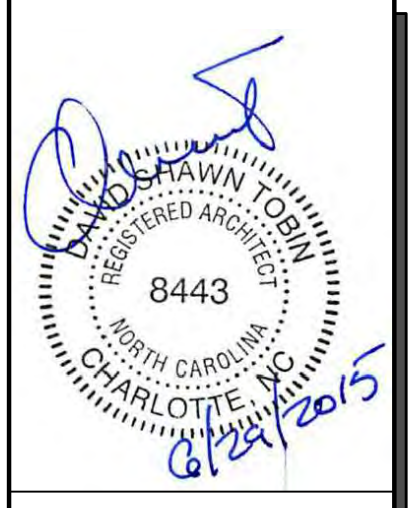


A1 NOT USED

1/8" = 1'-0" XXX-XXXX

A11 ENLARGED SIDE ELEVATION (WITH FINISHES)

1/8" = 1'-0" H1-A203



SIGNATURE DATE:
TOBIN, PLLC
52892
North Carolina
Charlotte, North Carolina
TOBIN, PLLC
333 W. Trade St.
Suite 350, NC 28202
P: 980 237 6922
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CHARLOTTE, NC 28262

PROTOTYPE	P-83
DIVISION	Division
VERSION	GEN III
DATE	05-01-2015

REV	DATE	DESCRIPTION

SHEET TITLE:
ENLARGED EXTERIOR ELEVATIONS

SHEET NUMBER:
A204