

R=825'  
L=155.48'  
CH. BRG.=N79°25'17"E  
CH. L=158.21'

ATTACHED AS REPRESENTATIVE  
DATE: 10/12/1999  
BY: K. A. CLANTON, JR.

I-485 OUTERBELT

Project Number	1827100
Plan No.	1827100
Sheet No.	1827
Date	10/12/99
Scale	
Author	
Checker	
Designer	
Project Engineer	
Prepared/Drawn By	
Checked By	
Design Firm Name	SEPTERSON, S.A. 1999
Design Firm Address	
Design Firm Phone	
Design Firm Fax	
Design Firm E-Mail	
Design Firm Website	
Design Firm Logo	
Labels Date	

Project: **BLUE MARLIN / FIREBIRDS**  
7708 REA ROAD  
STONECREST  
Sheet Title: **STORM DRAINAGE AREAS**

**GEOSCIENCE GROUP, INC.**  
500-K Clanton Road  
Charlotte, NC 28217  
704-525-2003  
704-525-2051(fax)

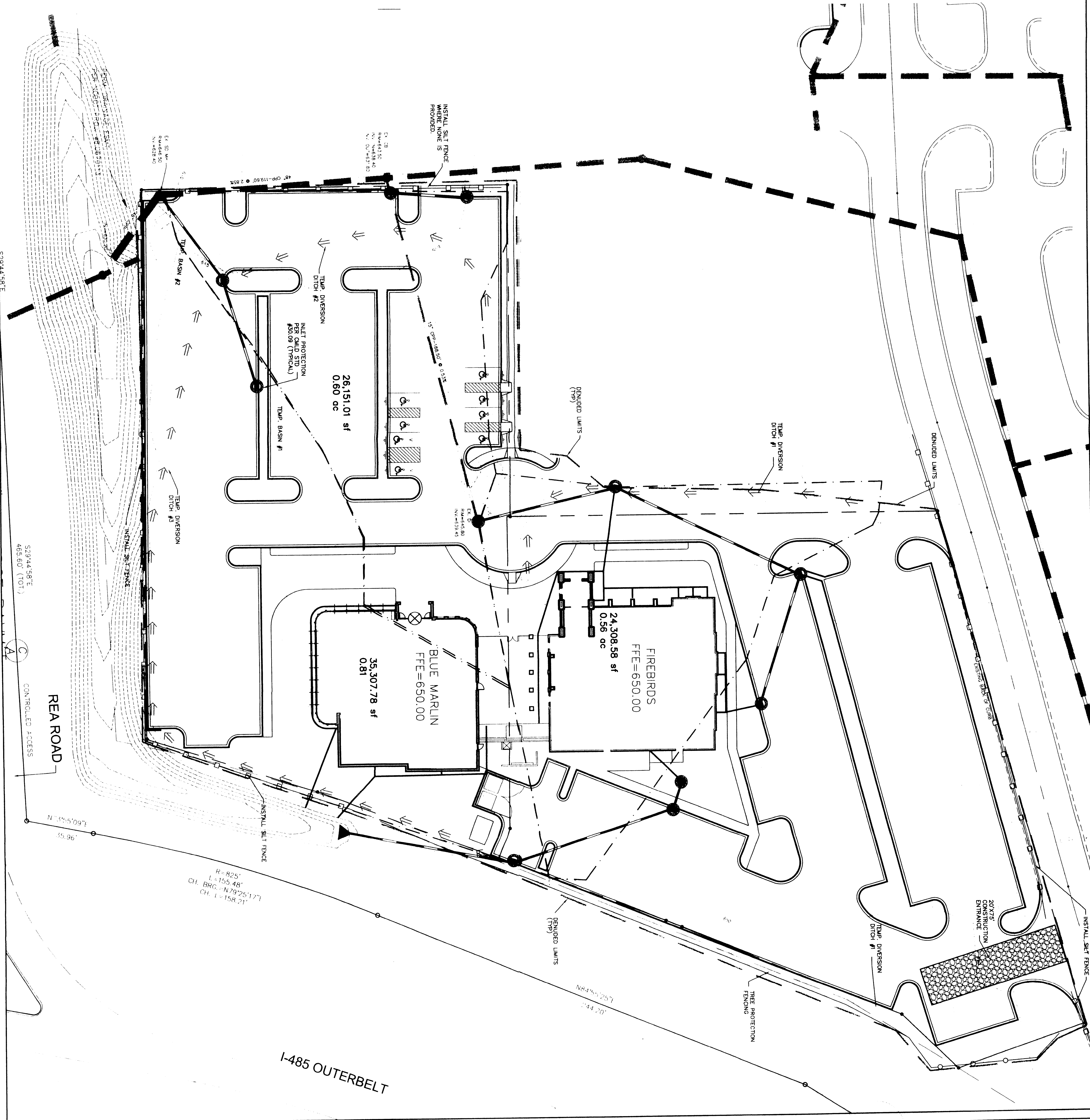
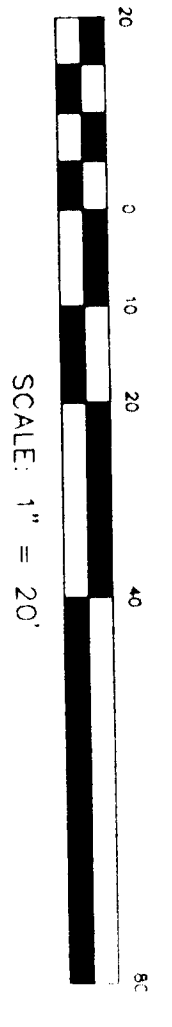
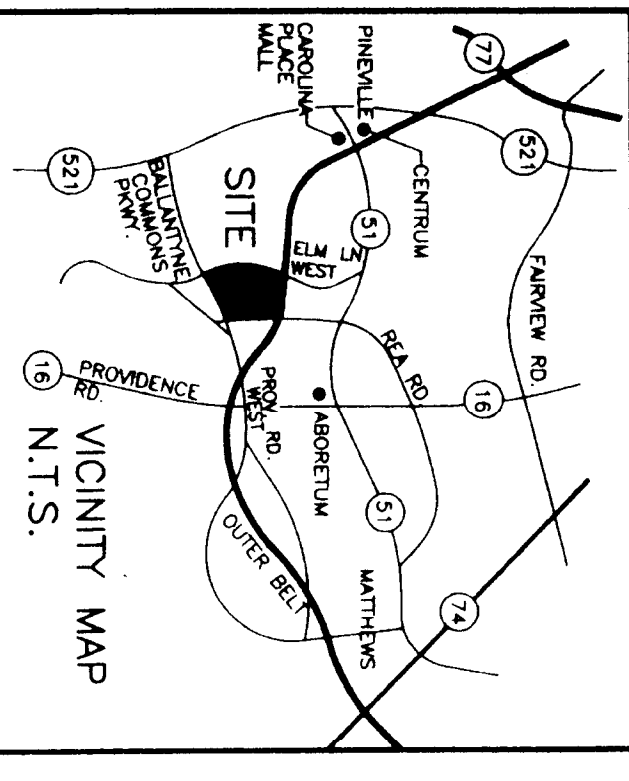
**Little & Associates Architects**  
3811 Woodland Drive  
Charlotte, NC 28217  
704-525-8500  
704-525-8501

**CHARLOTTE-MECKLENBURG PLANNING COMMISSION**  
INTER-OFFICE COMMUNICATION

DATE: October 12, 1999  
TO: Robert Brandon, Zoning Administrator  
FROM: Martin R. Clanton, Jr., Planning Director

SUBJECT: Administrative Approval for Petition No. 97-1210 by The Crandall Group, Inc. for parcels 225-041-19, 225-041-20 and 225-041-21.

Attached is a copy of the revised plan for a portion of building envelope "D" located on the above site. The building configuration has been revised to reflect site conditions. These changes will not increase the total square footage from the presently approved plan. Since this is a revised plan, please use this revised plan when submitting requests for building permits and certificates of occupancy. Note that the developer will verify and note that the internal sidewalk will have access to the main center.



S29244.58"E

S29144.58"E  
485.60' (TOT.)

C

REAR ROAD  
CONTROLLED ACCESS

A

L=158.21'  
CH. BRG. N79°25'17"  
R=825'  
L=155.48'

I-485 OUTERBELT

Project	<b>BLUE MARLIN / FIREBIRDS</b> 7708 REA ROAD STONECREST
Sheet Title	<b>SEDIMENT BASIN AREAS</b>
Project Engineer	KSP
Design/Drawn By	NLD
Checked By	KSC
Date Drawn	SEPTEMBER 30, 1999
Drawing File Name	REDCR13
Revision	Rev
	1
	2
	3
	4
	5
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**GEOSCIENCE GROUP, INC.**  
500-K Clanton Road  
Charlotte, NC 28217  
704-525-2003  
704-525-2051(fax)

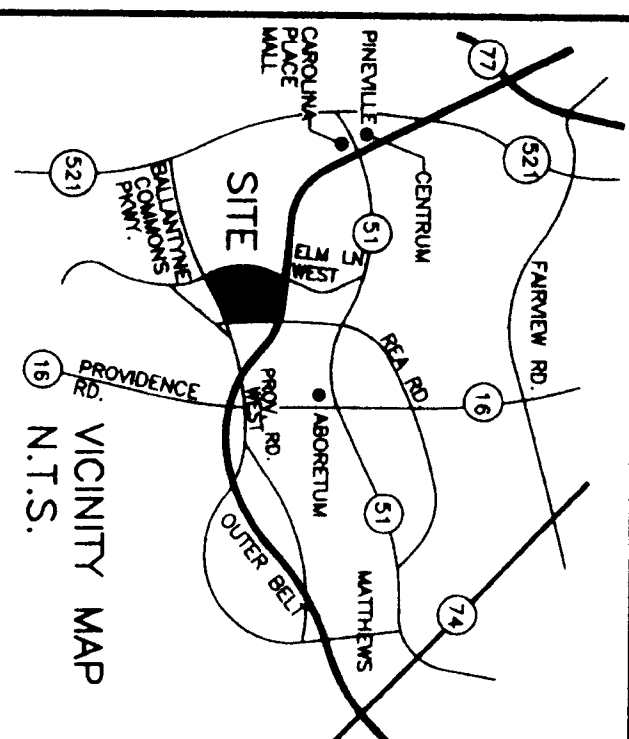
**Little & Associates Architects**

3117 Woodgater Drive  
Charlotte, NC 28217  
704-525-6300  
704-541-8700

Project Number  
L.A.A. NO.: 1827700  
SHEET NO.: 28021

Sheet 1 of 1





- GRADING & EROSION CONTROL NOTES:**
- CONTRACTOR TO PROVIDE ALL EROSION CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL AUTHORITIES.
  - ANY GRADING BEYOND THE DENOTED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE CITY'S EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
  - STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL. PERMANENT SEEDING SHALL BE INSTALLED WITHIN 14 DAYS OF THE COMPLETION OF GRADING. ALL REMAINING AREAS ARE TO BE SEEDING AND MULCHED WITHIN 120 DAYS.
  - GRADING SHALL BE DONE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE CITY'S EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
  - APPROPRIATE MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE CITY ENGINEERING DEPARTMENT.
  - SLOPES SHALL BE GRADED NO STEEPER THAN 2:1.
  - DENOTED AREA = 2.00 ACRES
  - TOTAL AREA = 2.00 ACRES
  - START-UP DATE IS OCT. 1998. COMPLETION SPRING, 2000. FINAL STABILIZATION SPRING, 2000.
  - SPOT SHOTS ARE BACK OF CURB SHOTS.
  - REFER TO DETAIL SHEET 04 FOR EROSION CONTROL CHARTS.
  - MAINTAIN A MINIMUM SLOPE ALONG THE CURB AND OUTLET OF DITCH.

- CONSTRUCTION SEQUENCE:**
- SET UP PRE-CONSTRUCTION CONFERENCE ON SITE WITH THE CONSTRUCTION INSPECTOR FROM THE CHARLOTTE ENGINEERING DEPARTMENT AND THE CITY ENGINEERING DEPARTMENT.
  - CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS FROM THE CITY ENGINEERING DEPARTMENT AND THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT.
  - CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH CITY OF CHARLOTTE ENGINEERING DEPARTMENT THROUGHOUT THE CONSTRUCTION PROCESS TO OBTAIN APPROVAL AT APPROPRIATE STAGES OF CONSTRUCTION.
  - SEED AND FERTILIZE DENOTED AREA.
  - COMPLETE PRE-FINAL INSPECTION FORM AND SUBMIT TO INSPECTOR.
  - REQUEST FINAL INSPECTION FROM ENGINEERING INSPECTOR.

**PERMANENT SEEDING SCHEDULE - MIXTURE #2M**

Seeding Mixture	Rate (lb/acre)
Tall fescue	40
Orchard grass	10
Redtop	9

**Seeding notes:**  
If occasional mowing is desired, substitute 20 lb/acre orchard grass.

**Nursery plants:**  
Between May 1 and Aug. 15 add 10 lb/acre common millet or 15 lb/acre Sudan grass. Prior to May 1 or after Aug. 15, add 40 lb/acre ryegrass.

**Seeding dates:**

Below 2000 ft.	Best	Acceptable
	Aug 15 - Sept 1	July 22 - Sept 15
	Aug 1 - Apr 1	Apr 1 - Apr 10
Above 2000 ft.	July 22 - Aug 15	July 15 - Aug 30
	Apr 22 - Apr 30	Apr 5 - May 15

Complete seeding prior to the fall, and start later in spring on north and east facing slopes.

**Soil amendments:**  
Foliar recommendations of soil lime, or apply 4000 lb/acre ground oyster shell limestone and 1000 lb/acre 0-10-10 fertilizer.

**Mulch:**  
Apply 4000-5000 lb/acre grain straw or equivalent cover of another suitable material. The preferred mulch is a 100% straw mulch. Do not use any other material.

**Maintenance:**  
Do not mow until the second year unless growth is very excessive. Mow, weed and insect damage as necessary.

**TEMPORARY SEEDING-LATE WINTER/EARLY SPRING**

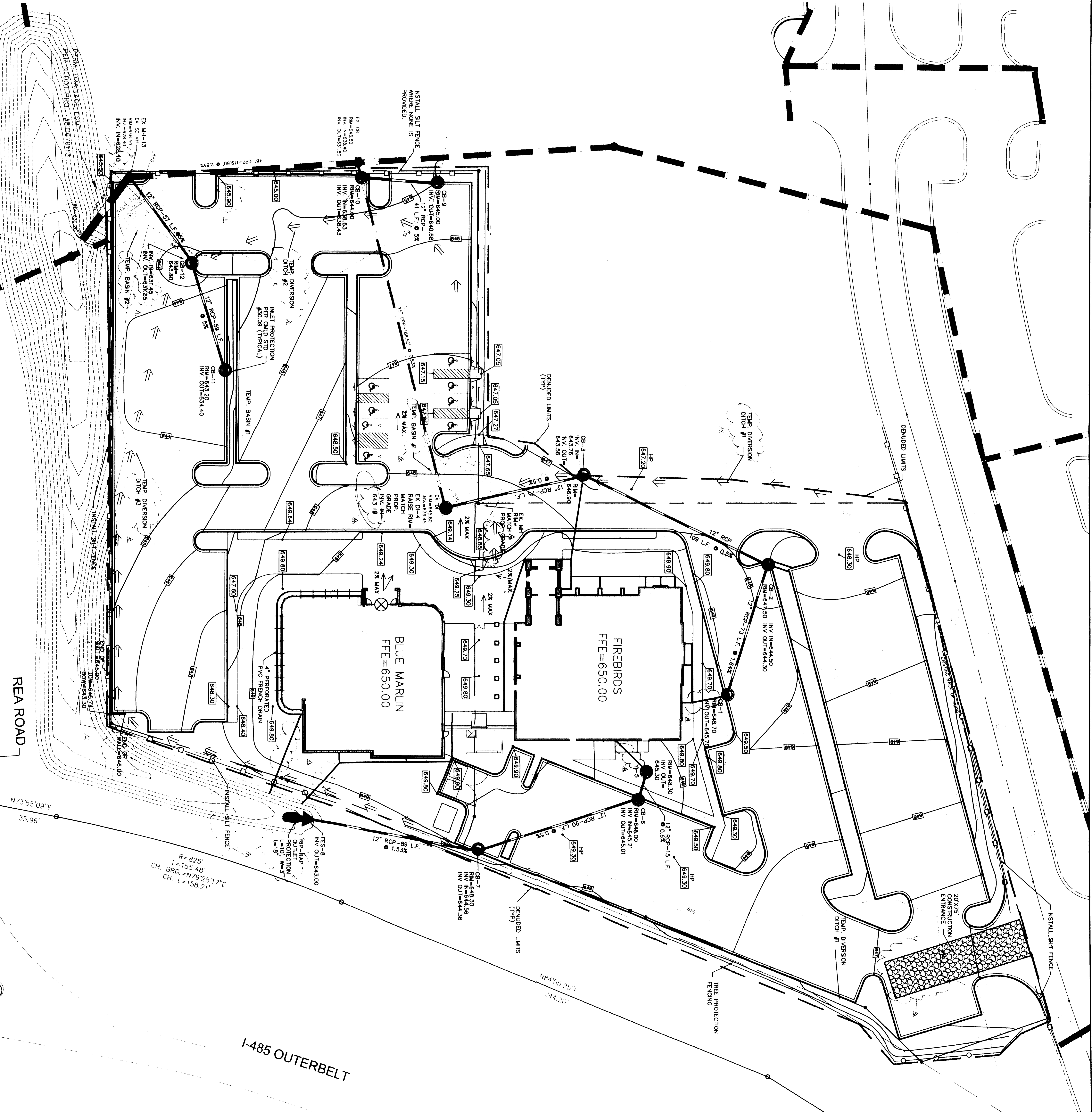
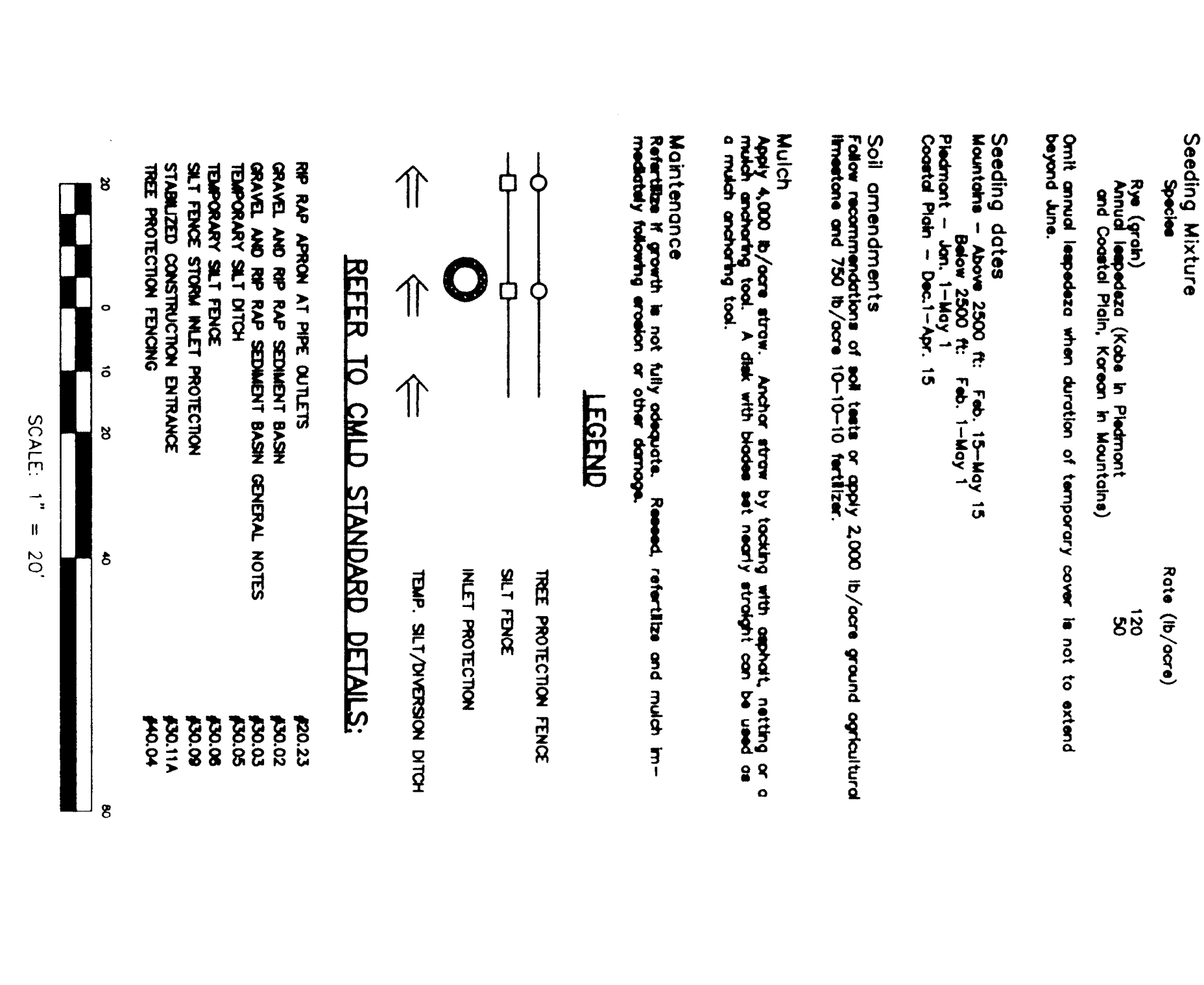
Seeding Mixture: Ryegrass (lb/acre) 100, Annual ryegrass (lb/acre in Piedmont and Coastal Plain, common in mountains) 100.

Planting: Above 2000 ft. Feb. 15-May 15, Piedmont - May 1-May 15, Coastal plain - Dec. 1-Apr. 15.

Soil amendments: Follow recommendations of soil lime or apply 2000 lb/acre ground oyster shell limestone and 750 lb/acre 0-10-10 fertilizer.

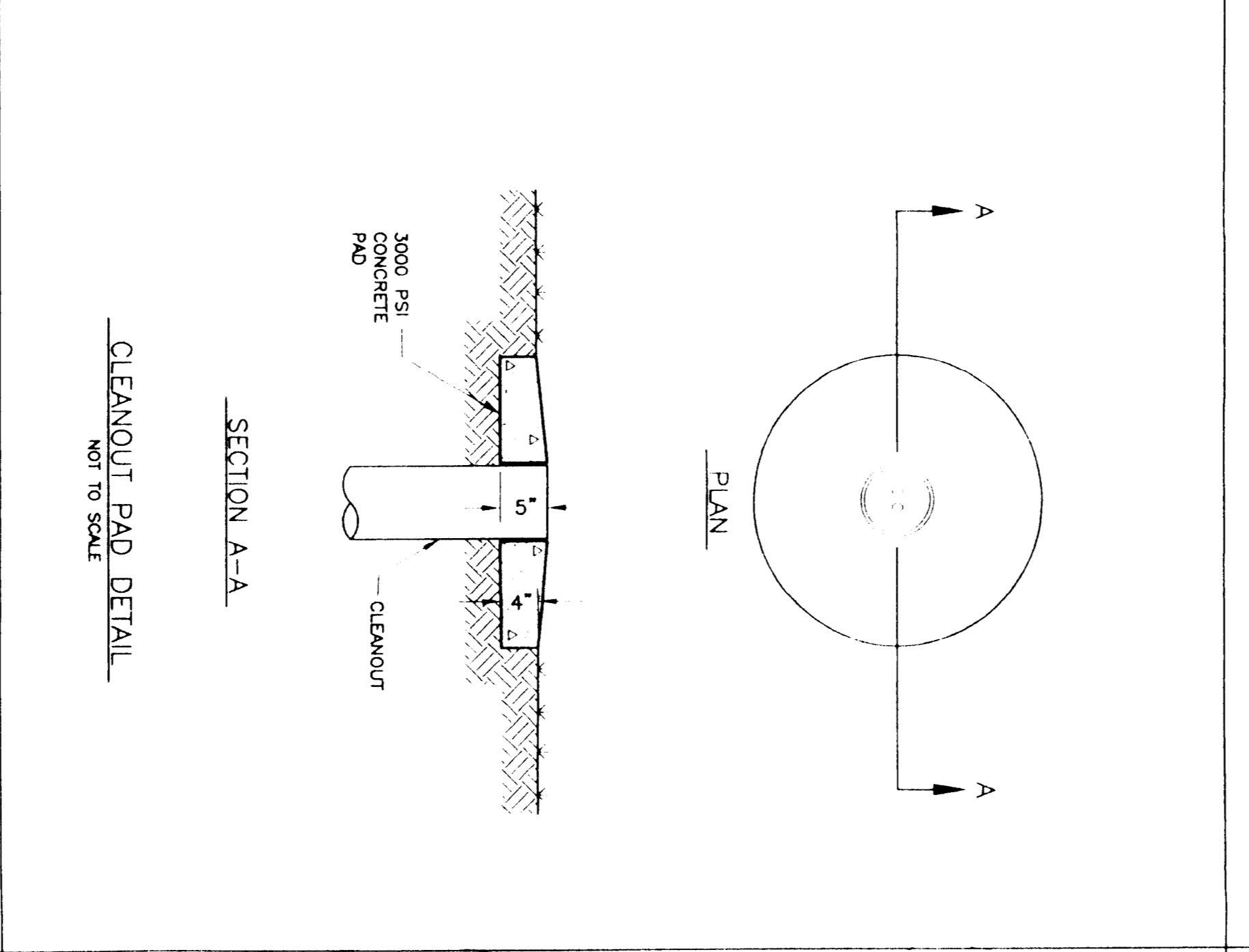
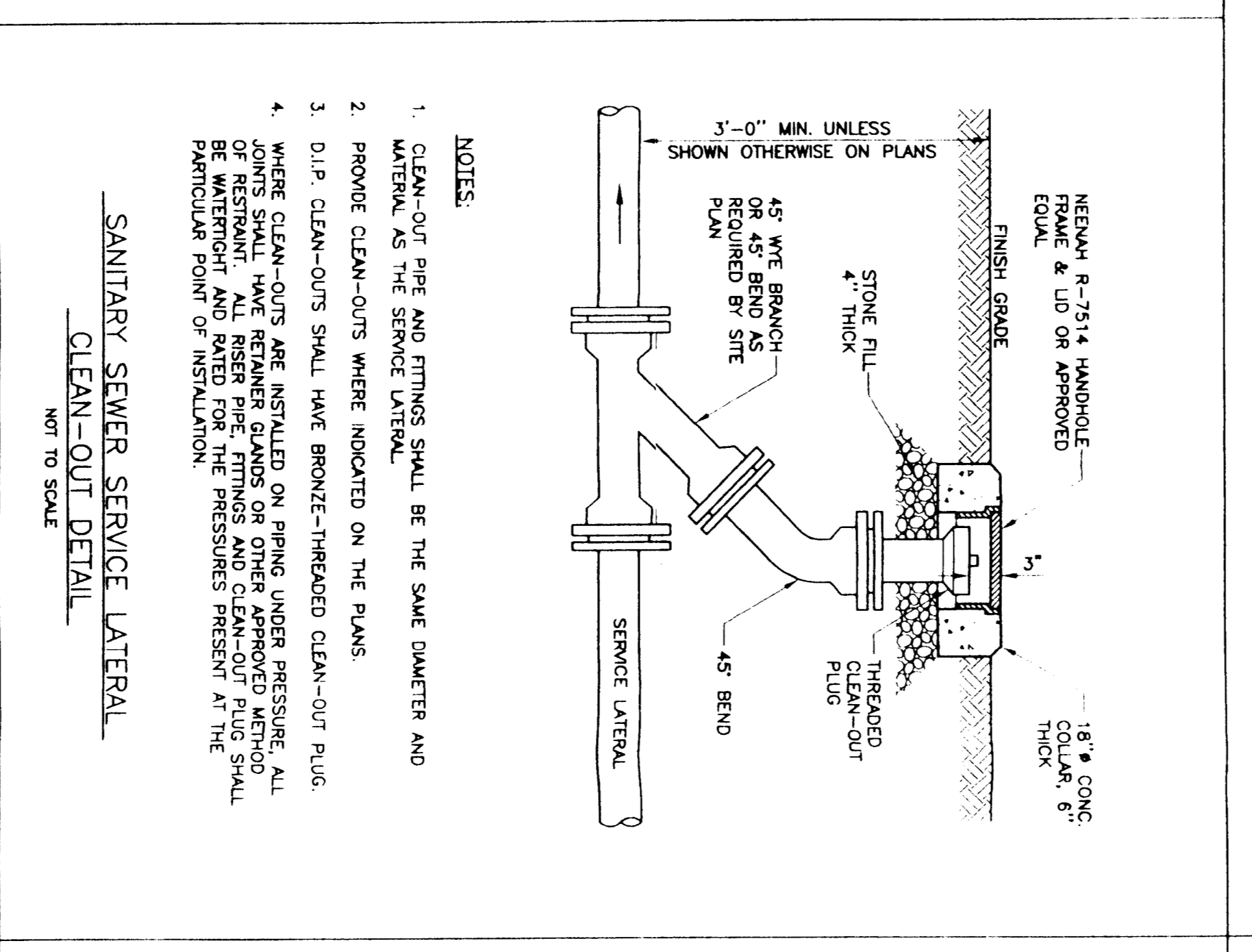
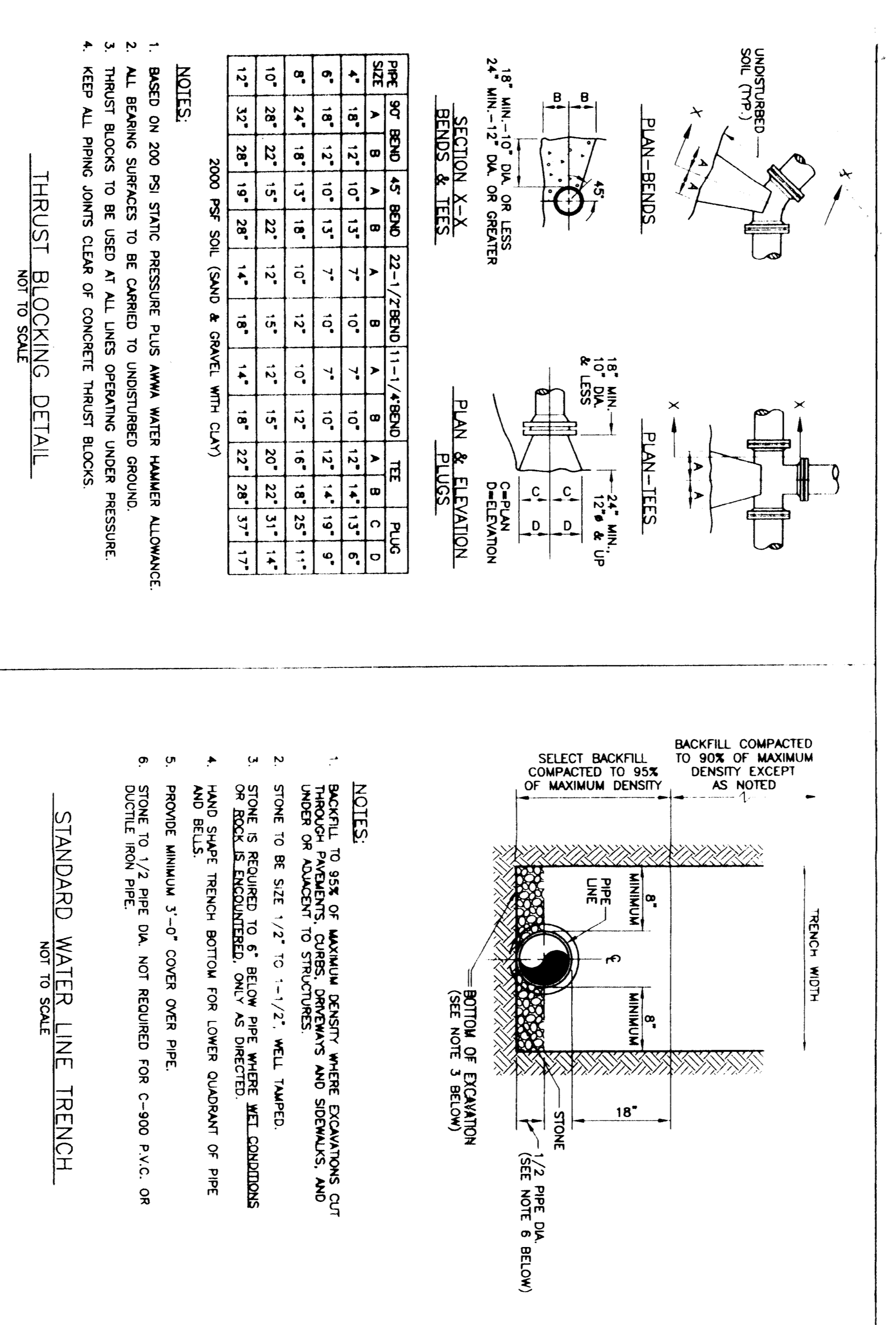
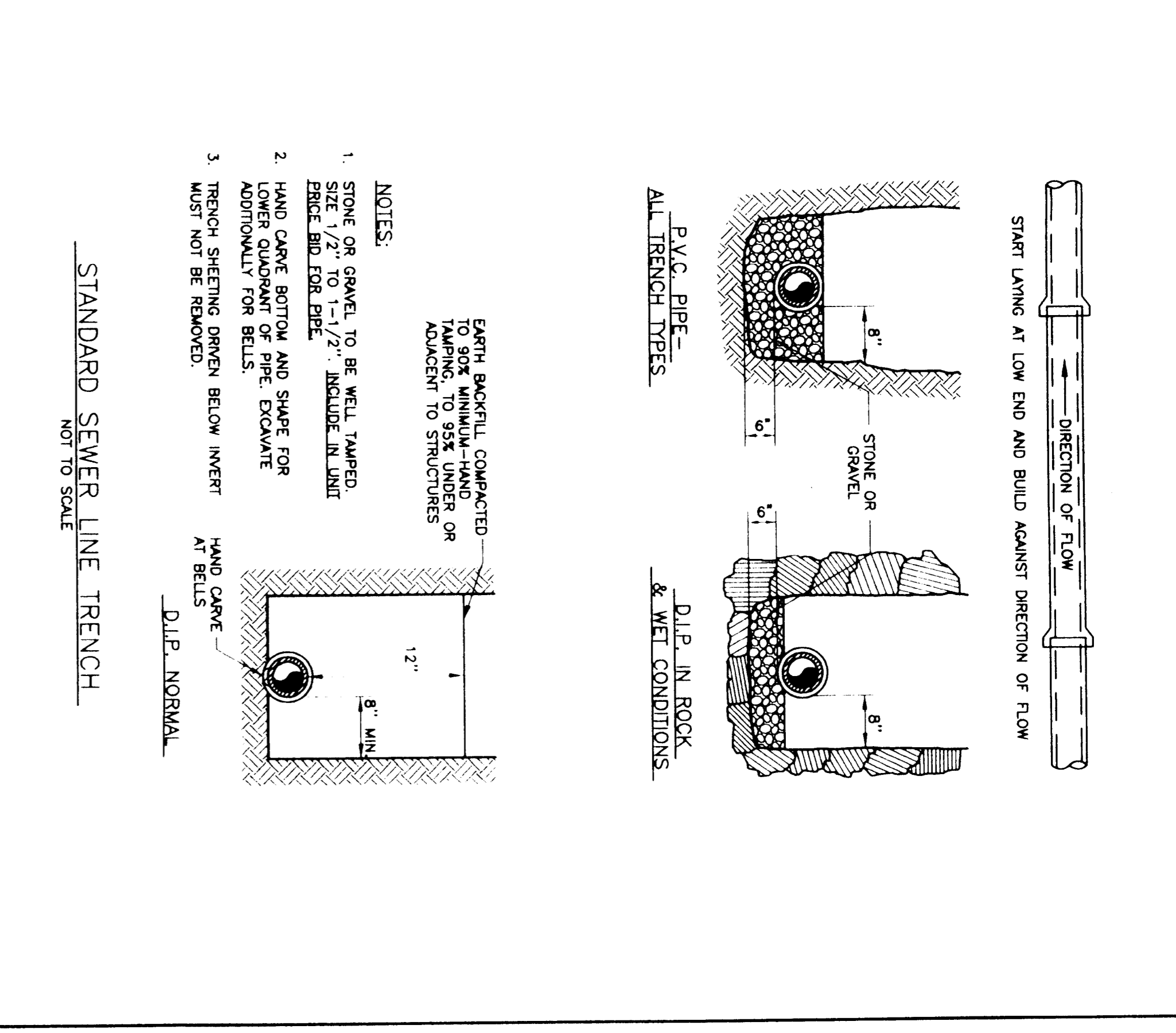
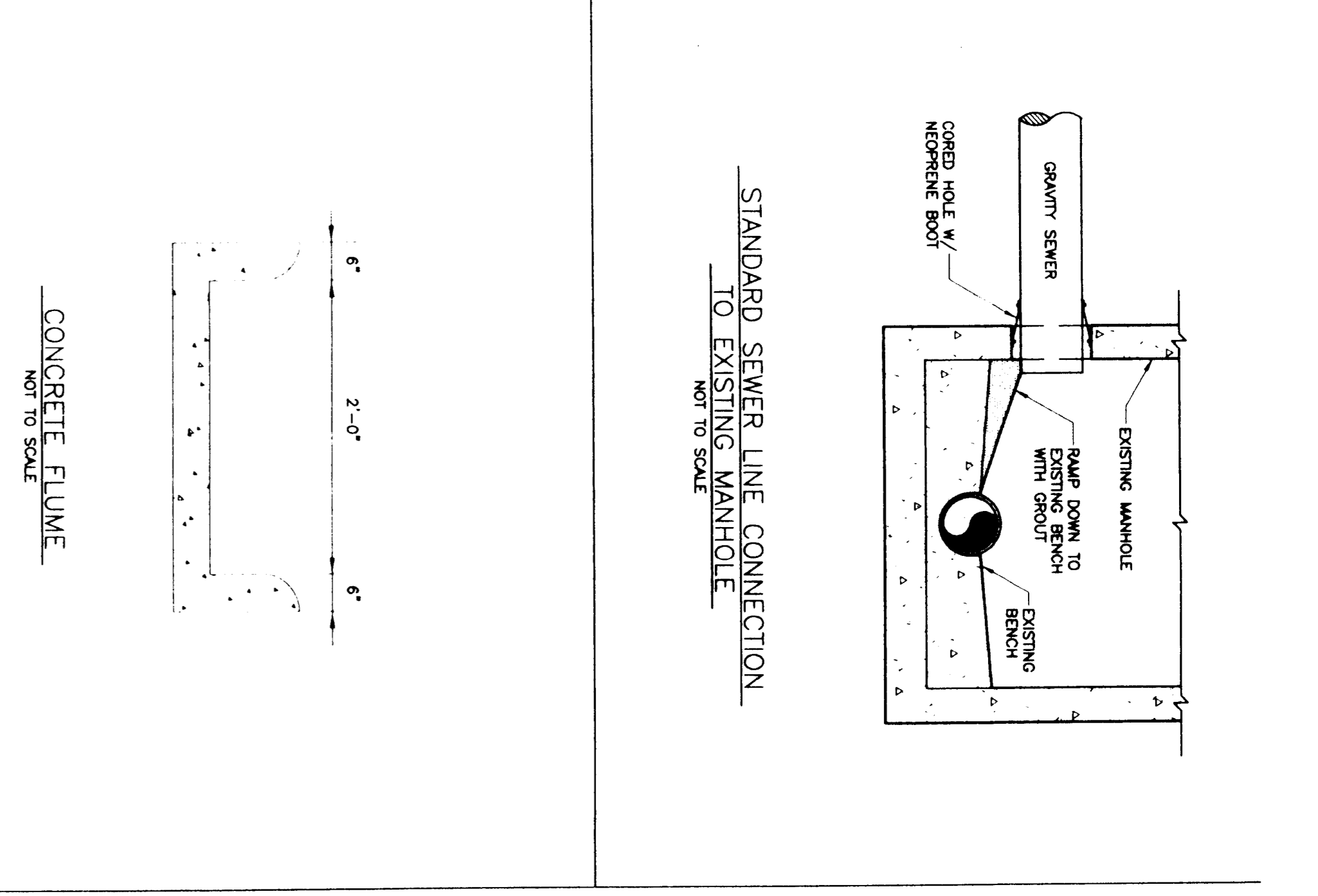
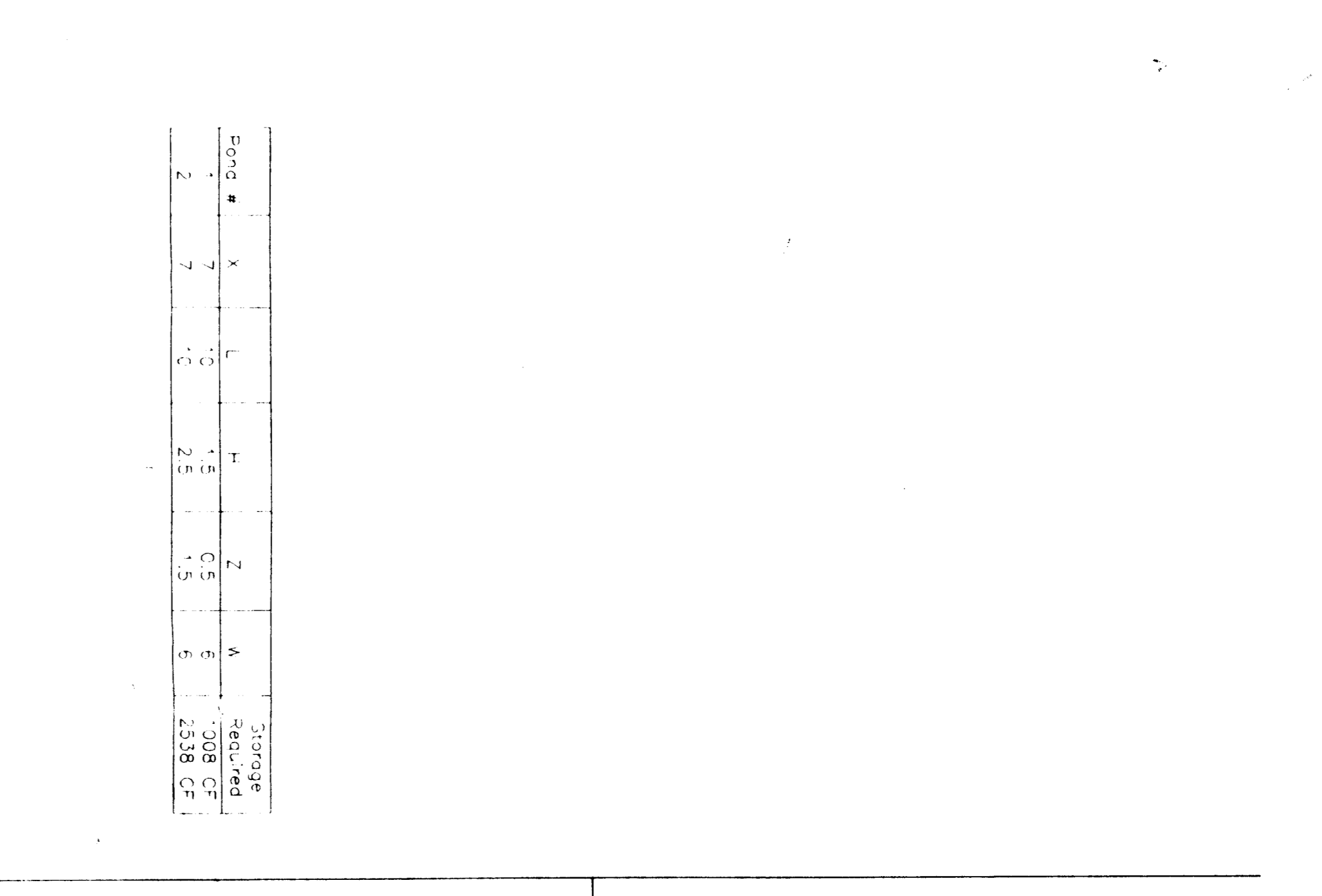
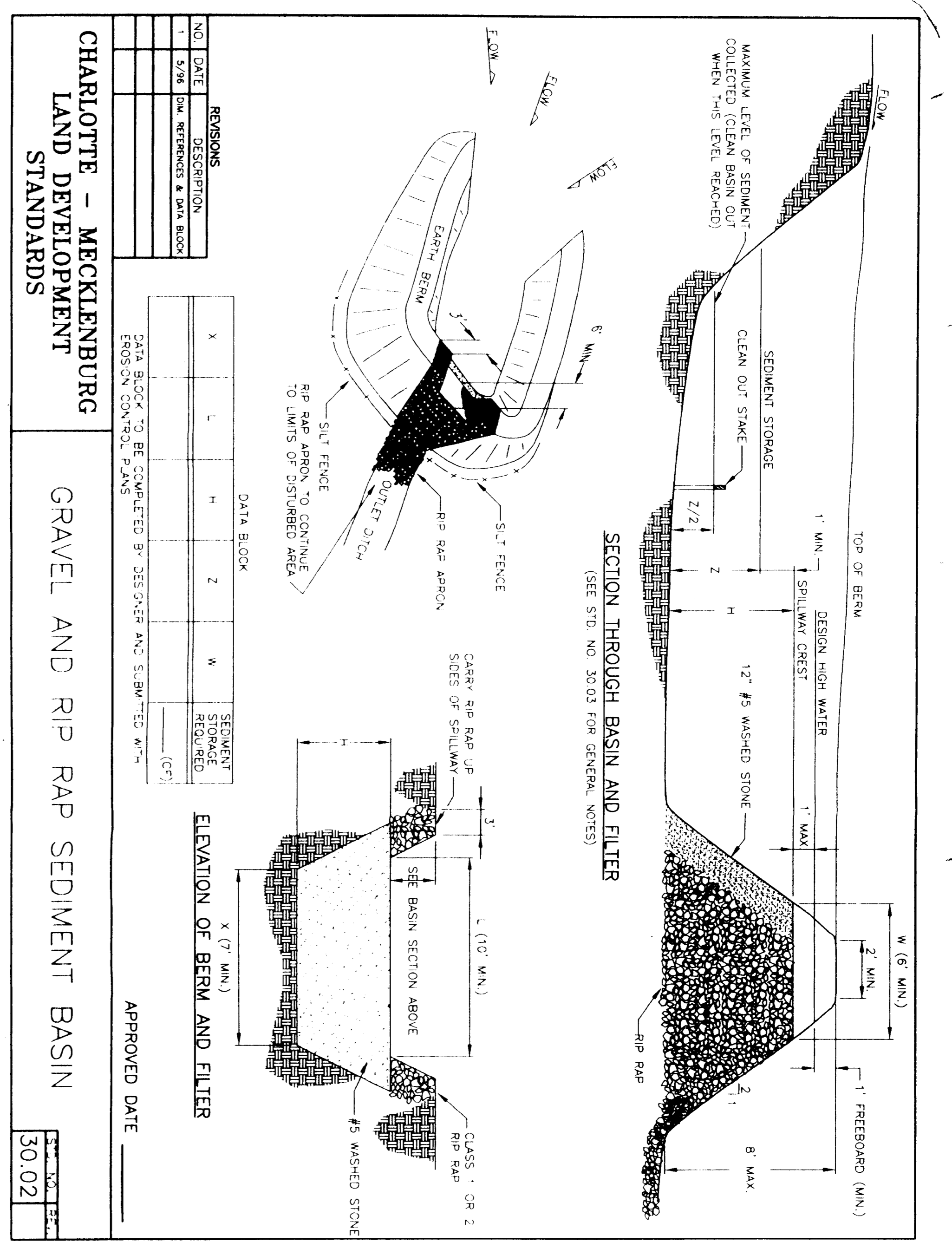
**Mulch:**  
Apply 4000 lb/acre straw. Anchor straw by treading with animal, rolling or a hand spreading tool. A straw with stems not nearly straight can be used as a mulch spreading tool.

**Maintenance:**  
Refer to note in not fully adequate. Mow, fertilize and mow immediately following erosion or other damage.



<b>Project</b> BLUE MARLIN / FIREBIRDS 7708 REA ROAD STONECREST		<b>Project Engineer</b> KSC Designer/Drawn By MJD Checked By KSC Date Drawn October 1, 1999 Date of Issue 200215P Revision 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100	<b>Project Number</b> L.A.A. NO.: 1821700 GEO. NO.: 29021	<b>Sheet</b> C2 of 4





**STORM DRAINAGE SYSTEM**

NO.	DATE	DESCRIPTION
1	10/18/19	ISSUED FOR PERMITS & DATA BLOCK

**STORM DRAINAGE STRUCTURES**

NO.	DATE	DESCRIPTION
1	10/18/19	ISSUED FOR PERMITS & DATA BLOCK

**CHARLOTTE - MECKLENBURG LAND DEVELOPMENT STANDARDS**

**GRAVEL AND RIP RAP SEDIMENT BASIN**

**APPROVED DATE: 30.02**

**STANDARD WATER LINE TRENCH**  
NOT TO SCALE

**STANDARD SEWER SERVICE LATERAL CLEAN-OUT DETAIL**  
NOT TO SCALE

**STANDARD SEWER LINE CONNECTION TO EXISTING MANHOLE**  
NOT TO SCALE

**STANDARD SEWER LINE TRENCH**  
NOT TO SCALE

**CONCRETE FLUME**  
NOT TO SCALE

**CONCRETE FLUME**  
NOT TO SCALE

**STORM DRAINAGE SYSTEM**

**STORM DRAINAGE STRUCTURES**

**THRUST BLOCKING DETAIL**  
NOT TO SCALE

**STANDARD WATER LINE TRENCH**  
NOT TO SCALE

**STANDARD SEWER SERVICE LATERAL CLEAN-OUT DETAIL**  
NOT TO SCALE

**STANDARD SEWER LINE CONNECTION TO EXISTING MANHOLE**  
NOT TO SCALE

**STANDARD SEWER LINE TRENCH**  
NOT TO SCALE

**CONCRETE FLUME**  
NOT TO SCALE

**CONCRETE FLUME**  
NOT TO SCALE

**PROJECT: BLUE MARLIN / FIREBIRDS**

**SHEET TITLE: STONECREST**

**PROJECT ENGINEER: KSC**

**CHECKED BY: KSC**

**DATE: OCTOBER 1, 1989**

**DRAWING FILE NAME: 2902TSP**

**REVISIONS:**

NO.	DATE	DESCRIPTION
1	10/18/19	ISSUED FOR PERMITS & DATA BLOCK

**PROJECT NUMBER: 18217100**

**L.A.A. NO.: 28021**

**GEO. NO.: 28021**

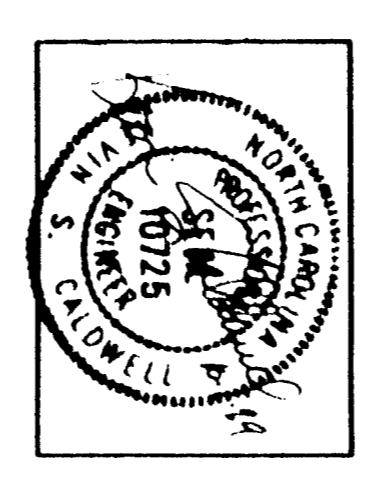
**Sheet C4 of 4**

**Little & Associates Architects**

515 Westgate Drive  
TAMPA, FL 33609  
F: 813.879.1700

**GEOSCIENCE GROUP, INC.**

500-K Clanton Road  
Charlotte, NC 28217  
704-525-2003  
704-525-2051(fax)



**Project: BLUE MARLIN / FIREBIRDS**

**SHEET TITLE: STONECREST**

**Project Engineer: KSC**

**Checked By: KSC**

**Date: OCTOBER 1, 1989**

**Drawing File Name: 2902TSP**

**Revisions:**

NO.	DATE	DESCRIPTION
1	10/18/19	ISSUED FOR PERMITS & DATA BLOCK

**Project Number: 18217100**

**L.A.A. No.: 28021**

**Geo. No.: 28021**

**Sheet C4 of 4**



## Charlotte-Mecklenburg Planning Department

**DATE:** April 16, 2015

**TO:** Mark Fowler  
Zoning Supervisor

**FROM:** Ed McKinney  
Interim, Planning  
Director

**SUBJECT:** Administrative Approval for Petition No. 1997-012C Crosland Group, INC

Attached is the revised site plan for the petition above. This request allows the modification of the proposed site plan as listed below. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

- Building Elevations for the proposed EDEE use.

Reasons for Staff's support of the request:

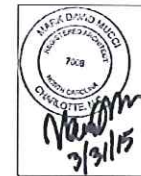
- The site plan complies with the conditional notes and still meets the intent of the approved site plan by the City Council.

**Note: All other Zoning, Subdivision, Tree Ordinances, conditional Requirements, and Building Codes still apply.**

**Signage was note reviewed as part of this request.**



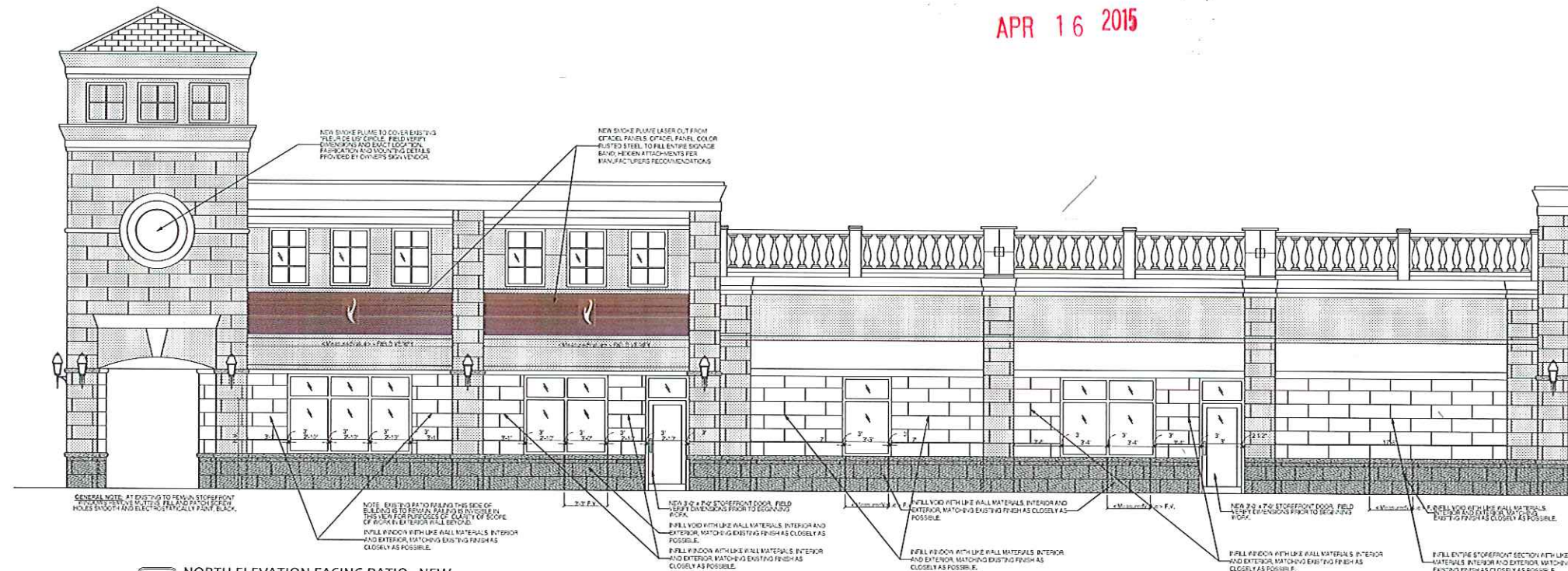
**MIND'S EYE  
ARCHITECTURE**  
1950 ABBOTT STREET, STE 605  
CHARLOTTE, NC 28203  
704-373-3101  
FAX 704-373-3103  
WWW.MINDSEYARCHITECTURE.NET



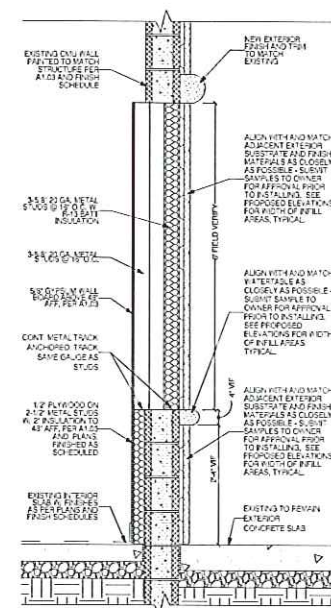
**carrie frye**  
interior design  
2115 CHARLOTTE DR.  
CHARLOTTE, NC 28203  
704-926-7700  
WWW.CFDSTUDIO.COM

**ATTACHED TO ADMINISTRATIVE  
APPROVAL**

APR 16 2015



**2 NORTH ELEVATION FACING PATIO - NEW**  
SCALE: 1/4"=1'-0"



**3 TYP WINDOW INFILL SECTION**  
SCALE: 3/4"=1'-0"



**1 EAST ELEVATION FACING FRONT ENTRY - NEW**  
SCALE: 1/4"=1'-0"

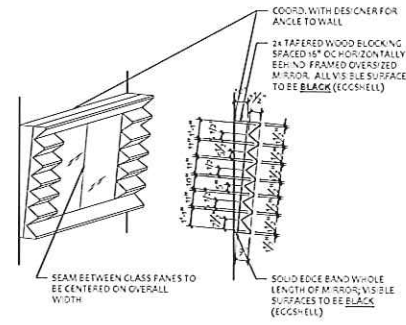
**SMOKE  
MODERN  
BBQ**  
STONECREST SHOPPING CENTER  
2615 FEA ROAD  
SUITE 3  
BLDG D2  
CHARLOTTE, NC

PROJECT NUMBER: 14-028  
LANDLORD EXTERIOR REVIEW SET: 2.20.2015  
LANDLORD REVIEW SET: 3.15.2015  
CONSTRUCTION SET: 3.31.2015

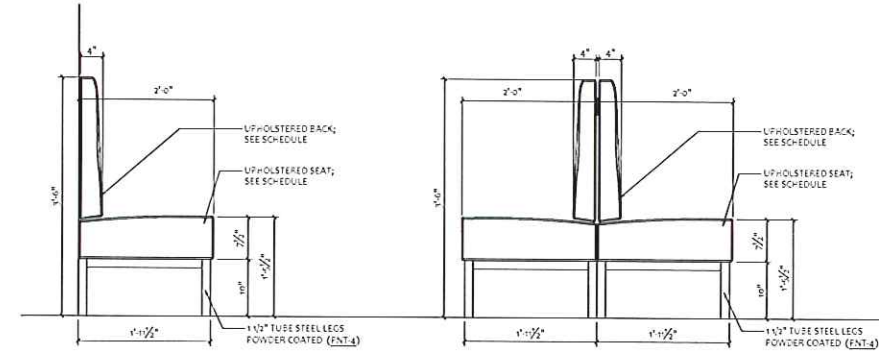
EXTERIOR  
ELEVATIONS -  
NEW

**A2.02**



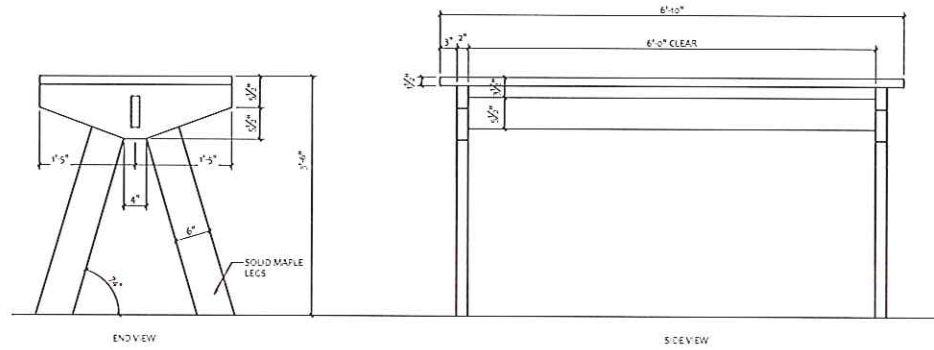


5 SECTION @ BAR MIRROR  
 SCALE: 1/4"=1'-0"



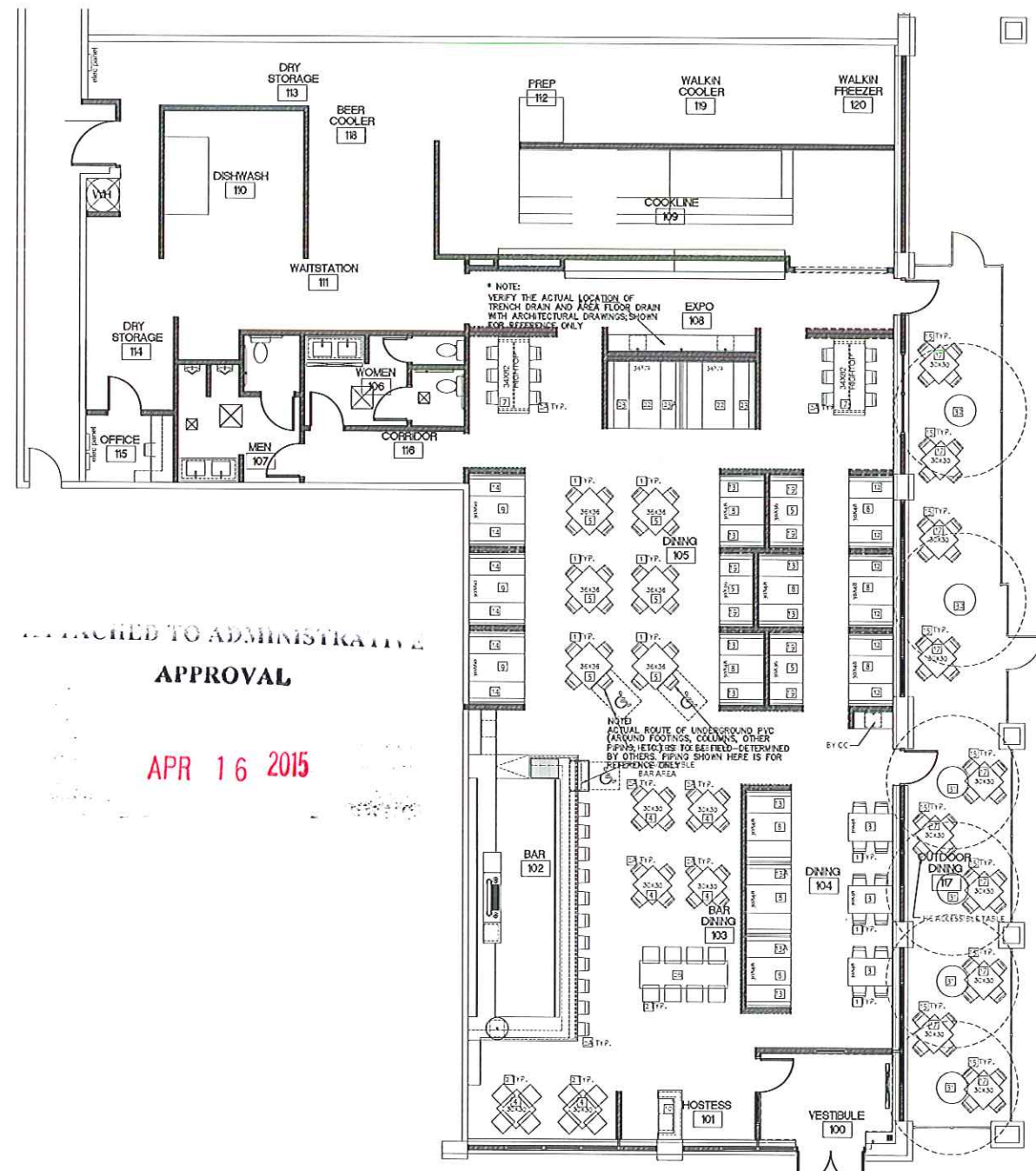
4 SECTION @ SINGLE BOOTH TYP.  
 SCALE: 1"=1'-0"

3 SECTION @ DOUBLE BOOTH TYPICAL  
 SCALE: 1"=1'-0"



2 ELEVATIONS @ COMMUNITY DINING TABLE  
 SCALE: 1"=1'-0"

* FURNITURE TAG	FURNITURE, FIXTURE & EQUIPMENT NOTES
13	72" S'NCLE BOOTH; SEAT: KEYSTON, PATTERN W/HSFER, COLOR WH1210 ANTELOPE; BACK: DES'CNTEX, PATTERN TRAMWAY, COLOR GRANITE. BACK AND SEAT TO BE FULLY UPHOLSTERED WITH POWDER COATED STEEL BASE. SEE DETAIL TH-S SHEET.
14	72" DOUBLE BOOTH; SEAT: KEYSTON, PATTERN W/HSFER, COLOR WH1210 ANTELOPE; BACK: DES'CNTEX, PATTERN TRAMWAY, COLOR GRANITE. BACK AND SEAT TO BE FULLY UPHOLSTERED WITH POWDER COATED STEEL BASE. SEE DETAIL TH-S SHEET.
24	60" H'PHEN-0 TABLE; NOT USED THIS STORE.
25	FIRE #11 NOT USED THIS STORE.
26	33" X 36" BAR HEIGHT TABLE TOP TO BE SUPPLIED BY CC. FALCON 200 SERIES TABLE BASE WITH R100 FIN. SH. SIZED TO MEET MANUFACTURERS SPECIFICATION FOR TABLE TOP SIZE - PROVIDED BY FURNITURE VENDOR. CC AND VENDOR TO COORDINATE WEIGHT OF TOP.
27	30" X 36" BAR HEIGHT TABLE TOP TO MATCH FALCON #7760 D-STRESSED MAPLE; WENCE FIN. SH. FALCON 200 SERIES TABLE BASE WITH R100 FIN. SH. SIZED TO MEET MANUFACTURERS SPECIFICATION FOR TABLE TOP SIZE - NOT USED THIS STORE.
28	PATIO LOUNGE CHAIR
29	20" SQ PATIO TABLE
30	PATIO SOFA
31	CEILING MOUNTED PATIO HEATER, REF. MECHAN. CAL; BY CC
32	IN GROUND PATIO HEATER, REF. MECHAN. CAL; BY CC
1	ARMLESS DINING CHAIRS; SEAT UPHOLSTERY TO BE KEYSTON, PATTERN W/HSFER, COLOR WH1210 ANTELOPE.
2	BACKLESS BAR STOOL; SEAT UPHOLSTERY TO BE MAHARAM, PATTERN M.M.C, COLOR 014 GOLDEN ROD.
3	ARMLESS BAR STOOL; SEAT UPHOLSTERY TO BE MAHARAM, PATTERN M.M.C, COLOR 014 GOLDEN ROD.
4	33" X 36" BAR HEIGHT TABLE TOP TO MATCH FALCON #7760 D-STRESSED MAPLE; WENCE FIN. SH. FALCON 200 SERIES TABLE BASE WITH R100 FIN. SH. SIZED TO MEET MANUFACTURERS SPECIFICATION FOR TABLE TOP SIZE.
5	36" X 48" TABLE TOP TO MATCH FALCON #7760 D-STRESSED MAPLE; WENCE FIN. SH. FALCON 200 SERIES TABLE BASE WITH R100 FIN. SH. SIZED TO MEET MANUFACTURERS SPECIFICATION FOR TABLE TOP SIZE.
6	30" X 36" BOOTH TABLE TOP TO MATCH FALCON #7760 D-STRESSED MAPLE; WENCE FIN. SH. FALCON 200 SERIES TABLE BASE WITH R100 FIN. SH. WITH FIN. LEG AND WALL MOUNT SUPPORT. NOT USED THIS STORE.
7	34" X 52" BAR HEIGHT TABLE TOP TO MATCH FALCON #7760 D-STRESSED MAPLE; WENCE FIN. SH. CUSTOM TABLE BASE, END AND SIDE ELEVATIONS 2/13/02.
8	33" X 48" BOOTH TABLE TOP TO MATCH FALCON #7760 D-STRESSED MAPLE; WENCE FIN. SH. FALCON 200 SERIES TABLE BASE WITH R100 FIN. SH. WITH FIN. LEG AND WALL MOUNT SUPPORT.
9	HOSTESS STAND BY CC.
11	WAITING BOOTH; SEAT: KEYSTON, PATTERN W/HSFER, COLOR WH1210 ANTELOPE; BACK: DES'CNTEX, PATTERN TRAMWAY, COLOR GRANITE. BACK AND SEAT TO BE FULLY UPHOLSTERED WITH POWDER COATED STEEL BASE. SEE DETAIL TH-S SHEET. NOT USED THIS STORE.
12	48" S'NCLE BOOTH; SEAT: KEYSTON, PATTERN W/HSFER, COLOR WH1210 ANTELOPE; BACK: DES'CNTEX, PATTERN TRAMWAY, COLOR GRANITE. BACK AND SEAT TO BE FULLY UPHOLSTERED WITH POWDER COATED STEEL BASE. SEE DETAIL TH-S SHEET.
13	60" DOUBLE BOOTH; SEAT: KEYSTON, PATTERN W/HSFER, COLOR WH1210 ANTELOPE; BACK: DES'CNTEX, PATTERN TRAMWAY, COLOR GRANITE. BACK AND SEAT TO BE FULLY UPHOLSTERED WITH POWDER COATED STEEL BASE. SEE DETAIL TH-S SHEET. NOT USED THIS STORE.
14	48" S'NCLE BOOTH; SEAT: KEYSTON, PATTERN W/HSFER, COLOR WH1210 ANTELOPE; BACK: DES'CNTEX, PATTERN B-RICH BARK FLAID, COLOR COLD NCH. BACK AND SEAT TO BE FULLY UPHOLSTERED WITH POWDER COATED STEEL BASE. SEE DETAIL TH-S SHEET.
15	48" DOUBLE BOOTH; SEAT: KEYSTON, PATTERN W/HSFER, COLOR WH1210 ANTELOPE; BACK: DES'CNTEX, PATTERN B-RICH BARK FLAID, COLOR COLD NCH. BACK AND SEAT TO BE FULLY UPHOLSTERED WITH POWDER COATED STEEL BASE. SEE DETAIL TH-S SHEET.
16	60" S'NCLE BOOTH; SEAT: KEYSTON, PATTERN W/HSFER, COLOR WH1210 ANTELOPE; BACK: DES'CNTEX, PATTERN TRAMWAY, COLOR GRANITE. BACK AND SEAT TO BE FULLY UPHOLSTERED WITH POWDER COATED STEEL BASE. SEE DETAIL TH-S SHEET.
17	PATIO ARM CHAIR
18	34" DIA PATIO TABLE
19	30" X 30" PATIO TABLE
20	60" H'PHEN-0 TABLE; NOT USED THIS STORE.
21	36" S'NCLE BOOTH; SEAT: KEYSTON, PATTERN W/HSFER, COLOR WH1210 ANTELOPE; BACK: DES'CNTEX, PATTERN B-RICH BARK FLAID, COLOR COLD NCH. BACK AND SEAT TO BE FULLY UPHOLSTERED WITH POWDER COATED STEEL BASE. SEE DETAIL TH-S SHEET.
22	60" DOUBLE BOOTH; SEAT: KEYSTON, PATTERN W/HSFER, COLOR WH1210 ANTELOPE; BACK: DES'CNTEX, PATTERN TRAMWAY, COLOR GRANITE. BACK AND SEAT TO BE FULLY UPHOLSTERED WITH POWDER COATED STEEL BASE. SEE DETAIL TH-S SHEET. NOT USED THIS STORE.
23	PATIO UMBRELLA - 6' DIAMETER OR 8' SQUARE CANTILEVERED
24	PATIO HEATER, SUNGL0, FIXED INSTALL
25	34" X 36" BOOTH TABLE TOP TO MATCH FALCON #7760 D-STRESSED MAPLE; WENCE FIN. SH. FALCON 200 SERIES TABLE BASE WITH R100 FIN. SH. WITH FIN. LEG AND WALL MOUNT SUPPORT.

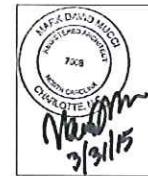


1 FURNITURE PLAN  
 SCALE: 3/16"=1'-0"

APPROVED TO ADMINISTRATIVE  
**APPROVAL**  
 APR 16 2015



**MIND'S EYE  
ARCHITECTURE**  
1550 ABBOTT STREET, STE 605  
CHARLOTTE, NC 28103  
704-373-3101  
FAX 704-373-3103  
WWW.MINDSEYEARCHITECTURE.NET



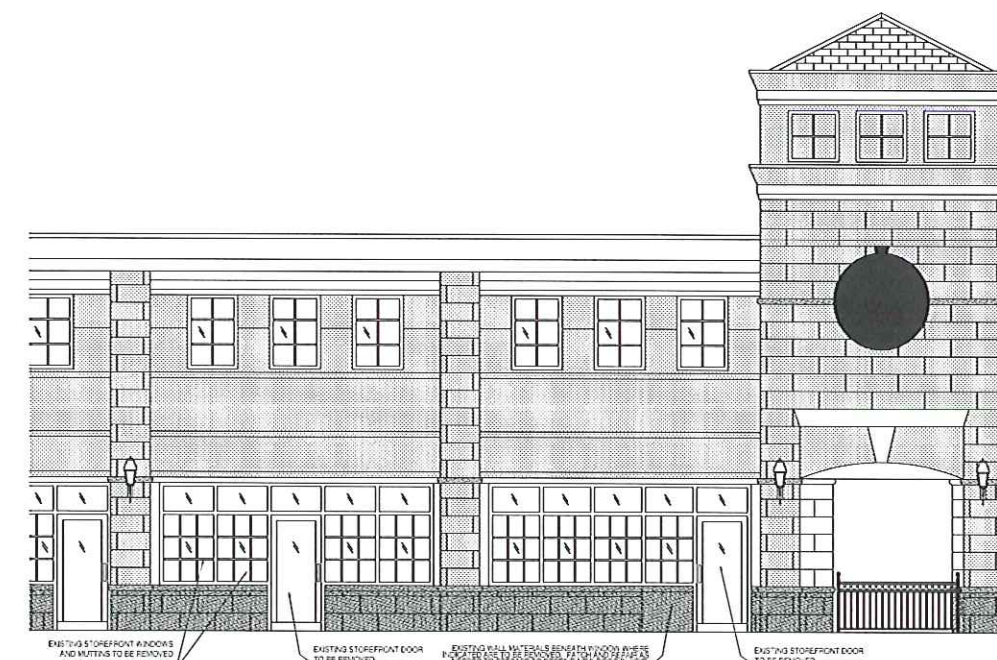
**carrie frye**  
interior design  
2126 CHARLOTTE DR.  
CHARLOTTE, NC 28103  
704-556-7226  
WWW.CF-DESIGN.COM

**ATTACHED TO ADMINISTRATIVE  
APPROVAL**

APR 16 2015



**2 NORTH ELEVATION FACING PATIO**  
SCALE: 1/4"=1'-0"



**1 EAST ELEVATION FACING FRONT ENTRY**  
SCALE: 1/4"=1'-0"

**SMOKE  
MODERN  
BBQ**  
STONECREST SHOPPING CENTER  
7815 REA ROAD  
SUITE 3  
BLDG D3  
CHARLOTTE, NC

PROJECT NUMBER: 14-018  
LANDLORD EXTERIOR REVIEW SET: 2.20.2015  
LANDLORD REVIEW SET: 3.18.2015  
CONSTRUCTION SET: 3.31.2015

**EXTERIOR  
ELEVATIONS -  
DEMOLITION**

**A2.01**



## Charlotte-Mecklenburg Planning Department

**DATE:** April 21, 2015

**TO:** Mark Fowler  
Zoning Supervisor

**FROM:** Ed McKinney  
Interim, Planning  
Director

**SUBJECT:** Administrative Approval for Petition No. 1997-012C Crosland Group, INC

Attached is the revised site plan for the petition above. This request allows the modification of the proposed site plan as listed below. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

- Building Elevations for the proposed EDEE use.

Reasons for Staff's support of the request:

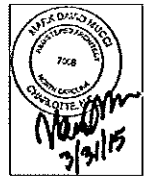
- The site plan complies with the conditional notes and still meets the intent of the approved site plan by the City Council.

**Note: All other Zoning, Subdivision, Tree Ordinances, conditional Requirements, and Building Codes still apply.**

**Signage was note reviewed as part of this request.**



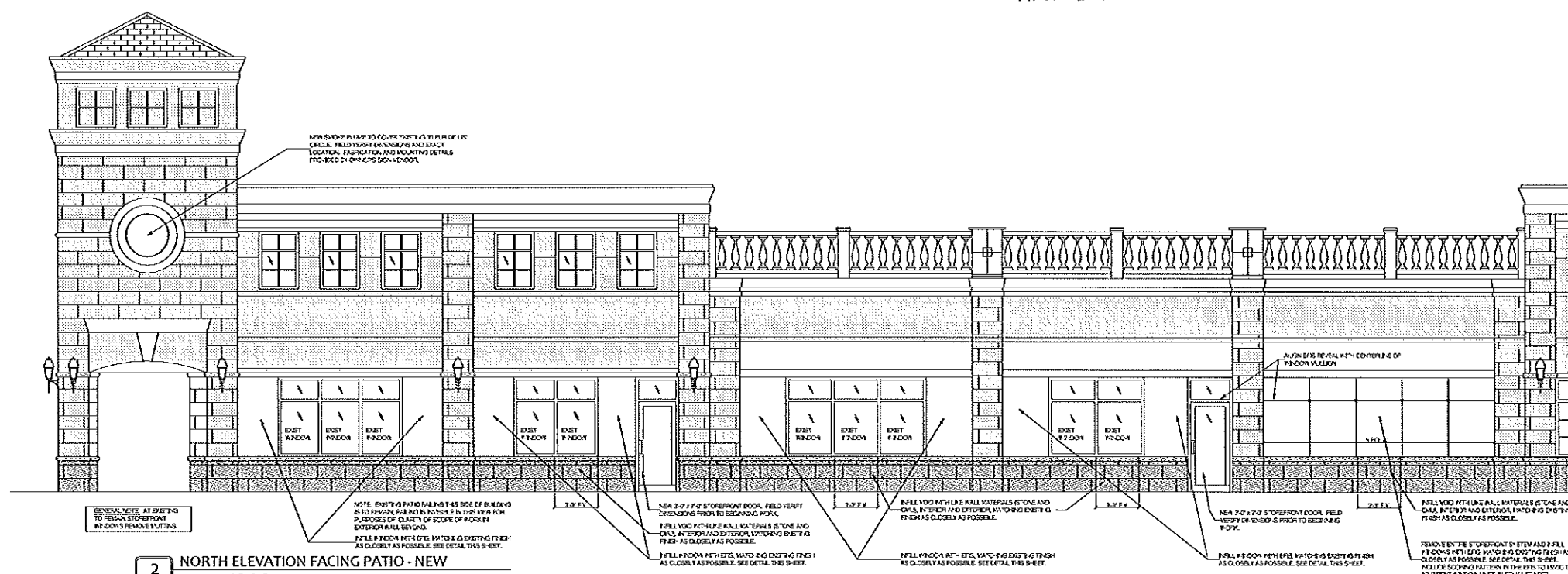
**MIND'S EYE ARCHITECTURE**  
 1990 ASBOTT STREET, STE 605  
 CHARLOTTE, NC 28203  
 704.373.3151  
 FAX 704.373.3193  
 WWW.MINDSEYEARCHITECTURE.NET



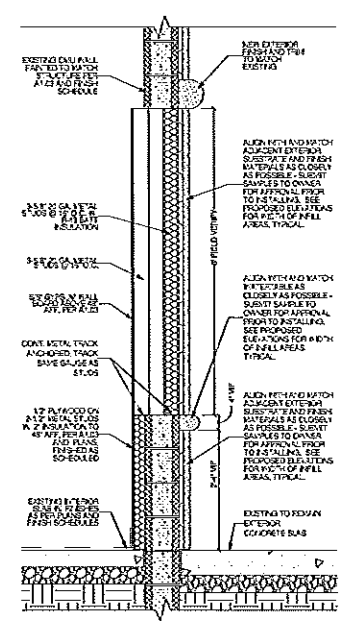
**carrie frye**  
 interior design  
 2115 CHARLOTTE BLVD.  
 CHARLOTTE, NC 28203  
 704.555.7105  
 WWW.CF-DESIGN.COM

**ATTACHED TO ADMINISTRATIVE APPROVAL**

APR 21 2015



**2 NORTH ELEVATION FACING PATIO - NEW**  
 SCALE: 1/4"=1'-0"



**3 TYP WINDOW INFILL SECTION**  
 SCALE: 3/4"=1'-0"



**1 EAST ELEVATION FACING FRONT ENTRY - NEW**  
 SCALE: 1/4"=1'-0"

**SMOKE MODERN BBQ**  
 STONECREST SHOPPING CENTER  
 2515 FLA ROAD  
 SUITE 3  
 BLDG 02  
 CHARLOTTE, NC

PROJECT NUMBER: 11-018  
 LANDLORD EXTERIOR REVIEW SET: 2.20.2015  
 LANDLORD REVIEW SET: 3.19.2015  
 CONSTRUCTION SET: 3.31.2015  
 FINAL EXT ELEV: 4.2.2015

EXTERIOR ELEVATIONS - NEW

**A2.02**