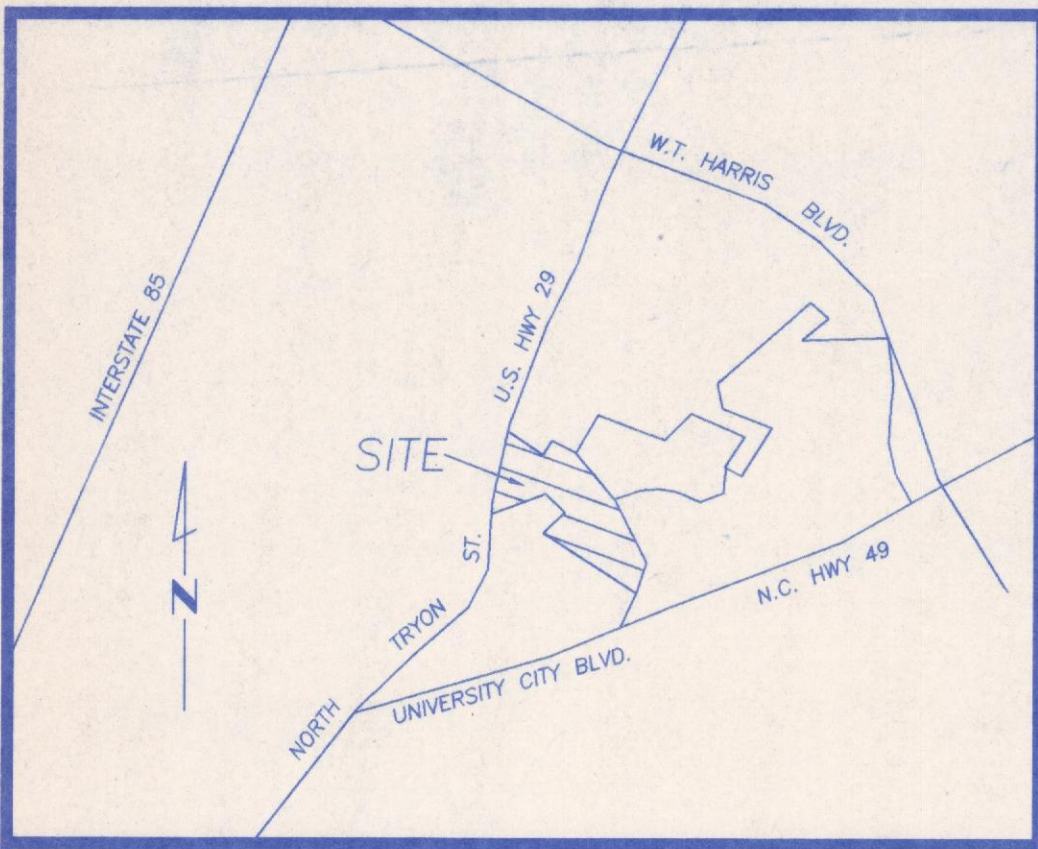




VICINITY MAP

N/F
THE COMMONS AT CHANCELLOR PARK
THE COMMONS ASSOCIATES LTD PARTNERSHIP
DB 7395, PG 765

NC GRID COORDINATES
N = 566,952.11
E = 1,476,970.73

NOTES:
1. EXISTING UTILITIES AND ALL OTHER UTILITIES SHOWN ON THE PLAN SHALL BE MAINTAINED AND PROTECTED.
2. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE LANDSCAPE CONTRACTOR.
3. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE LANDSCAPE CONTRACTOR.
4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE LANDSCAPE CONTRACTOR.

Shrub Planting Detail

Tree Planting Detail

Plant List

Qty	Botanical Name	Common Name	Root	Ht.	Cal.	Spread	Remarks
8	Acer rubrum 'Red Sunset'	'Red Sunset' Maple	B&B	2'-2 1/2'			Matched specimen
19	Lagerstroemia indica 'Fotomae'	Crape Myrtle	B&B	8'-10'	MS	5'-6'	3-5 trunk, limbed up to form
44	Myrica cerifera	Treelike Wax Myrtle	B&B	8'-10'	MS	5'-6'	Limbed up to form
18	Acer rubrum	Red Sunset	B&B	2'-2 1/2'			Matched specimen
11	Taxodium distichum	Bald Cypress	B&B	12'-14'			Matched specimen
1	Elea + Helio Steens	Nelle Steens Holly	B&B	6'-8'			Full specimen
19	Xylocarpus floridensis	Florida Cypress	B&B	18'-24'			Full specimen - 3' o.c.
24	Berberis thunbergii	Crim. Myrtle	3 gal	18'-24'			Full specimen - 3' o.c.
191	Elea grandifolia	Dwarf Burford Holly	3 gal	18'-24'			Full specimen - o.c.
107	Abelia grandifolia	Abelia	3 gal	15'-18'			Full specimen - o.c.
178	Hemiphaedra corymbosa	Burford Holly	3 gal	15'-18'			Full specimen - 3' o.c.
66	Hemiphaedra corymbosa	Burford Holly	3 gal	15'-18'			Full specimen - 3' o.c.
10	Myrica cerifera	Wax Myrtle	4" pot	4'-6'			Full specimen - 5' o.c.
344	Seasonal Color	Seasonal Color	4" pot	4'-6'			Full specimen - 12' o.c.

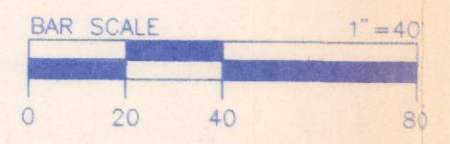
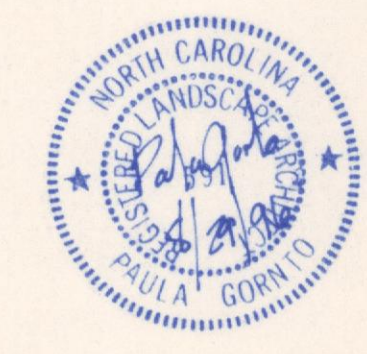
Note: Contractor is responsible for seeding all disturbed areas. See specifications for seed type 1 notes.

LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF QUANTITIES IN THE PLANT LIST. ANY DISCREPANCIES BETWEEN QUANTITIES ON PLAN AND PLANT LIST SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND ANY FIELD ADJUSTMENTS OR QUANTITY ADJUSTMENTS MUST BE AUTHORIZED PRIOR TO PLANTING.
- ALL TREES, SHRUBS AND PLANTS SHALL CONFORM TO ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (ANSI 260.1).
- ALL SAUERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
- THE TOP OF ALL ROOT BALLS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE, AS BORN TO PREVIOUS GROWING CONDITIONS.
- ALL ROOT BALLS REMOVED FROM CANS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
- ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY CONDITION FOR ONE (1) YEAR AFTER ACCEPTANCE BY OWNER OF ALL PLANT MATERIAL.
- MULCH A MINIMUM 4 FOOT AREA AROUND EACH TREE AND - MULCH A CONTINUOUS AREA AROUND ALL SHRUB BEDS, AS INDICATED ON THE PLAN. MULCH SHALL BE 3-4" OF MULCH. SEE SPECIFICATIONS FOR TYPE.
- LANDSCAPE CONTRACTOR SHALL REMOVE TOP 1/3 OF ALL WIRE BASKETS, TOP 1/3 OF BURLAP AND ASSOCIATED TYPING AND STAPLING FROM TREE ROOT BALLS PRIOR TO FINAL ACCEPTANCE OF PLANTS.
- TOPSOIL SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AND USED FOR BACKFILLING ALL PITS FOR PLANTS. PROVIDE TOPSOIL WHICH IS FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUB-SOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 1" IN ANY DIMENSION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. TOPSOIL SHALL HAVE 2-5% ORGANIC MATTER (MINIMUM), A 60% MAXIMUM CLAY CONTENT, AND A PH VALUE OF 6-6.5%.
- CONTRACTOR IS RESPONSIBLE FOR HAVING ALL UNDERGROUND UTILITIES LOCATED AND CLEARLY MARKED WITHIN 10 DAYS OF ANY GROUND DISTURBING ACTIVITY. OWNER WILL NOT PAY FOR UTILITY REPAIRS DUE TO FAILURE TO MARK AND OBSERVE UTILITY LOCATIONS.
- TREE PROTECTION BARRICADES MUST MEET OR EXCEED CITY STD. 40.40 CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL.
- NO DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING, ETC., SHALL BE ALLOWED IN TREE PROTECTION ZONES.
- TREE BARRICADES MUST BE INSTALLED BEFORE DEMOLITION, CLEARING, GRADING, CONSTRUCTION, AND NOT REMOVED UNTIL AFTER FINAL SITE INSPECTION BY URBAN FORESTER AND/OR ZONING INSPECTOR.
- BEFORE GRADING BEGINS, NOTIFY ARCHITECT FOR INSPECTION OF TREE PROTECTION BARRICADES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING TREES AND SHRUBS THAT WILL MEET MINIMUM SIZE AND SEASON FOR TREE AND ZONING ORDINANCE COMPLIANCE. FAILURE TO INSTALL PLANT MATERIAL PER THIS PLAN WILL JEOPARDIZE ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING INSPECTIONS OF PLANT MATERIAL, AS FOLLOWS:
- URBAN FORESTRY STAFF (TREE ORDINANCE)
336-2291
- ZONING INSPECTION (SCREENING & BUFFERS)
336-3570
- ALL DISTURBED AREAS SHALL BE SEEDDED WITH KENTUCKY 31 FESCUE MIXTURE AT THE FOLLOWING RATE:
FESCUE AT 5-6 LBS/1000 S.F.
10-10-10 FERTILIZER AT 20 LBS/1000 S.F.
LINE AT 100 LBS/1000 S.F.
ULTRA-MULCH AT 1 1/2 BALE/1000 S.F.

ATTACHED TO ADMINISTRATIVE
APPROVAL

DATED: 10/8/96
BY: MARTIN R. CRAMTON, JR.



CHARLOTTE - MECKLENBURG
PLANNING COMMISSION
INTER - OFFICE COMMUNICATION

TO: Robert Brandon
Zoning Administrator

DATE: October 8, 1996

FROM: Martin R. Cramton, Jr.
Planning Director

SUBJECT: Administrative Approval for Petition No. 96-58 Stor-All Systems, Inc. Tax Parcel # 049-401-06 portion of.

Attached is a specific landscape plan for the above mentioned rezoning petition. This plan shows how the landscape setback areas will be landscaped. Please use this plan when evaluating requests for building permits and certificates of occupancy.

DEREK CHURCH
WILLIAMS
Landscape Architecture

1800 South Boulevard
Suite 108
Charlotte, North Carolina 28203
704/273-0959 FAX 704/273-0920

ON DISC ONLY

ESP ASSOCIATES, P.A.
engineering-surveying-planning

10100 Park Cedar Drive, Suite 100
Charlotte, NC 28203 (704) 545-7307

Rev.	DATE	REVISION	BY
1	10/1/96	Driveway Change	
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LANDSCAPE PLAN

PROJECT: STOR-ALL AT THE COMMONS
AT CHANCELLOR PARK

STOR-ALL SYSTEMS, INC.

1375 W. HILLSBORO BLVD.
DEERFIELD BEACH, FLA. 33442
(305) 421-7888

L-1

CHARLOTTE - MECKLENBURG
PLANNING COMMISSION

INTER - OFFICE COMMUNICATION

DATE: January 31, 2001

TO: Robert Brandon
Zoning Administrator

FROM: *TEM*
Martin R. Cramton, Jr.
Planning Director

SUBJECT: Administrative Approval for Petition No. 96-58, Stor-All Systems, Inc.

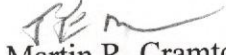
Attached are revised plans for the above rezoning petition. The plans have been revised to indicate two access points (this is a clarification), to show a new building layout and revised notes to reflect this layout, specify elevations on buildings and show specific plantings within the landscaped areas. Since these changes are minor and do not alter the intent of the approved plan, I am administratively approving these revised plans. Please use these revised plans when evaluating requests for building permits and certificates of occupancy. **Note this site must still meet all other ordinance requirements.**

**CHARLOTTE - MECKLENBURG
PLANNING COMMISSION**

INTER - OFFICE COMMUNICATION

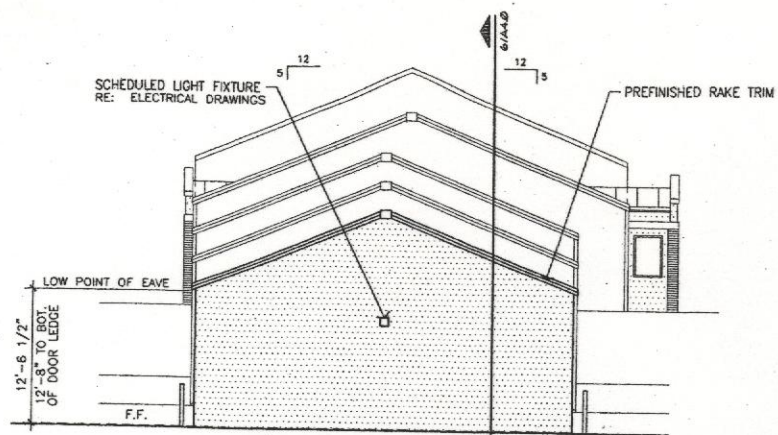
DATE: October 17, 2001

TO: Robert Brandon
Zoning Administrator

FROM: 
Martin R. Cramton, Jr.
Planning Director

SUBJECT: Administrative Approval for Petition No. 96-58, Stor-All Systems, Inc.

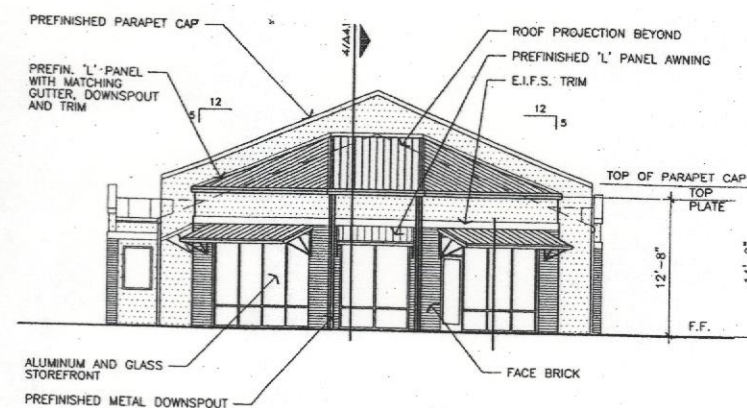
Attached are specific elevations with a color schedule for the above rezoning petition. Since these elevations are in compliance with the conditional plan, I am administratively approving these elevations. Please use these elevations when evaluating requests for building permits and certificates of occupancy. **Note this site must still meet all other ordinance requirements.**



SOUTH ELEVATION - BUILDING A

RE: 2/A3.0 FOR ADDITIONAL NOTES

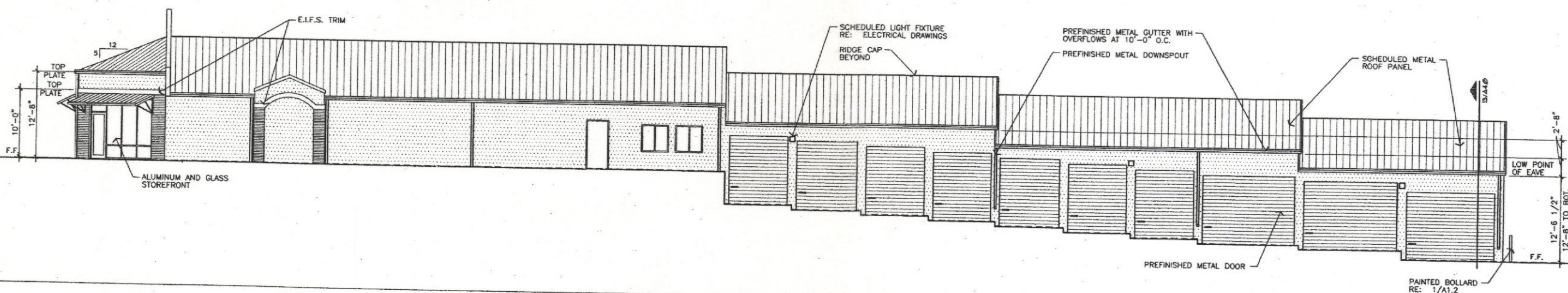
1/8"=1'-0" **4**



NORTH ELEVATION - BUILDING A ~ EXTERIOR

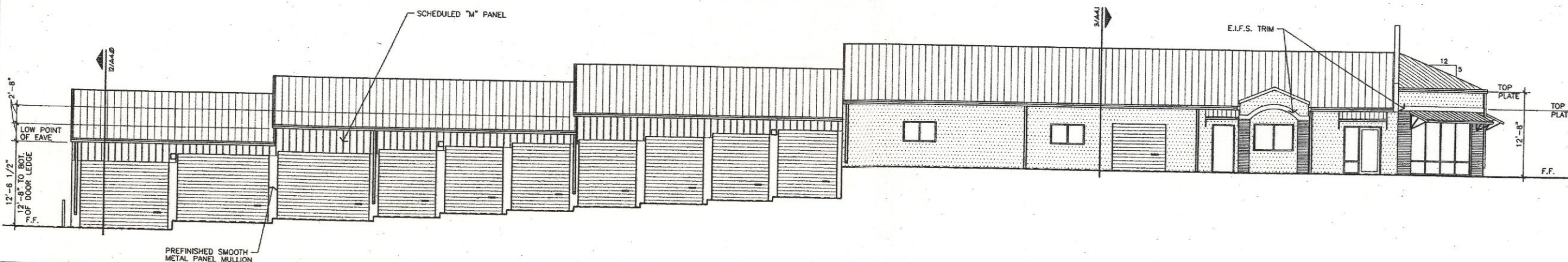
RE: 2/A3.0 FOR ADDITIONAL NOTES

1/8"=1'-0" **3**



WEST ELEVATION - BUILDING A

1/8"=1'-0" **2**



EAST ELEVATION - BUILDING A ~ INTERIOR

RE: 2/A3.0 FOR ADDITIONAL NOTES

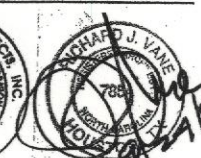
1/8"=1'-0" **1**

**ATTACHED TO ADMINISTRATIVE
APPROVAL**
DATED: October 17, 2001
BY: MARTIN R. CRAMTON, JR.

96-58

OSBORN & VANE ARCHITECTS

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Houston, Texas 77057
713 781 5262
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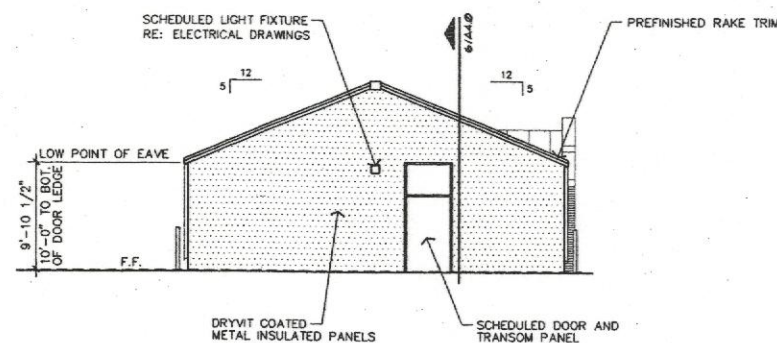
Project No. 00143

Drawn OO

Checked RV

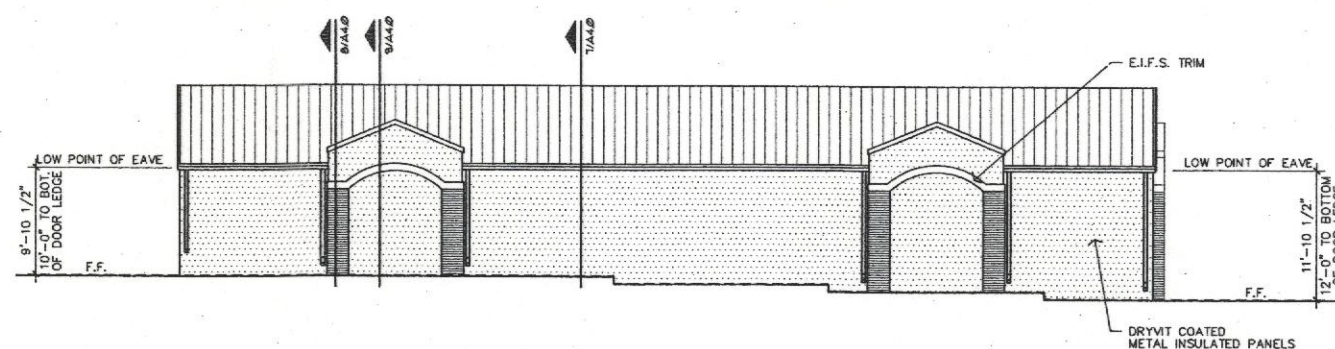
EXTERIOR ELEVATIONS

A30



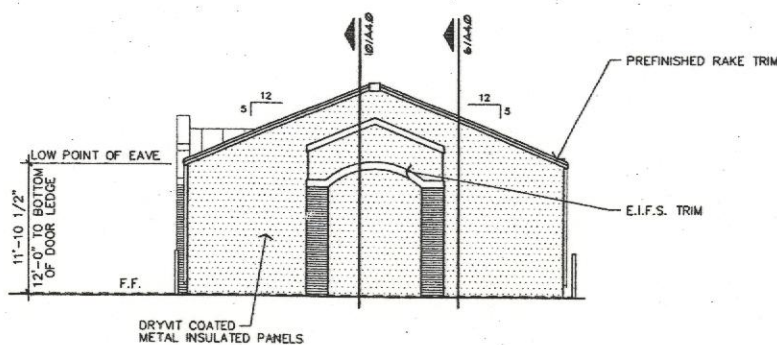
RE: 1/A3.1 FOR ADDITIONAL NOTES

NORTH WEST ELEVATION - BUILDING B EXTERIOR 1/8"=1'-0" **4**



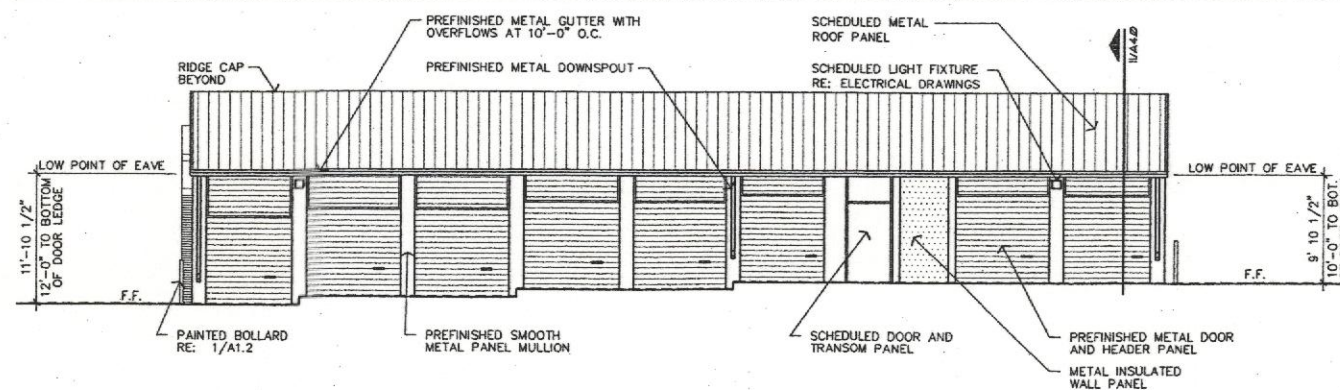
RE: 1/A3.1 FOR ADDITIONAL NOTES

EXTERIOR- SOUTH ELEVATION - BUILDING B - TOWARD PROP. LINE 1/8"=1'-0" **2**



RE: 1/A3.1 FOR ADDITIONAL NOTES

SOUTH EAST ELEVATION - BUILDING B EXTERIOR 1/8"=1'-0" **3**

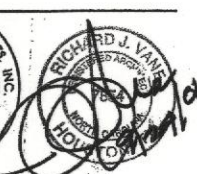
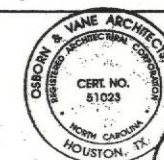


1/8"=1'-0" **1**

INTERIOR- NORTH ELEVATION - BUILDING B - AWAY FROM PROP. LINE 1/8"=1'-0" **1**

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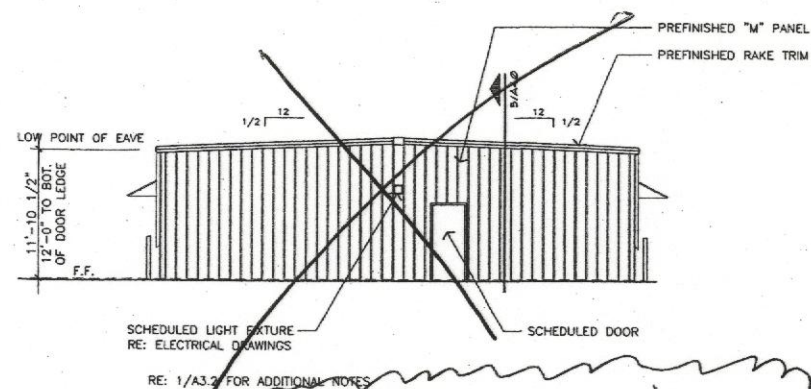
Project No. 00143

Drawn OO

Checked RV

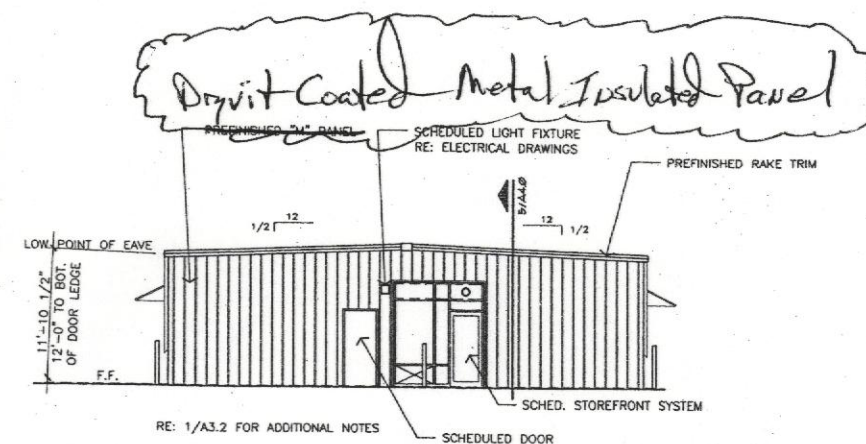
EXTERIOR ELEVATIONS

Sheet No. A3.1



NORTH ELEVATION - BUILDING C

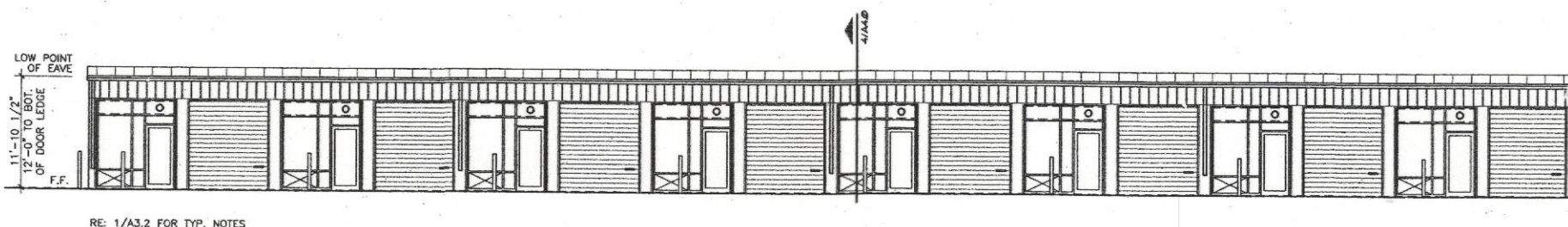
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SOUTH ELEVATION - BUILDING C

1/8"=1'-0"

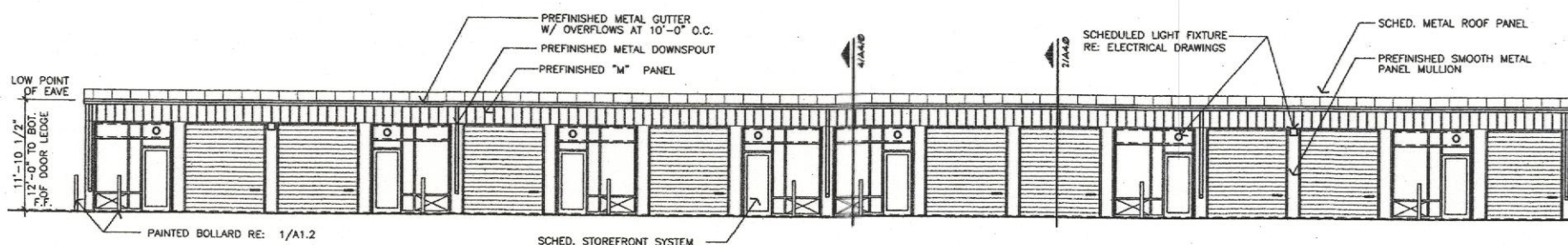
3



WEST ELEVATION - BUILDING C

1/8"=1'-0"

2



EAST ELEVATION - BUILDING C

1/8"=1'-0"

1

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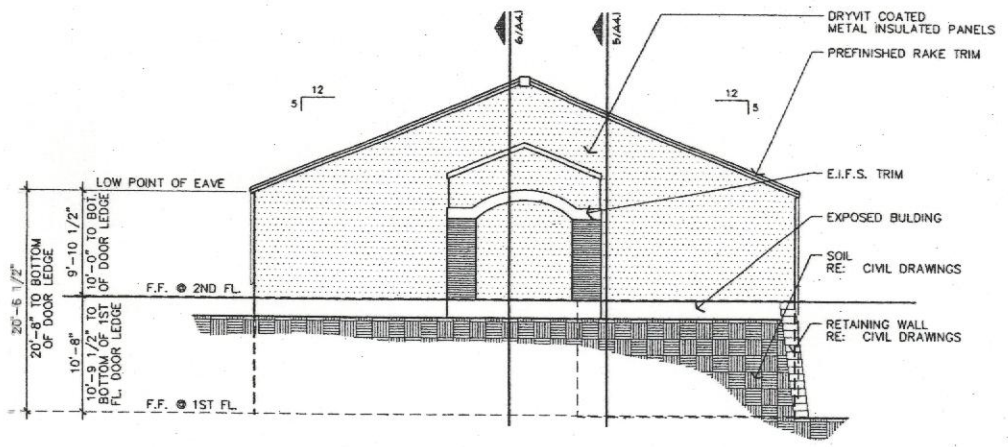
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CHARLOTTE, NC

Project No. 00143
Drawn OO
Checked RV

EXTERIOR ELEVATIONS

Sheet No. A32



NORTH ELEVATION IS SIMILAR AND OPPOSITE HAND

RE: 1/A3.3 FOR ADDITIONAL NOTES

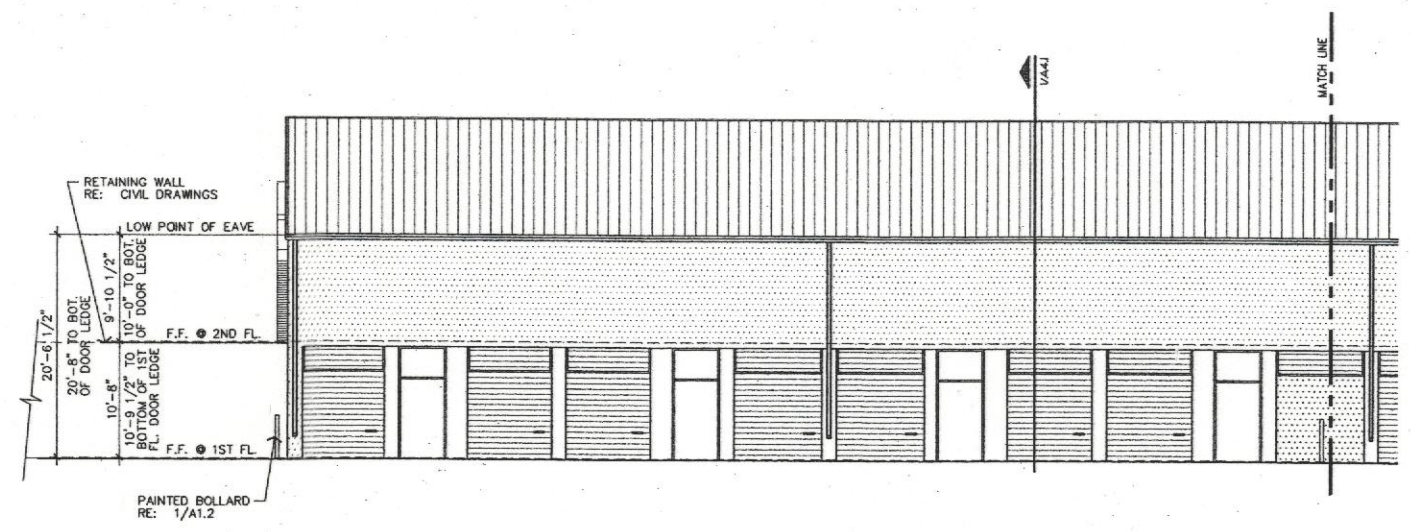
NOT USED

4

NORTH / SOUTH ELEVATION - BUILDING D

1/8"=1'-0"

3

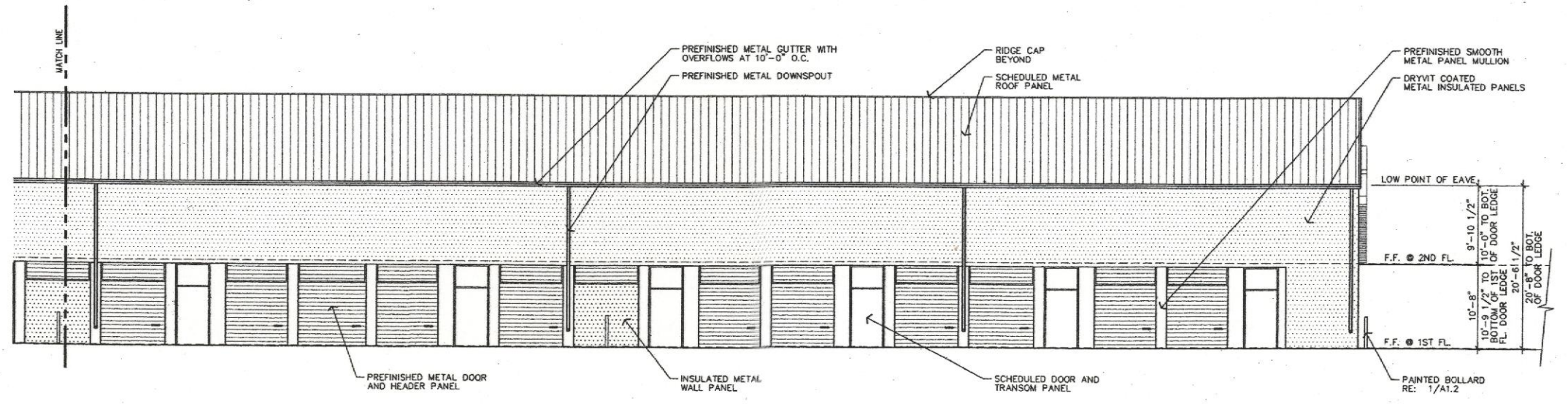


RE: 1/A3.3 FOR ADDITIONAL NOTES

PARTIAL EAST ELEVATION - BUILDING D *INTERIOR*

1/8"=1'-0"

2



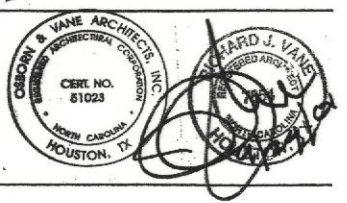
PARTIAL EAST ELEVATION - BUILDING D

1/8"=1'-0"

1

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Project No. 00143
Drawn OO
Checked RV

EXTERIOR ELEVATIONS

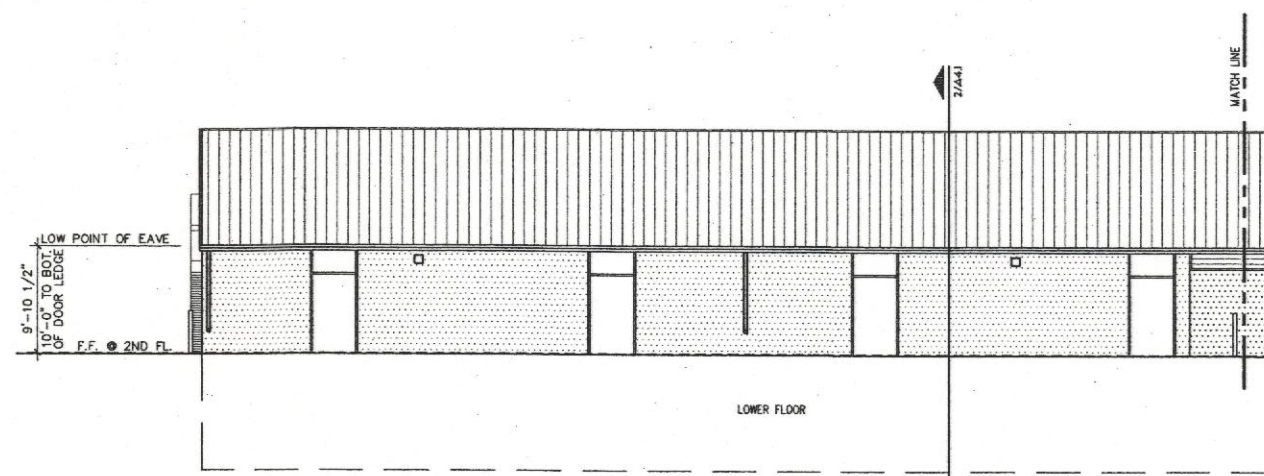
Sheet No. A3.3

NOT USED

4

NOT USED

3

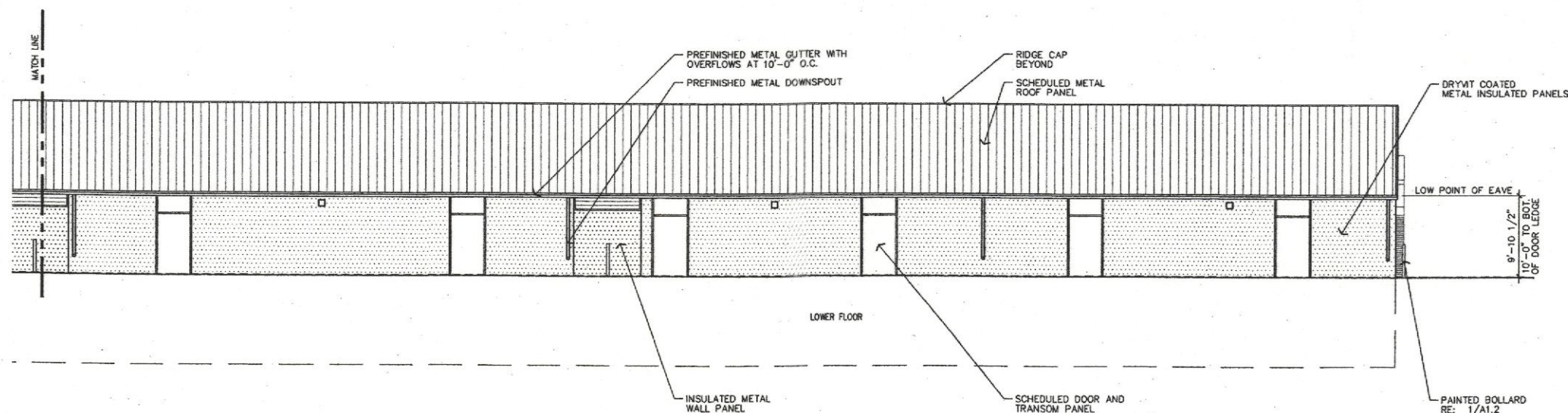


RE: 1/A3.4 FOR ADDITIONAL NOTES

PARTIAL WEST ELEVATION - BUILDING D - INTERIOR

1/8"=1'-0"

2



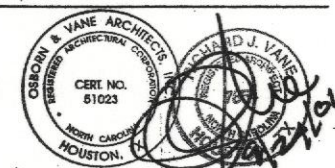
PARTIAL WEST ELEVATION - BUILDING D - INTERIOR

1/8"=1'-0"

1

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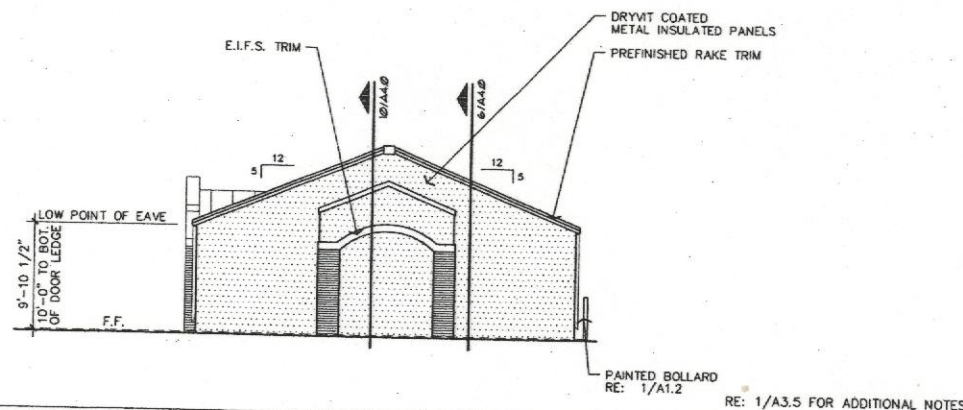
Project No. 00143

Drawn OO

Checked RV

EXTERIOR ELEVATIONS

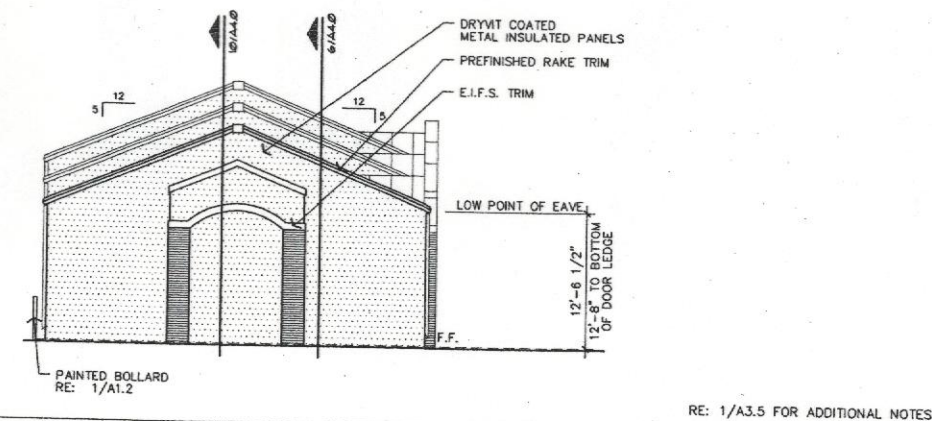
Sheet No. A3.4



WEST ELEVATION - BUILDING E

1/8"=1'-0"

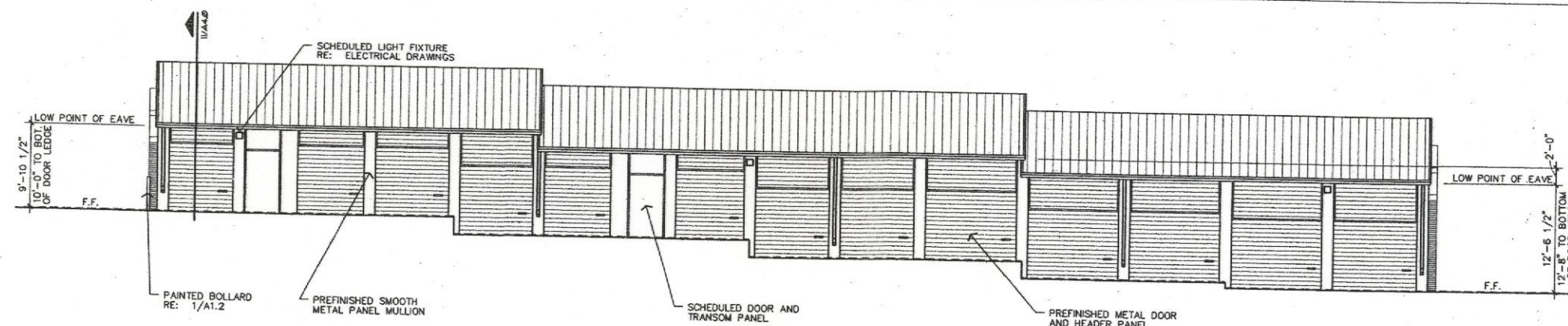
4



EAST ELEVATION - BUILDING E - EXTERIOR

1/8"=1'-0"

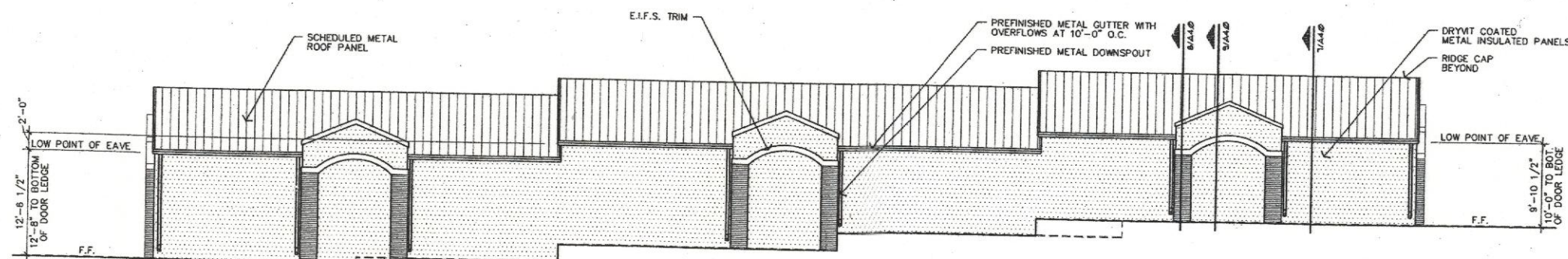
3



SOUTH ELEVATION - BUILDING E - INTERIOR

1/8"=1'-0"

2



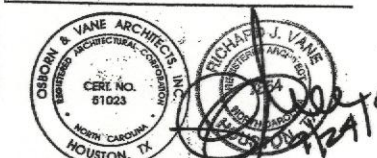
NORTH ELEVATION - BUILDING E - EXTERIOR

1/8"=1'-0"

1

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MINI STORAGE

7828 N. TRYON STREET
CHARLOTTE, NC

Project No. 00143
Drawn OO
Checked RV

EXTERIOR ELEVATIONS

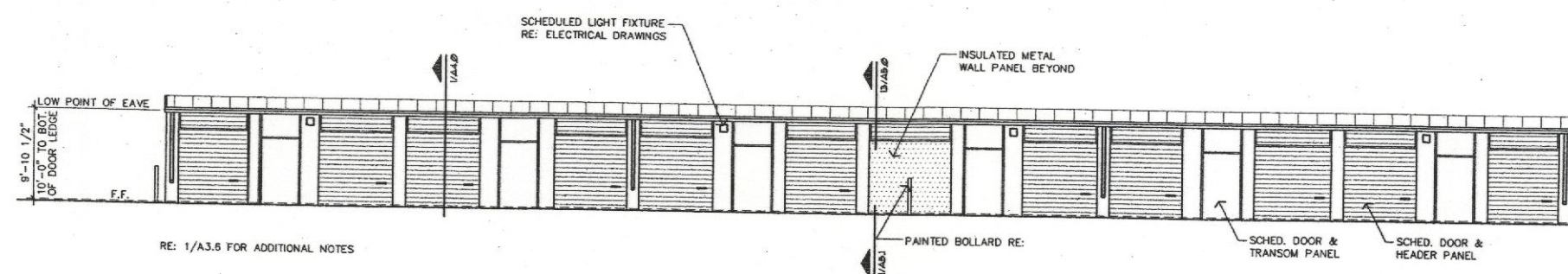
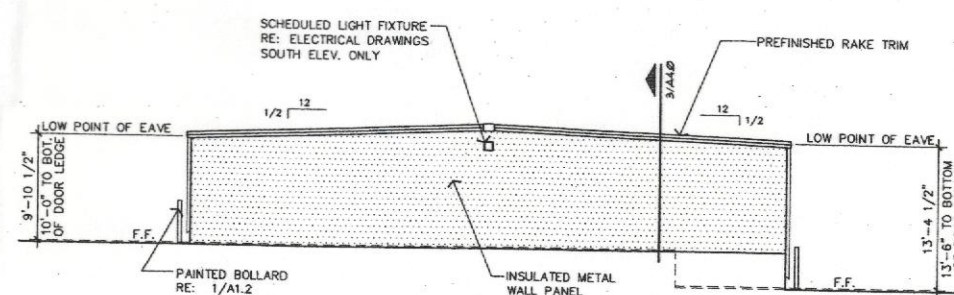
Sheet No. A3.5

NOT USED

NORTH & SOUTH ELEVATIONS - BUILDING F

1/8"=1'-0"

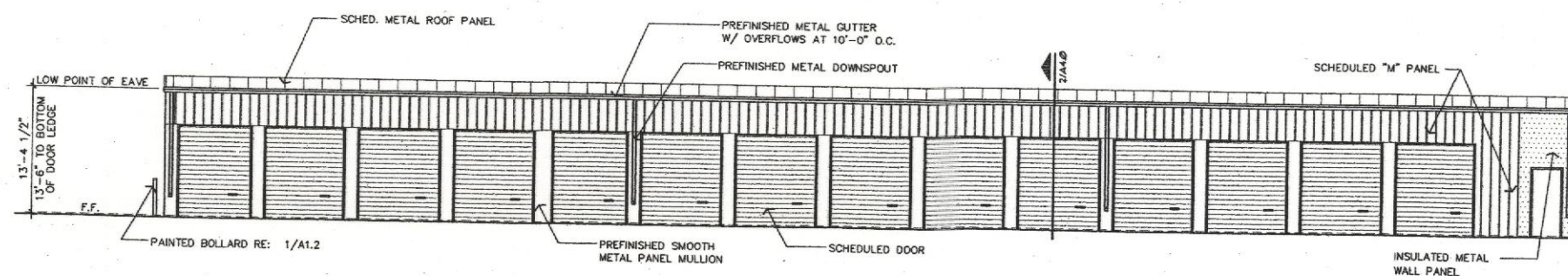
3



WEST ELEVATION - BUILDING F

1/8"=1'-0"

2



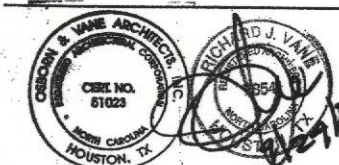
EAST ELEVATION - BUILDING F

1/8"=1'-0"

1

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7828 N. TRYON STREET
CHARLOTTE, NC

Project No. 00143

Drawn: OO

Checked: RV

EXTERIOR ELEVATIONS

Sheet No. A3.6

NOT USED

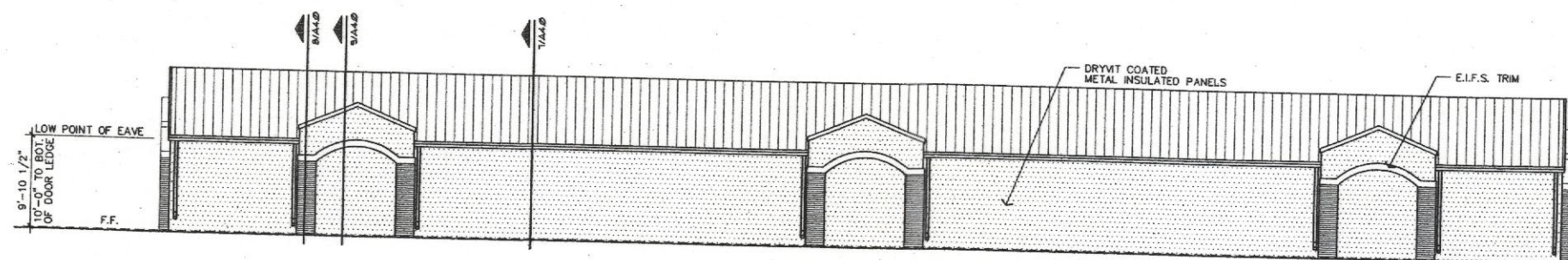
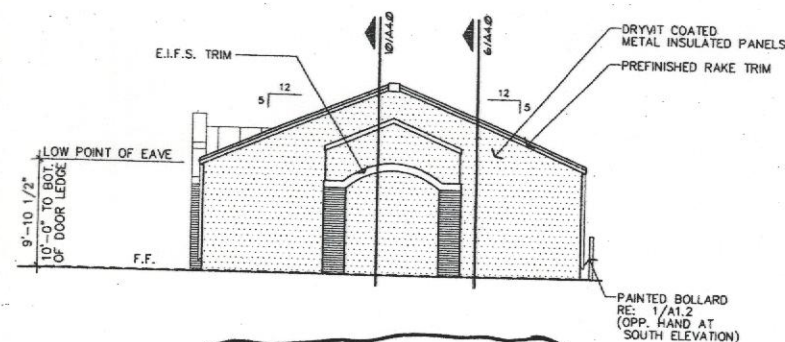
4

NORTH ELEVATION - BUILDING G - EXTERIOR

RE: 1/A3.7 FOR ADDITIONAL NOTES

1/8"=1'-0"

3

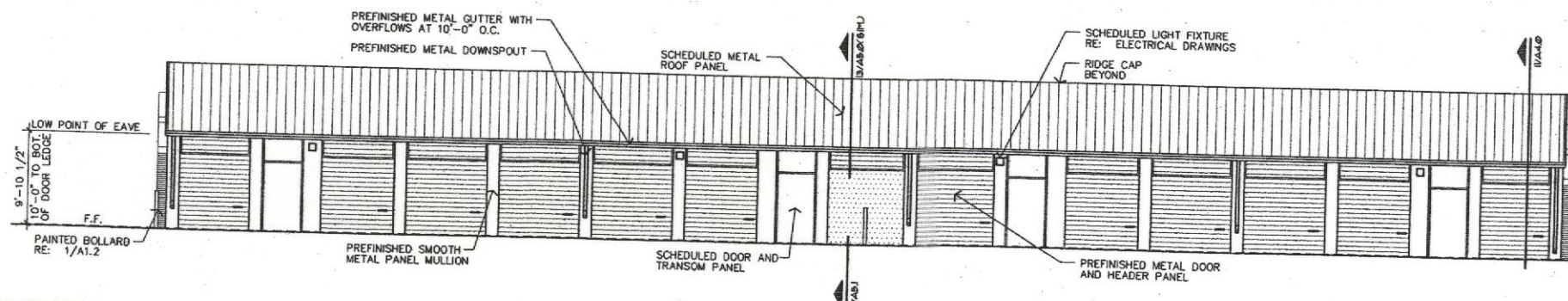


EAST ELEVATION - BUILDING G - EXTERIOR

RE: 1/A3.7 FOR ADDITIONAL NOTES

1/8"=1'-0"

2



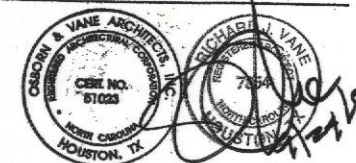
WEST ELEVATION - BUILDING G - INTERIOR

1/8"=1'-0"

1

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7828 N. TRYON STREET
CHARLOTTE, NC

Project No. 00143

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EXTERIOR ELEVATIONS

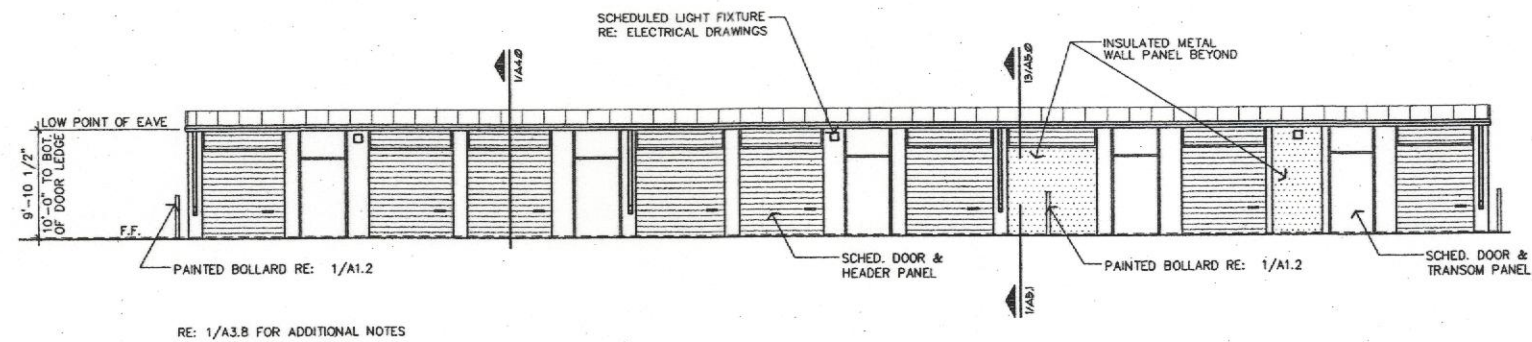
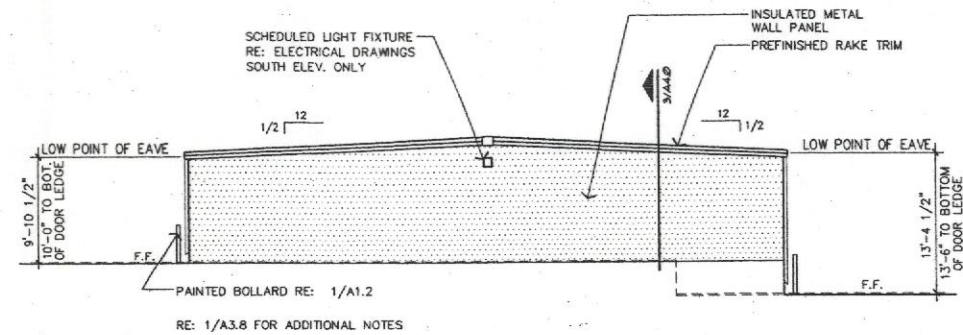
Sheet No. A3.7

NOT USED

NORTH & SOUTH ELEVATIONS - BUILDING H

1/8"=1'-0"

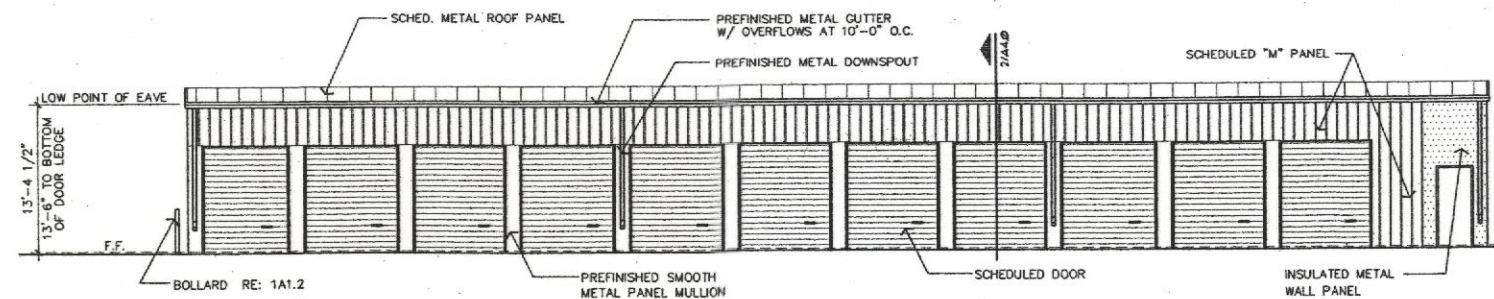
3



WEST ELEVATION - BUILDING H - *INTERIOR*

1/8"=1'-0"

2



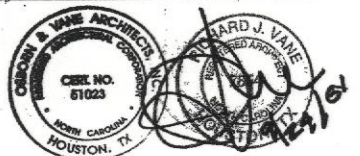
EAST ELEVATION - BUILDING H - *INTERIOR*

1/8"=1'-0"

1

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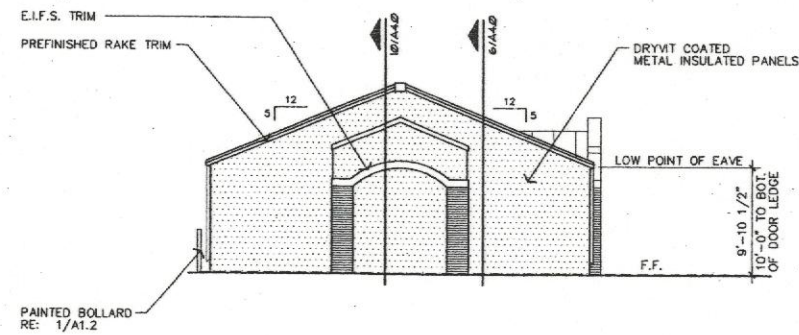
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Sheet No. A3.8

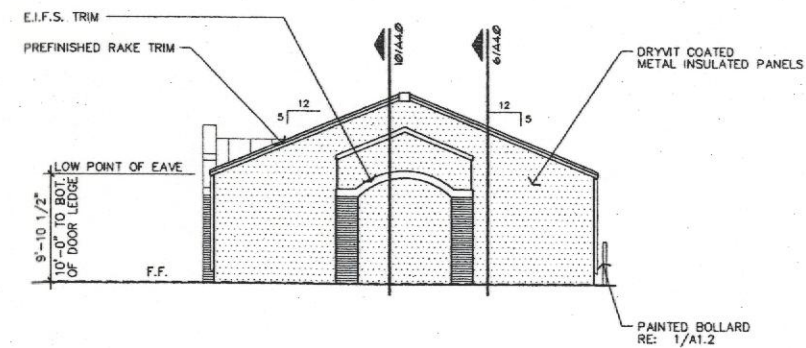


RE: 1/A3.9 FOR ADDITIONAL NOTES

SOUTH ELEVATION - BUILDING J ~ EXTERIOR

1/8"=1'-0"

4

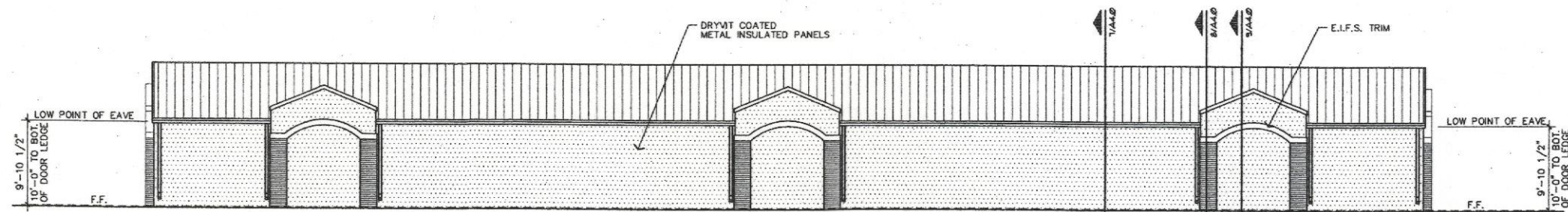


RE: 1/A3.9 FOR ADDITIONAL NOTES

NORTH ELEVATION - BUILDING J ~ EXTERIOR

1/8"=1'-0"

3

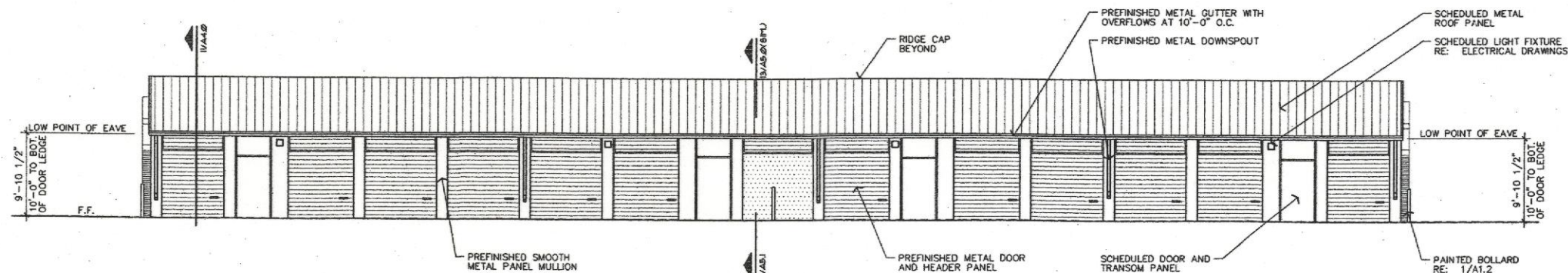


RE: 1/A3.9 FOR ADDITIONAL NOTES

EAST ELEVATION - BUILDING J ~ EXTERIOR

1/8"=1'-0"

2



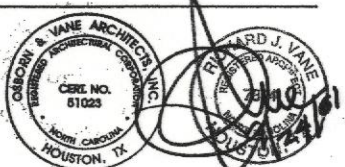
WEST ELEVATION - BUILDING J ~ INTERIOR

1/8"=1'-0"

1

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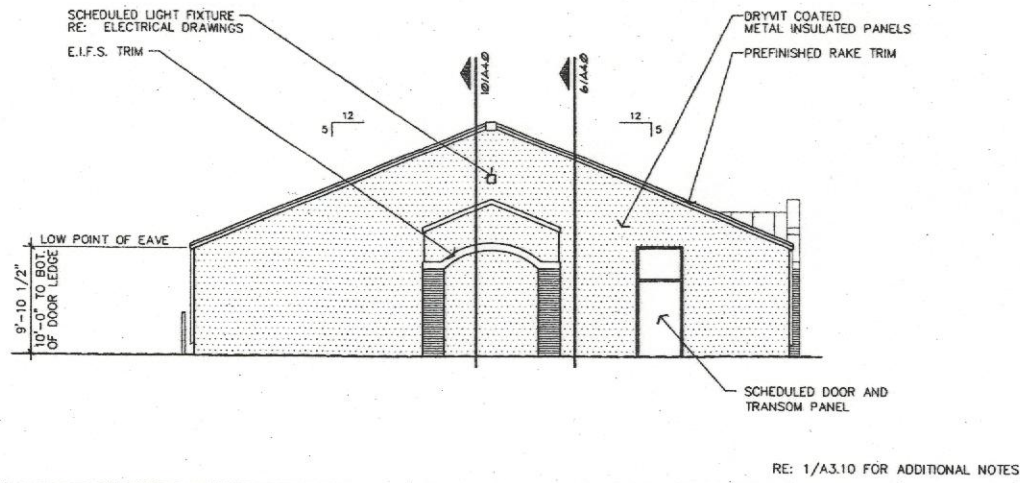
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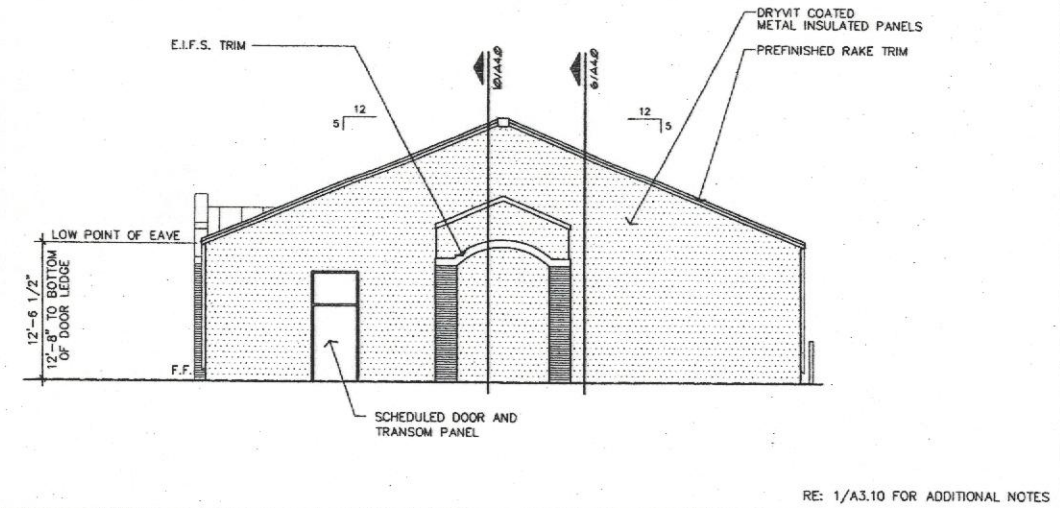
Project No. 00143
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Checked RV

EXTERIOR ELEVATIONS

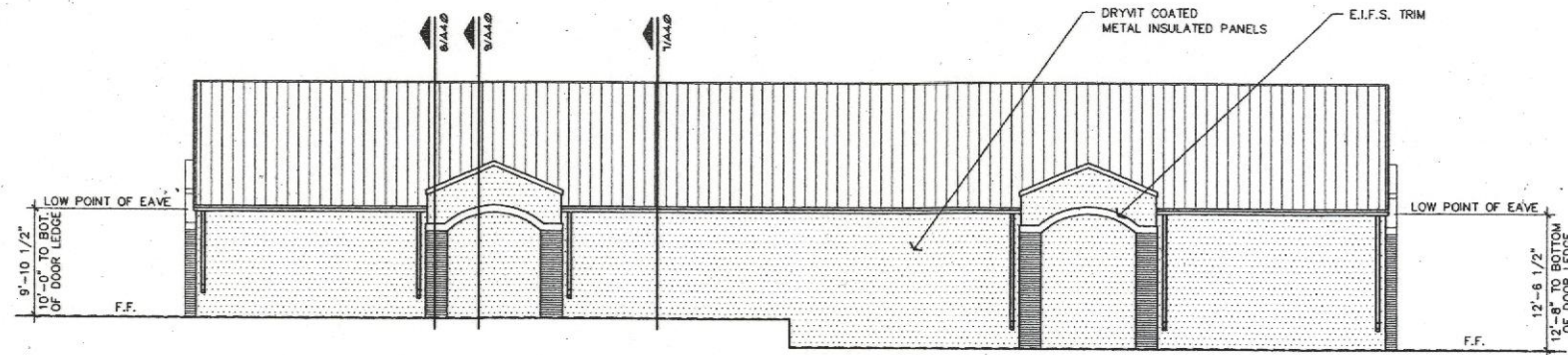
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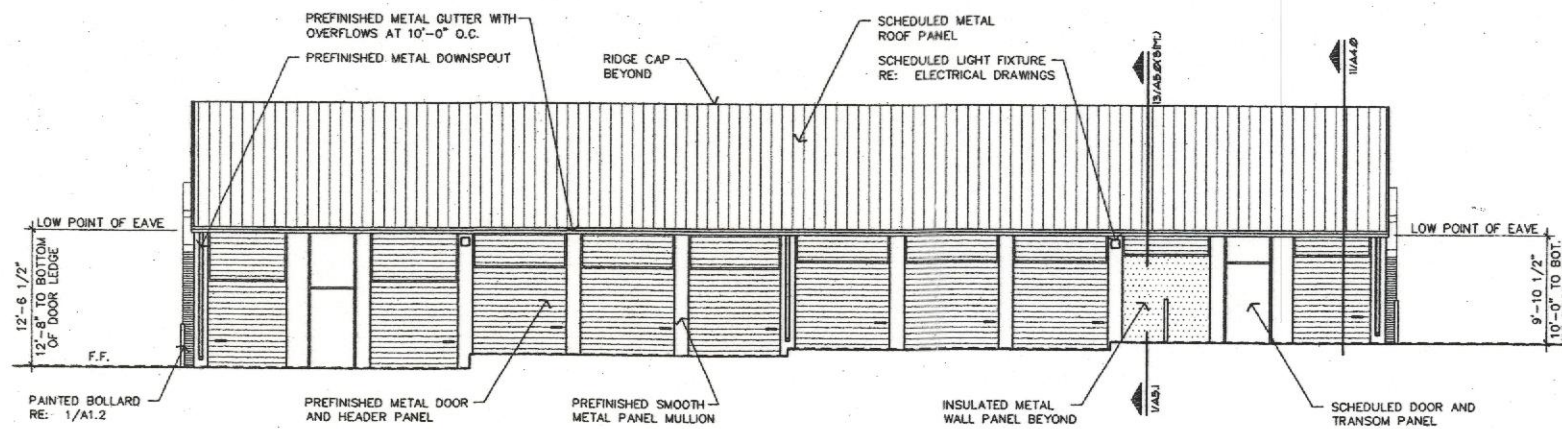
WEST ELEVATION - BUILDING K~ *EXTERIOR* 1/8"=1'-0" **4**



EAST ELEVATION - BUILDING K ~ EXTERIOR 1/8" = 1'-0" **3**



SOUTH ELEVATION - BUILDING K ~ EXTERIOR 1/8" = 1'-0" **2**



NORTH ELEVATION - BUILDING K - INTERIOR 1/8" = 1'-0" 1

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EXTERIOR ELEVATIONS

Sheet No. A3.10

MATERIAL & FINISH SCHEDULE

RE: DRAWINGS & SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS

FINISH MATERIALS

MATERIAL	MANUF./PRODUCT #	COLOR	TYPICAL LOCATIONS / REMARKS
WALLSHEETS & ROLL-UP DOORS			
PREFINISHED METAL	DBC	"BUCKSKIN" - BEIGE	EXTERIOR ROLL UP DOORS
PREFINISHED METAL	DBC	"BUCKSKIN" - BEIGE	EXTERIOR HEADER PANELS & TRIM ABOVE ROLL-UP DOORS (NOTE: USE COLOR MATCHED FASTENERS)
PREFINISHED METAL	DBC	GLOSSY WHITE	INTERIOR ROLL-UP DOORS
PREFINISHED METAL	DBC-SECURE WALL SYSTEM	GLOSSY WHITE ON BOTH SIDES	INTERIOR PANELS @ CORRIDORS AND NON STRUCTURAL PARTITIONS.
PREFINISHED METAL	MBC- "M" PANEL	WHITE ON BOTH SIDES	INTERIOR PANELS AND ASSOCIATED METAL TRIM @ STRUCTURAL PARTITIONS.
PREFINISHED METAL	API - SMOOTH PANEL	"SANDLEWOOD BEIGE"	DRYWIT COATED EXTERIOR METAL INSULATED PANELS & ASSOC. METAL TRIM
PREFINISHED METAL	ALUMA SHIELD AW-200	DURANAR SURRY BEIGE # 3MN751971	EXTERIOR METAL INSULATED PANELS & ASSOC. MTL TRIM
PREFINISHED METAL	MBC- "M" PANEL REVERSE ROLL	KYNAR 500 BROWNSTONE	EXTERIOR METAL PANELS & ASSOC. METAL TRIM
PREFINISHED METAL	SMOOTH PANEL MULLION	KYNAR 500 BROWNSTONE	EXTERIOR METAL PANEL TRIM BETWEEN ROLL-UP DOORS
PAINT			
EXTERIOR SEMI GLOSS POLYURETHANE	TNMEC 75 ENDURASHIELD	BL-09 MED. BRONZE (SUBMIT ACTUAL SAMPLE)	EXTERIOR HOLLOW METAL DOORS & FRAMES AND BOLLARDS (INCLUDING TNMEC SERIES 161 FAS-CURE "PRIMER" & TNMEC 76 ENDURACLEAR SATIN "CLEAR FINISH COAT").
EXTERIOR SEMI GLOSS POLYURETHANE	TNMEC 75 ENDURASHIELD	COLOR TO MATCH ADJOINING (SUBMIT ACTUAL SAMPLE)	EXTERIOR CONDENSATE DRAIN LINES, BRACING & PROTECTIVE ENCLOSURES(INCLUDING TNMEC SERIES 161 FAS-CURE "PRIMER" & TNMEC 76 ENDURACLEAR SATIN "CLEAR FINISH COAT").
SEMI GLOSS EXTERIOR ALKYD ENAMEL	SW PROMAR 200	SW 2123 WHITE (U.N.O.)	INTERIOR WOOD DOORS (AT MINI-STORAGE: 2 COATS ON CORRIDOR FACE AND STRIKE EDGE)
SEMI GLOSS EXTERIOR ALKYD ENAMEL	SW PROMAR 200	SW MED. BRONZE	INTERIOR H.M. DOORS & H.M. FRAMES
METAL PRIMER	SW PROMAR 200	850-N-2-BROWN	STRUCTURAL STEEL & MISC. STEEL ANGLES & PLATES EXPOSED TO VIEW
WATERBORNE EPOXY SEMI-GLOSS COATING	DEVCO TRU-GLAZE	TRU-GLAZE WB4406	CONC. FLOOR SLABS (1 COAT @ STRG. STALLS & 2 COATS @ CORRIDORS).
EGG SHELL LATEX	SW PROMAR 200	# 1004 PURE WHITE	APARTMENT WALLS, "ORANGE PEEL" TEXTURE
FLAT LATEX	SW PROMAR 200	# 1004 PURE WHITE	APARTMENT CEILING, "ORANGE PEEL" TEXTURE
EGG SHELL ACRYLIC	SW PROMAR 200	# 1004 PURE WHITE	WALLS AT FILE STORAGE, WALLS & CEILINGS AT BATH & KITCHEN, WALLS @ OFFICE & DISPLAY, INTERIOR DOORS & FRAMES AND WOOD TRIM (INCL. BASES, STOOLS & CASING FOR DOORS, WINDOWS & CASED OPENINGS) ("ORANGE PEEL" TEXTURE EXCEPT ON WOOD)
CARPET			
CARPET & PAD	PATCHCRAFT	CUENT 30 / #634-003, COLOR 003 "FEE" PAD 3/8", REBOND 6 POUND	APARTMENT (SCHED. ROOMS)
VINYL FLOORING			
V.C.T.	ARMSTRONG	STANDARD EXCELOX # 51836 SHELTER WHITE	APARTMENT (SCHED. ROOMS)
V.C.T.	ARMSTRONG	STANDARD EXCELOX # 51091 TAUPE	OFFICE, DISPLAY, PUBLIC RESTROOMS & FILE STORAGE
BASE			
4" RUBBER COVE (6" AT RESTROOM)	ROPPE	# 94 BURNT UMBER	OFFICE, DISPLAY, PUBLIC TOILETS & FILE STORAGE.
WOOD BASE	LOVE STAR B-2	3 1/4" WOOD- PAINTED	THROUGHOUT APARTMENT, U.N.O.
METAL ROOF SHEETS			
PREFINISHED METAL	MBC- ULTRA DECK 24	KYNAR 500 "MED. BRONZE"	ROOF PANELS & ASSOC. METAL TRIM (RE: SHEET A1.0)
PREFINISHED METAL	MBC- "LOCKSEAM"	KYNAR 500 "MED. BRONZE"	ROOF PANELS & ASSOC. METAL TRIM (RE: SHEET A1.0)
PLASTIC LAMINATE			
PLASTIC LAMINATE (PL-1)	WILSON ART	# 455-1 BLACKSTAR GRANITE	HIGH COUNTERTOP AT OFFICE
PLASTIC LAMINATE (PL-2)	WILSON ART	# D327-6 PEPPERDUST	BASE CABINET & LOW COUNTERTOP AT OFFICE
PLASTIC LAMINATE (PL-3)	NOT USED		
PLASTIC LAMINATE (PL-4)	WILSON ART	4628-60 SAND NEBULA	KITCHEN COUNTER TOP
PLASTIC LAMINATE (PL-5)	WILSON ART	2904-60 WHITE SUEDE GLOSS TEXTURE	BATH COUNTER TOP
MISCELLANEOUS (EXTERIOR)			
FACE BRICK	MODULAR BRICK	COLOR TO MATCH ADJACENT SHOPPING CENTER	STANDARD GREY MORTAR (TYPE S)- SUBMIT BRICK SAMPLE FOR ARCHITECT REVIEW
ORNAMENTAL METAL		ZINC PLATED POWDER COATED DRK. BRONZE	METAL FENCES AND GATES
TRAFFIC SEALANT	PSI 551 OR PECORA UREXPAN N200	LIMESTONE	PAVING EXPANSION & CONTROL JOINTS EXCEPT @ G-SEAL JOINTS
SEALANT AT MASONRY	PSI 631 OR PECORA 895	COLOR TO MATCH MORTAR	
SEALANT AT METAL	PSI 551 OR PECORA 895	COLOR TO MATCH METAL	
MISCELLANEOUS (INTERIOR)			
PRE-FAB CABINETS	LEEDO	OAK VIEW "FROST"	BASE & WALL CABINET AT KITCHEN & BATH
FIBERGLASS REINFORCED PLASTIC PANEL (FRP)	KEMLITE GLASBOARD	#85 WHITE SMOOTH FINISH	FULL HEIGHT AT PUBLIC TOILETS PROVIDE MATCHING TRIM AT JOINTS AND EDGES
MINI BLINDS	BALL/LEVOLOR	WHITE ALUMINUM SLATS	RE: WINDOW SCHEDULE & DOOR SCHEDULE FOR APPROXIMATE SIZE, FIELD VERIFY. (REMOVE EXTRA PULL CORD AND SLATS FROM BOTTOM OF BLINDS) PROVIDE HOLD DOWN CLIPS @ EVERY LOCATION

ROOM FINISH SCHED. BLDG. B,D,E,F,G,H,J & K							
ROOM	FLOOR	WALLS		CEILINGS	REMARKS		
ALL INTERIOR SPACES (U.N.O.)	PAINTED CONCRETE	SCHED. WALL PANEL OR PAINTED CMU (EXPOSED TO PUBLIC VIEW)		SCHED. ROOF INSULATION OR EXPOSED METAL FLOOR DECK			
ROOM FINISH SCHED. BLDG. C							
ROOM	FLOOR	BASE	WALLS	CEILING	CLG. HT.	REMARKS	
FILE STORAGE	12 x 12 V.C. TILE	4" COVE	PAINTED GYP. BD.	2 x 4 ACOUSTICAL MINERAL TILE SUSP. W/BATT INSUL.	8'-0"	PTD. CEILING GRID	
WAREHOUSE	PAINTED CONCRETE	NONE	SCHED. WALL PANEL	SCHED. ROOF INSULATION			
WOMEN RESTROOM	12 x 12 V.C. TILE	6" COVE	PAINTED C.M.U.	2 x 4 ACOUSTICAL MOIST. RESIST. TILE	8'-0"	ALUM. CEILING GRID W/ HOLD DOWN CLIPS	
MEN RESTROOM	12 x 12 V.C. TILE	6" COVE	PAINTED C.M.U.	2 x 4 ACOUSTICAL MOIST. RESIST. TILE	8'-0"	ALUM. CEILING GRID W/ HOLD DOWN CLIPS	
JANITOR	PAINTED CONCRETE	NONE	PAINTED C.M.U.	SCHED. ROOF INSULATION			
ROOM FINISH SCHEDULE OF BLDG. A							
NO.	RM.	FLOOR	BASE	WALLS	CEILING	CLG. HT.	REMARKS
100	DISPLAY	12 x 12 V.C. TILE	4" COVE	PAINTED GYP. BD.	PAINTED GYP. BD.	9'-0" AND VARIES	
101	WORK RM.	12 x 12 V.C. TILE	4" COVE	PAINTED GYP. BD.	PAINTED GYP. BD.	9'-0"	
102	OFFICE	12 x 12 V.C. TILE	4" COVE	PAINTED GYP. BD.	PAINTED GYP. BD.	9'-0"	
103	A/H MECH.	NONE	NONE	GYP. BD. (TAPE & FLOAT ONLY)	GYP. BD. (TAPE & FLOAT ONLY)	9'-0"	
104	RESTROOM	12 x 12 V.C. TILE	6" COVE	FRP	PAINTED GYP. BD.	9'-0"	
105	MGR. STRG.	PAINTED CONCRETE	NONE	PAINTED GYP. BD.	PAINTED GYP. BD.	9'-0"	
106	LIVING / DINING	CARPET & PAD/ 12 x 12 V.C.T.	4" PAINTED WOOD	PAINTED GYP. BD.	PAINTED GYP. BD.	9'-0"	
107	KITCHEN	12 x 12 V.C. TILE	4" PAINTED WOOD	PAINTED GYP. BD.	PAINTED GYP. BD.	9'-0"	
108	CLOSET	CARPET & PAD	4" PAINTED WOOD	PAINTED GYP. BD.	PAINTED GYP. BD.	9'-0"	
109	UTILITY	SHEET VINYL	4" PAINTED WOOD	PAINTED GYP. BD.	PAINTED GYP. BD.	9'-0"	
110	A/H MECH.	NONE	NONE	GYP. BD.	GYP. BD. (TAPE & FLOAT ONLY)	9'-0"	
111	BATH	12 x 12 V.C. TILE	4" PAINTED WOOD	PAINTED GYP. BD.	PAINTED GYP. BD.	9'-0"	
112	HALL 1	CARPET & PAD	4" PAINTED WOOD	PAINTED GYP. BD.	PAINTED GYP. BD.	9'-0"	
113	BEDROOM	CARPET & PAD	4" PAINTED WOOD	PAINTED GYP. BD.	PAINTED GYP. BD.	9'-0"	
114	CLOSET	CARPET & PAD	4" PAINTED WOOD	PAINTED GYP. BD.	PAINTED GYP. BD.	9'-0"	
115	LINEN	CARPET & PAD	4" PAINTED WOOD	PAINTED GYP. BD.	PAINTED GYP. BD.	9'-0"	
116	MASTER BEDROOM	CARPET & PAD	4" PAINTED WOOD	PAINTED GYP. BD.	PAINTED GYP. BD.	9'-0"	
117	CLOSET	CARPET & PAD	4" PAINTED WOOD	PAINTED GYP. BD.	PAINTED GYP. BD.	9'-0"	
118	CLOSET	12 x 12 V.C. TILE	4" PAINTED WOOD	PAINTED GYP. BD.	PAINTED GYP. BD.	9'-0"	
119	HALL 2	12 x 12 V.C. TILE	4" PAINTED WOOD	PAINTED GYP. BD.	PAINTED GYP. BD.	9'-0"	
120	CLOSET	12 x 12 V.C. TILE	4" COVE	PAINTED GYP. BD.	PAINTED GYP. BD.	9'-0"	
121	REFRIG. STORAGE	PAINTED CONCRETE	NONE	SCHEDULED INSUL. METAL PANEL	SCHEDULED INSUL. METAL PANEL	9'-0"	

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WINDOW SCHEDULE

Sheet No. A7.3