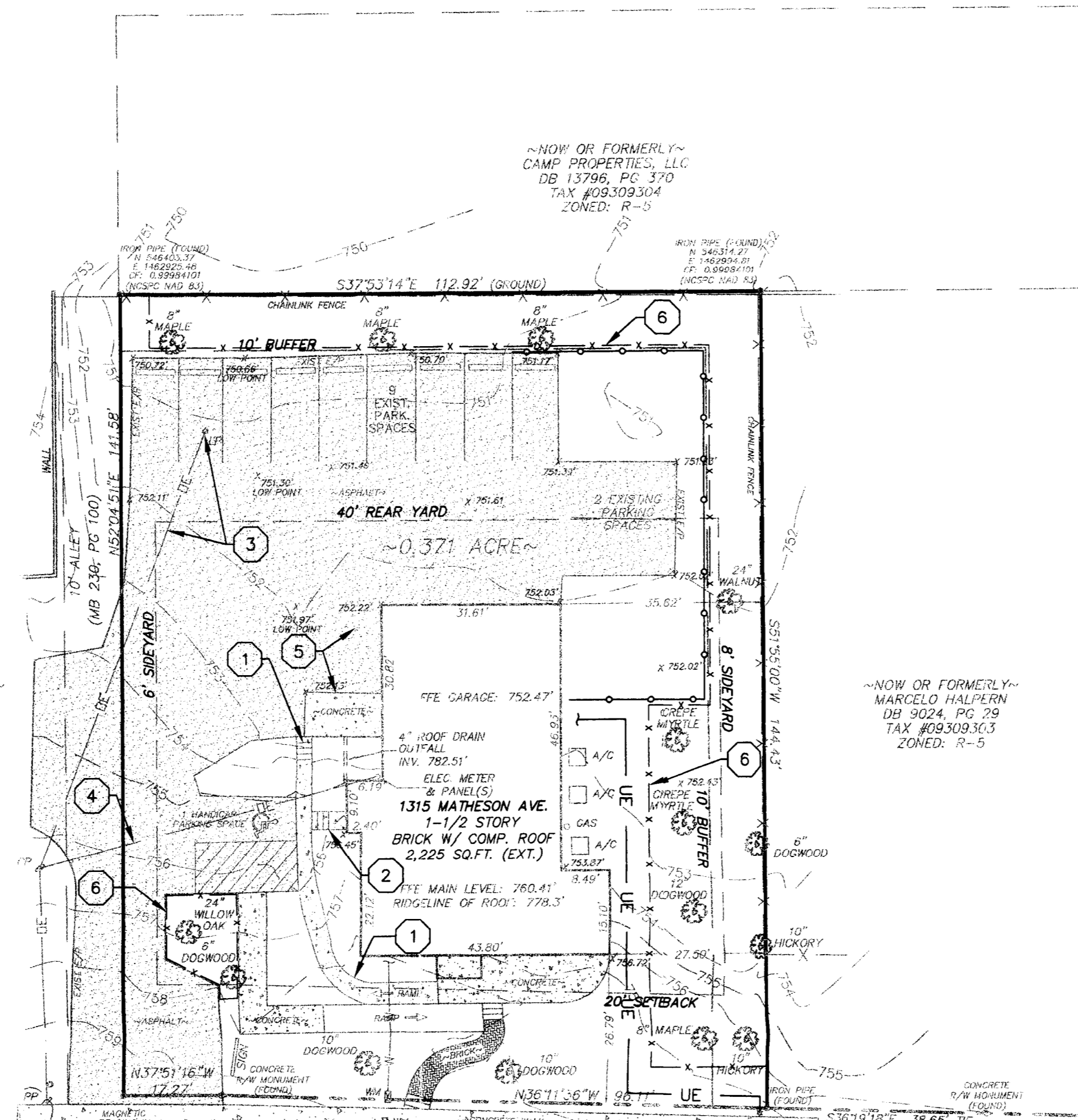


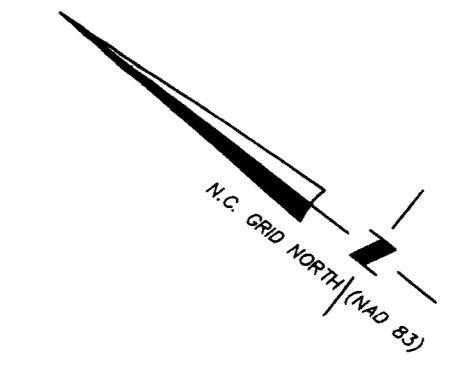
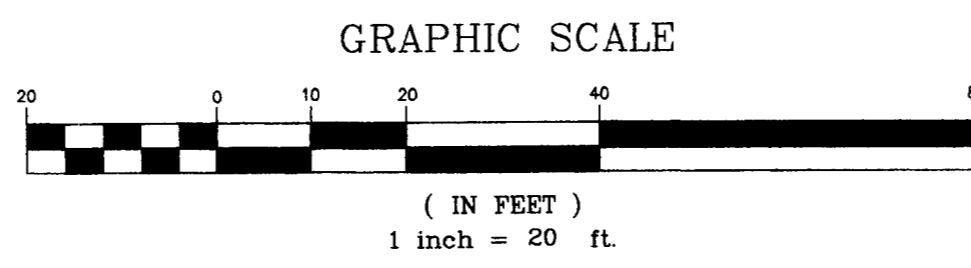
- SURVEY LEGEND**
- SIP @ SET IRON PIN
 - EIP @ EXISTING IRON PIN
 - CP @ CALCULATED POINT
 - GV @ GAS VALVE
 - WV @ WATER VALVE
 - MB @ MAIL BOX
 - WM @ WATER METER
 - PH @ FIRE HYDRANT
 - SSMH @ SANITARY SEWER MANHOLE
 - SDMH @ STORM DRAIN MANHOLE
 - LT @ LOCATED TREE/SHRUB
 - LP @ LIGHT POLE
 - TELECOMMUNICATION BOX
 - TP @ TELECOMMUNICATIONS PEDESTAL
 - PP @ POWER POLE
 - BFP @ BACK FLOW PREVENTOR
 - GW @ GUY WIRE
 - CB @ CATCH BASIN
 - DI @ DROP INLET
 - X - - - - X CHAIN LINK FENCE
 - W - - - - W UNDERGROUND WATER
 - UE - - - - UE UNDERGROUND ELECTRIC
 - OE - - - - OE OVERHEAD ELECTRIC
 - S - - - - S SANITARY SEWER PIPE
 - G - - - - G UNDERGROUND GAS
 - T - - - - T UNDERGROUND TELECOMMUNICATIONS
 - - - - - STORM DRAIN PIPE

- SURVEY NOTES:**
- IRON PINS SET AT ALL CORNERS UNLESS OTHERWISE NOTED.
 - PROPERTY ZONED: O-1(CD) 1997-26
SETBACK: 20'
RIGHT SIDE YARD: 8'
LEFT SIDE YARD: 8'
REAR YARD: 20'
 - TAX PARCEL NUMBER 093-093-02.
 - DEED REFERENCE: DB 6402 PG 310.
 - BOUNDARY SURVEY ONLY THROUGH POINTS AS SHOWN.
 - A PORTION OF THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP (FIRM) NO. 3710456400A, WITH A DATE OF IDENTIFICATION OF MARCH 2, 2009.
 - THIS PROPERTY MAY BE SUBJECT TO ADDITIONAL RECORDED OR UNRECORDED EASEMENTS, RIGHTS-OF-WAY, OR RESTRICTIVE COVENANTS, OTHER THAN SHOWN. SURVEY MADE WITHOUT THE BENEFIT OF A TITLE EXAMINATION.
 - AREA COMPUTED BY COORDINATED METHOD.
 - NO COSS MONUMENT FOUND WITHIN 2000'.
 - NO UNDERGROUND UTILITIES HAVE BEEN SURVEYED. CONTRACTORS ARE TO HAVE ALL UTILITIES ACCURATELY MARKED PRIOR TO CONSTRUCTION.

---NOW OR FORMERLY---
PHU THANH TRUONG
DB 00788, PG 5
TAX #09309310
ZONED: B-1



---NOW OR FORMERLY---
JAMES & MARGARET BLASER
DB 10135, PG 283
TAX #0930119
ZONED: R-5



EXISTING CONDITIONS GENERAL NOTES:

- THIS PLAN SHEET C1 ILLUSTRATES THE EXISTING SITE CONDITIONS PER THE BOUNDARY AND TOPOGRAPHIC SURVEY DATED MARCH 21, 2011 PERFORMED BY CAROLINA SURVEYORS, INC. P. O. BOX 267 PINEVILLE, NC 28134-0267; TELEPHONE 704-888-7601.
- THE PROPERTY LOCATED AT 1315 MATHESON AVENUE, CHARLOTTE, NC HAS AN AREA OF 0.371 ACRES.

DEMOLITION GENERAL NOTES:

- THE CONTRACTOR SHALL CALL FOR UNDERGROUND LOCATES OF ALL UTILITIES PRIOR TO INITIATING DEMOLITION ACTIVITIES.
- THE DEMOLITION ACTIVITIES SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL APPLICABLE PERMITS FOR PRIOR TO COMMENCING DEMOLITION ACTIVITIES.
- ALL DEMOLITION MATERIAL SHALL BE DISPOSED OF OFFSITE IN APPROVED LANDFILL FACILITIES OR RECYCLING FACILITIES.
- PRIOR TO COMMENCING ANY DEMOLITION THE CONTRACTOR SHALL INSTALL ALL APPROPRIATE EROSION CONTROL MEASURES FOR THE PROJECT.
- PRIOR TO INITIATING ANY DEMOLITION THE CONTRACTOR SHALL INSTALL ALL TREE PROTECTION MEASURES INCLUDING TREE PROTECTION FENCE ALONG WITH ALL EROSION CONTROL MEASURES.

DEMOLITION KEY NOTES:

- DEMOLISH EXISTING SIDEWALK & STEPS THAT IS NEAREST TO EXISTING BUILDING FROM FRONT PORCH TO LOWER PARKING AREA. SIDEWALK FROM HANDICAP PARKING SPACE TO THE HANDICAP RAMP TO THE MAIN FRONT ENTRANCE IS TO REMAIN IN SERVICE.
- DEMOLISH EXISTING CONCRETE STAIRS FROM SIDE ENTRANCE OF EXISTING BUILDING.
- REMOVE EXISTING POWER POLE AND LIGHT FIXTURE ALONG WITH THE OVERHEAD POWER LINE & SERVICE, TO ENABLE US EOP THE EXISTING PARKING SPACE.
- CONTRACTOR TO COORDINATE WITH DUKE ENERGY FOR THE REMOVAL OF EXISTING OVERHEAD POWER LINE & SERVICE TO EXISTING BUILDING, REFER TO THE SITE PLAN (SHEET C2) FOR THE CONCEPTUAL LOCATION OF THE RELOCATED POWER SERVICE TO THE BUILDING; ALSO REFER TO PLANS PREPARED BY THE PROJECT ELECTRICAL ENGINEER FOR ACTUAL CONSTRUCTION INFORMATION.
- DEMOLISH ANY EXISTING ASPHALT OR CONCRETE PAVEMENT BELOW THE PROPOSED BUILDING EXPANSION AS NEEDED TO FACILITATE THE PROPOSED BUILDING EXPANSION CONSTRUCTION.
- INSTALL TREE PROTECTION FENCE AS SHOWN PER CITY OF CHARLOTTE URBAN FORESTRY REQUIREMENTS.

ATTACHED TO ADMINISTRATIVE APPROVAL

DATED: 5/2/2011

BY: DEBRA D. CAMPBELL



CMA DESIGN

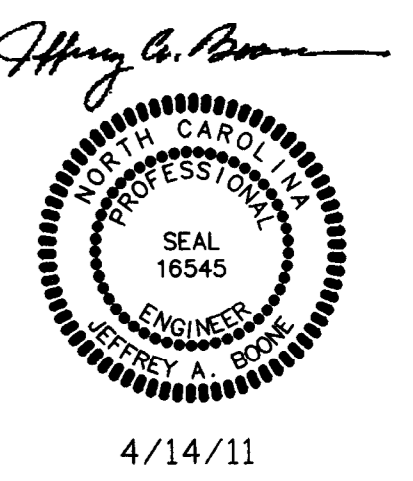
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CONSULTANT

GREENBRIER DESIGN GROUP, P.C.

LICENSE NO. C-1530
1316 Greenwood CHPT
Charlotte, NC 28204
704-347-4972 Telephone



Ballentine Family Dentistry
Dental Office Expansion
1315 Matheson, Ave. Charlotte, NC

SDG PROJECT NUMBER 11002
ISSUE DATE
CMPC Admin. Approval 4/14/11

DRAWING DATA

DRAWN BY: JAB
CHECKED BY: JAB
FILE NUMBER: 11002 BASE.DWG

SHEET TITLE

EXISTING CONDITIONS & DEMOLITION PLAN

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SHEET NUMBER

C1

CHARLOTTE - MECKLENBURG PLANNING COMMISSION
INTER - OFFICE COMMUNICATION

DATE: May 2, 2011

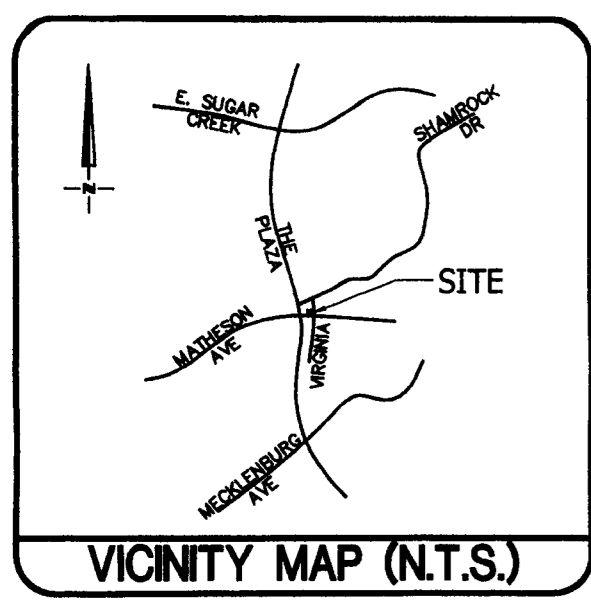
TO: Mark Fowler
Zoning Administrator

FROM: Debra Campbell
Planning Director

SUBJECT: Administrative Approval for Petition No. 1997-026 by Stephanie Balletine, Tax parcel 09309302.

Attached is a copy of the revised site plan relocating the proposed addition to the internal portion of the site. I have reviewed plans and they meet the intent of the approved rezoning. Since this change is minor and noted, I am administratively approving this revised plan. Please use this revised plan when evaluating requests for building permits and certificates of occupancy.

Please not all Conditional Notes and Ordinance requirements still apply.



ZONING CODE/DEVELOPMENT SUMMARY

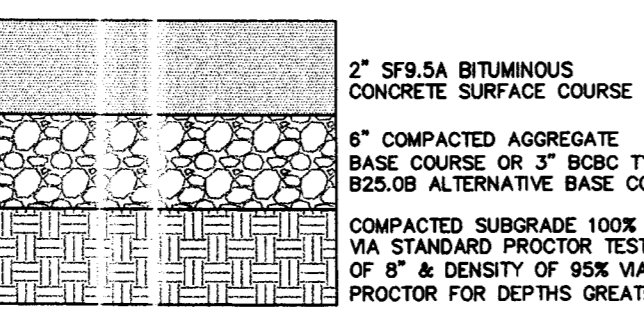
PROJECT: BALLENTINE FAMILY DENTISTRY
 EXISTING USE: DENTAL OFFICE
 PROPOSED USE: DENTAL OFFICE
 BUILDING AREA: 2,225 SF EXISTING
 550 SF PROPOSED
 2,875 SF TOTAL
 SITE AREA: 0.371 AC = 16,180 SF
 SITE ADDRESS: 1315 MATHESON AVE.
 CHARLOTTE, NC
 PARCEL ID: 093-093-02
 LAND OWNER: STEPHANIE BALLENTINE-DAVIS
 1315 MATHESON AVE.
 CHARLOTTE, NC

ENGINEER: GRENBRIER DESIGN GROUP, PC
 1316 GREENWOOD CLIFF
 CHARLOTTE, NC 28204
 PHONE 704-347-4972
 3000w@grebrierdesign.com

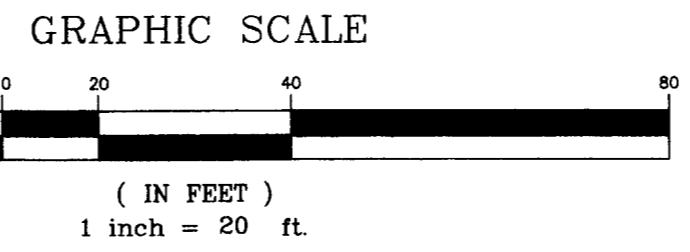
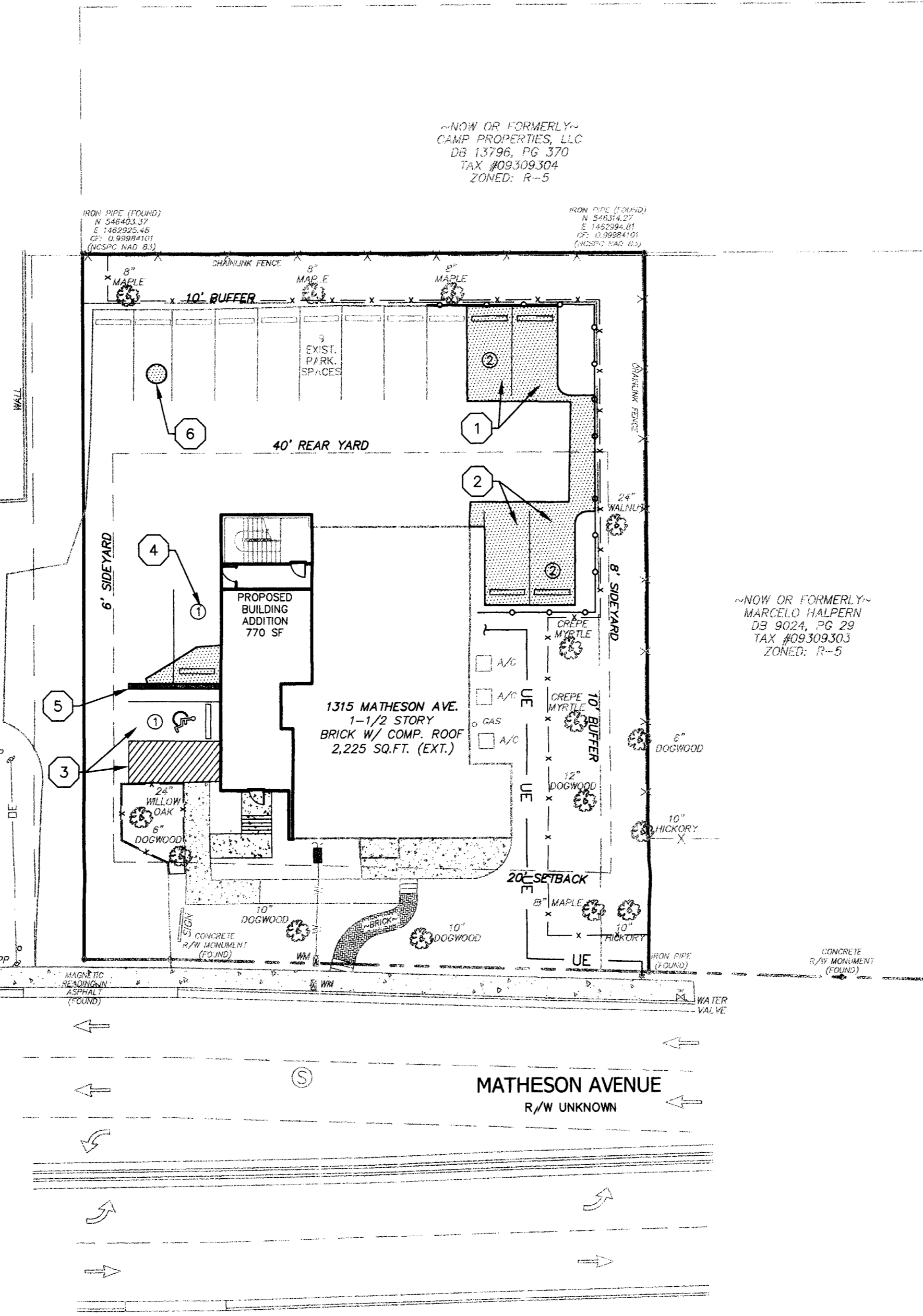
JURISDICTION: CITY OF CHARLOTTE
 ZONING: O-1(CD) 1997-28
 SETBACKS: 20' FRONT SETBACK
 8' RIGHT SIDEYARD
 6' LEFT SIDEYARD
 40' REAR YARD
 BUFFERS: 10' REAR YARD CLASS C
 10' RIGHT SIDEYARD CLASS C

PARKING SUMMARY

MEDICAL OFFICE VEHICLE PARKING AS REQUIRED BY CODE.
 EXISTING BUILDING: 2,225 SF
 PROPOSED BUILDING EXPANSION: 550 SF
 TOTAL BUILDING AREA: 2,875 SF
 PARKING REQUIRED 2,965 SF x 1 SPACE/200 SF = 15 SPACES
 MEDICAL OFFICE VEHICLE PARKING PROVIDED:
 HANDICAPPED: = 1
 STANDARD: = 14
 TOTAL PROVIDED: = 15 SPACES



ON-SITE LIGHT DUTY ASPHALT PAVEMENT SECTION
N.T.S.



**ZONING CODE SUMMARY & RESTRICTIVE COVENANTS
 FROM UNDERLYING CONDITIONAL REZONING O-1(CD) 1997-28**

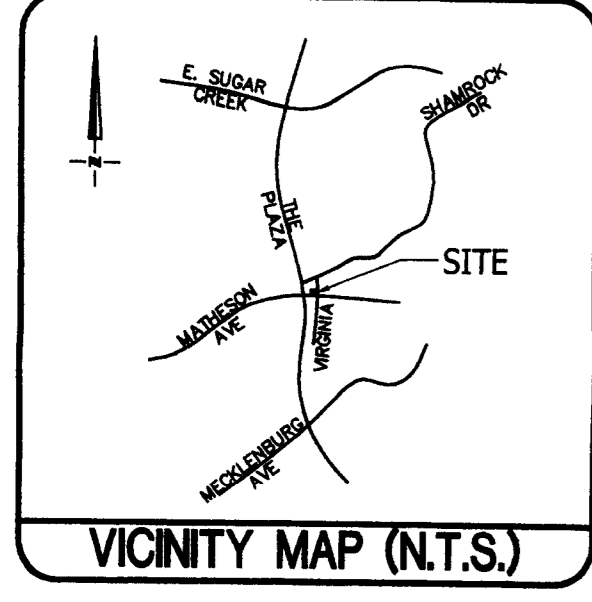
ZONING CODE SUMMARY

PROJECT USE: O-1(CD) COMMERCIAL OFFICE BUILDING

MINIMUM HEIGHT	12 FT.
MINIMUM SETBACK	20 FT.
MINIMUM SIDEYARD	8 FT.
MINIMUM REAR YARD	40 FT.
MINIMUM REAR YARD CLASS C	10 FT.
MINIMUM RIGHT SIDEYARD	8 FT.
MINIMUM LEFT SIDEYARD	6 FT.
MINIMUM FRONT YARD	20 FT.
MINIMUM FRONT YARD CLASS C	10 FT.

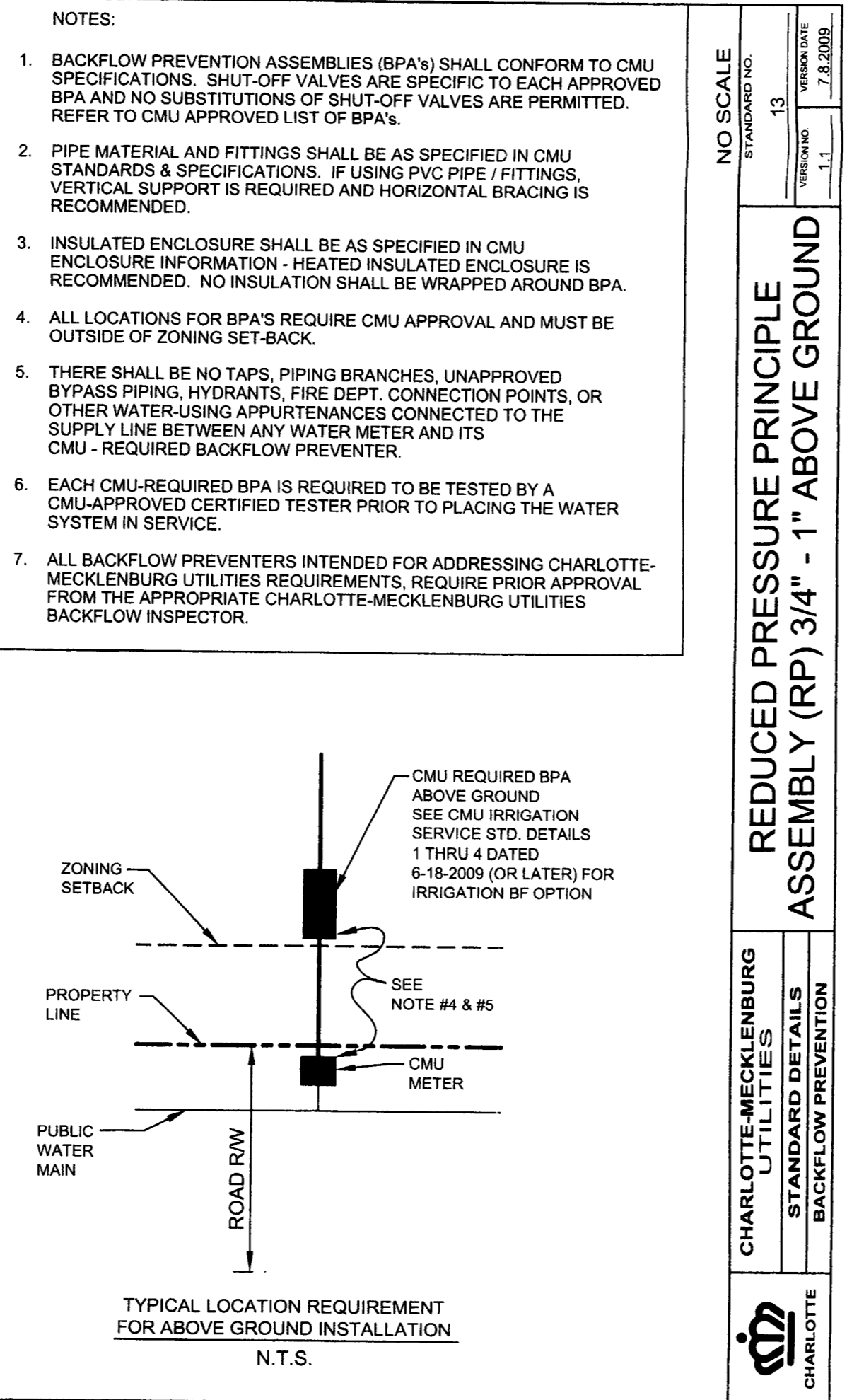
STATEMENT OF RESTRICTIVE CONDITIONS

- BASED ON 2,225 SQ. FT. DENTIST OFFICE AREA AND 442 BASKET 50 FT. x 2,887 SQ. FT. (COVER) BY 200 SQ. FT., 13 MINIMUM PARKING SPACES WILL BE REQUIRED AT THIS BUREAU. TOTAL SPACES INCLUDING 1 HANDICAPPED SPACE OF THE 14 SPACES, ONE WILL BE REQUIRED TO BE HANDICAPPED (MIN. SPACE 18' WIDE). PHASE 2 EXPANSION WOULD REQUIRE ADDITIONAL SPACES WHICH SHOULD BE LOCATED AT REAR OF SITE.
- A NEW HANDICAPPED RAMP WILL BE REQUIRED TO ALLOW ACCESSIBILITY TO THIS OFFICE BUILDING (BASED ON THE PHASE 1 AND TESTING REQUIREMENTS ON THIS SHEET). THE LOCATION OF THE EXISTING WATER SERVICE LATERAL IS APPROXIMATE BASED ON THE FIELD SURVEY LOCATION OF THE OUMD METER. THE CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF THE WATER SERVICE LATERAL. THE EXISTING OUMD WATER METER IS REPORTED TO BE A 5/8" BY OUMD CUSTOMER SERVICE.
- ONLY ONE BUSINESS IDENTIFICATION SIGN PERMITTED UP TO SIX (6) SQ. FT. (FACE SIZE) AND MUST BE ATTACHED DIRECTLY TO FRONT OF THE STRUCTURE. SIGN MAY NOT BE ELECTRIC OR PROTRUDE FROM THE FACE OF THE STRUCTURE. IN EXCESS OF SIX (6) INCHES. A DETACHED SIGN OF SIX (6) SQ. FT. MAXIMUM WILL BE INSTALLED IN FRONT OF BUILDING.
- THE OCCUPANCY USE OF THE BUILDING WILL BE LIMITED TO OFFICE PURPOSES ONLY.
- THE EXISTING SINGLE STORY (WITH BASEMENT) STRUCTURE IS TO BE MAINTAINED IN ITS PRESENT PHYSICAL APPEARANCE AS A DWELLING. FUTURE ADDITIONS (PHASE 1 AND PHASE 2) SHALL MAINTAIN THE PHYSICAL APPEARANCE AS A DWELLING.
- THE EXISTING STRUCTURE WILL NOT BE ALTERED WITH THE EXCEPTION OF THE PHASE 1 ADDITION AND THE FUTURE PHASE 2 ADDITION OF 1,000 SQ. FT. MAXIMUM. THE CONTRACTOR SHALL DETERMINE IF THE PHASE 2 ADDITION IS ONE STORY OR ONE STORY WITH BASEMENT.
- ALL NEW ADDITIONS WILL BE ARCHITECTURALLY COMPATIBLE TO THE EXISTING STRUCTURE AND MAINTAIN RESIDENTIAL CHARACTER.
- ALL EXISTING TREES INDICATED ON THIS SITE PLAN ARE TO REMAIN.
- ALL TRASH PICK-UP WILL BE BY CITY CURBSIDE PICK-UP. THERE WILL BE NO TRASH DUMPSTERS ON THIS PROPERTY.
- NO DETACHED LIGHTS WILL BE ERRECTED ON THE LOT. THERE IS ONE EXISTING DETACHED LIGHT WHICH WILL REMAIN.
- A 10 FOOT CLASS "C" BUFFER WILL BE INSTALLED ON RIGHT SIDE AND REAR YARD WHICH ADJUTS RESIDENTIAL.



UTILITY PLAN KEY NOTES:

- INSTALL A 1" REDUCED PRESSURE BACKFLOW PREVENTOR ABOVE GROUND IN AN INSULATED ENCLOSURE AS REQUIRED BY CMU. REFER TO CMU DETAIL AND SPECIFIC INSTALLATION REQUIREMENTS ON THIS SHEET. THE BACKFLOW PREVENTOR SHALL BE INSTALLED OUTSIDE OF THE FRONT SETBACK. THE LOCATION OF THE EXISTING WATER SERVICE LATERAL IS APPROXIMATE BASED ON THE FIELD SURVEY LOCATION OF THE OUMD METER. THE CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF THE WATER SERVICE LATERAL. THE EXISTING OUMD WATER METER IS REPORTED TO BE A 5/8" BY OUMD CUSTOMER SERVICE.
- CONTRACTOR TO COORDINATE WITH DUKE ENERGY AND THE PROJECT ELECTRICAL ENGINEER REGARDING THE INSTALLATION OF A NEW POLE MOUNTED TRANSFORMER TO SERVE THE PROJECT. THIS INFORMATION IS PROVIDED SOLELY FOR THE COORDINATION WITH RESPECT TO THE SITE ISSUES OF THE PROJECT.
- CONTRACTOR TO COORDINATE WITH DUKE ENERGY AND THE PROJECT ELECTRICAL ENGINEER REGARDING THE PROPOSED UNDERGROUND ELECTRICAL SERVICE TO SERVE THE PROJECT WHICH IS TO BE LOCATED OUTSIDE OF THE TREE SHADOW AREA AS INDICATED BY THE TREE PROTECTION FENCE. THIS INFORMATION IS PROVIDED SOLELY FOR THE COORDINATION WITH RESPECT TO THE SITE ISSUES OF THE PROJECT.
- CONTRACTOR TO COORDINATE WITH DUKE ENERGY AND THE PROJECT ELECTRICAL ENGINEER REGARDING THE INSTALLATION OF THE NEW METER(S) AND ELECTRICAL PANEL(S) TO SERVE THE PROJECT. THIS INFORMATION IS PROVIDED SOLELY FOR THE COORDINATION WITH RESPECT TO THE SITE ISSUES OF THE PROJECT.



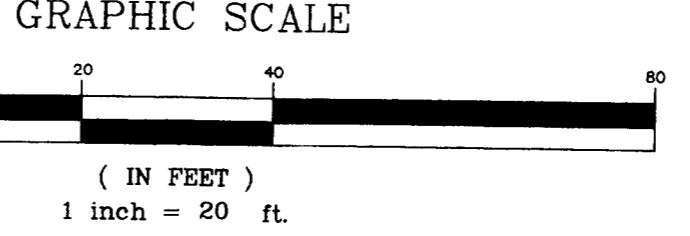
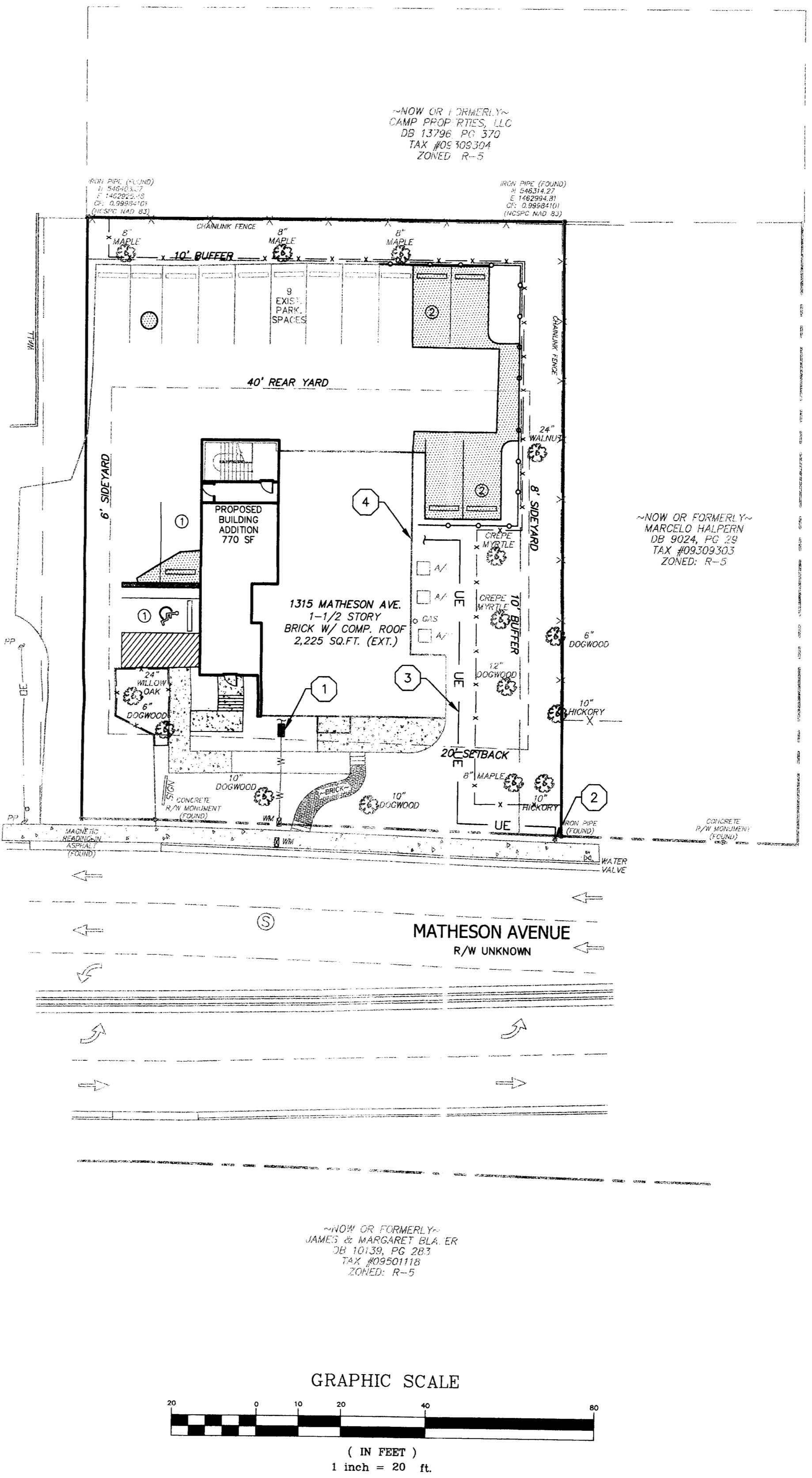
REDUCED PRESSURE PRINCIPLE ASSEMBLY (RPP) 3/4" - 1" ABOVE GROUND

CHARLOTTE-MECKLENBURG STANDARD DETAILS BACKFLOW PREVENTION

NO SCALE

DATE: 05/04/11

DESIGNER: J.P. BROWN



CMA DESIGN



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 Charlotte, NC 28204
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STAMPS

4/14/11

**Ballentine Family Dentistry
 Dental Office Expansion**
 1315 Matheson Ave. Charlotte, NC

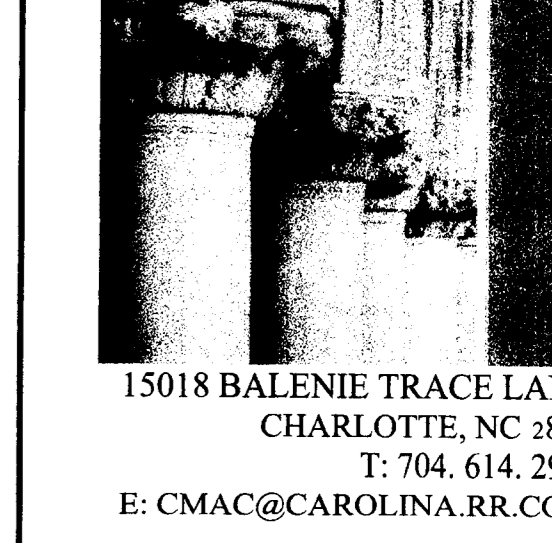
ISSUE DATE 4/14/11

DRAWING DATA
 DRAWN BY: JAB
 CHECKED BY: JAB
 FILE NUMBER: 11002 BASE DWG

SITE & LANDSCAPE PLAN

SHEET NUMBER
C2

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STAMPS

4/14/11

**Ballentine Family Dentistry
 Dental Office Expansion**
 1315 Matheson Ave. Charlotte, NC

ISSUE DATE 4/14/11

DRAWING DATA
 DRAWN BY: JAB
 CHECKED BY: JAB
 FILE NUMBER: 11002 BASE DWG

UTILITY PLAN

SHEET NUMBER
C4

**CHARLOTTE - MECKLENBURG
PLANNING COMMISSION**

INTER - OFFICE COMMUNICATION

DATE: September 14, 2011

TO: Mark Fowler
Zoning Supervisor

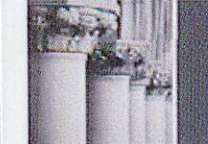
FROM: Debra Campbell
Planning Director

SUBJECT: Administrative Approval for Petition No. 1997-026 by Stephanie Balletine, Tax parcel 09309302.

Attached is a copy of the revised floor plan of new addition and excluding the basement square footage for parking standards. I have reviewed plans and they meet the intent of the approved rezoning. Since this change is minor and noted, I am administratively approving this revised plan. Please use this revised plan when evaluating requests for building permits and certificates of occupancy.

Please not all Conditional Notes and Ordinance requirements still apply.

CMA DESIGN



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**Balletine
Family
Dentistry**
Dental Office Addition
1315 Matheson Ave., Charlotte, NC

PROJECT NUMBER 1102
ISSUE DATE
Issued for Construction 08.12.11

rev 1-09.11.11

DRAWING DATA
DRAWN BY: MYT
CHECKED BY: CM
FILE NUMBER:

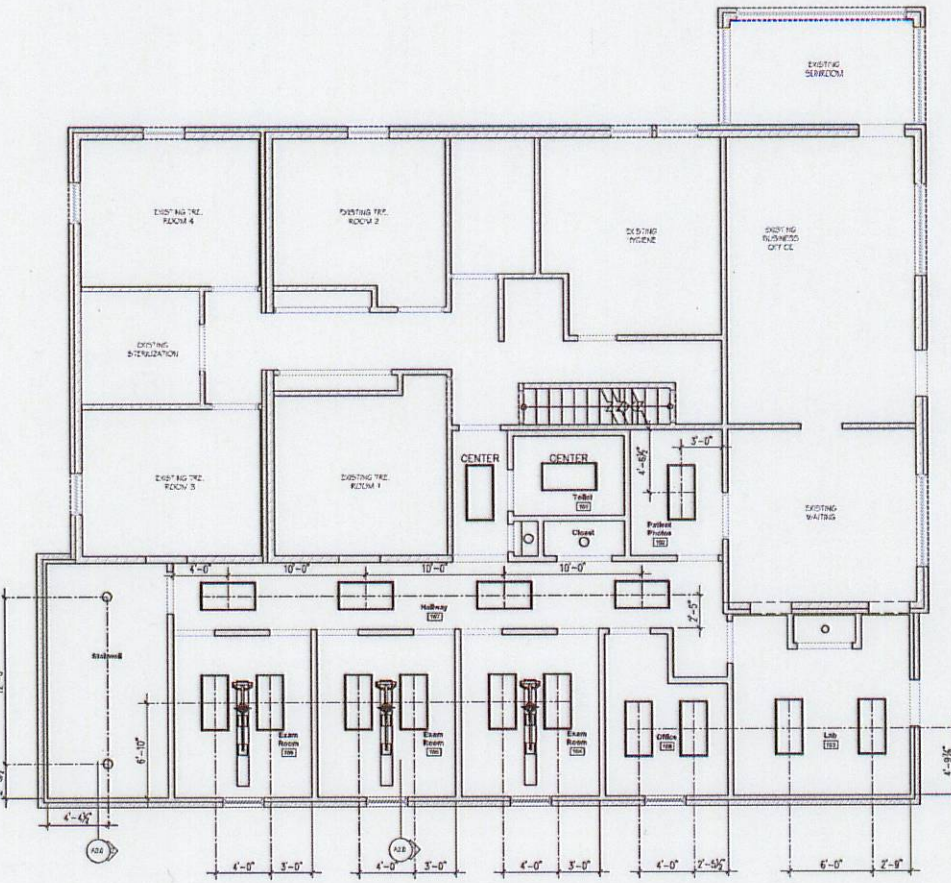
SHEET TITLE

**FLOOR AND
REFLECTED
CEILING
PLANS**

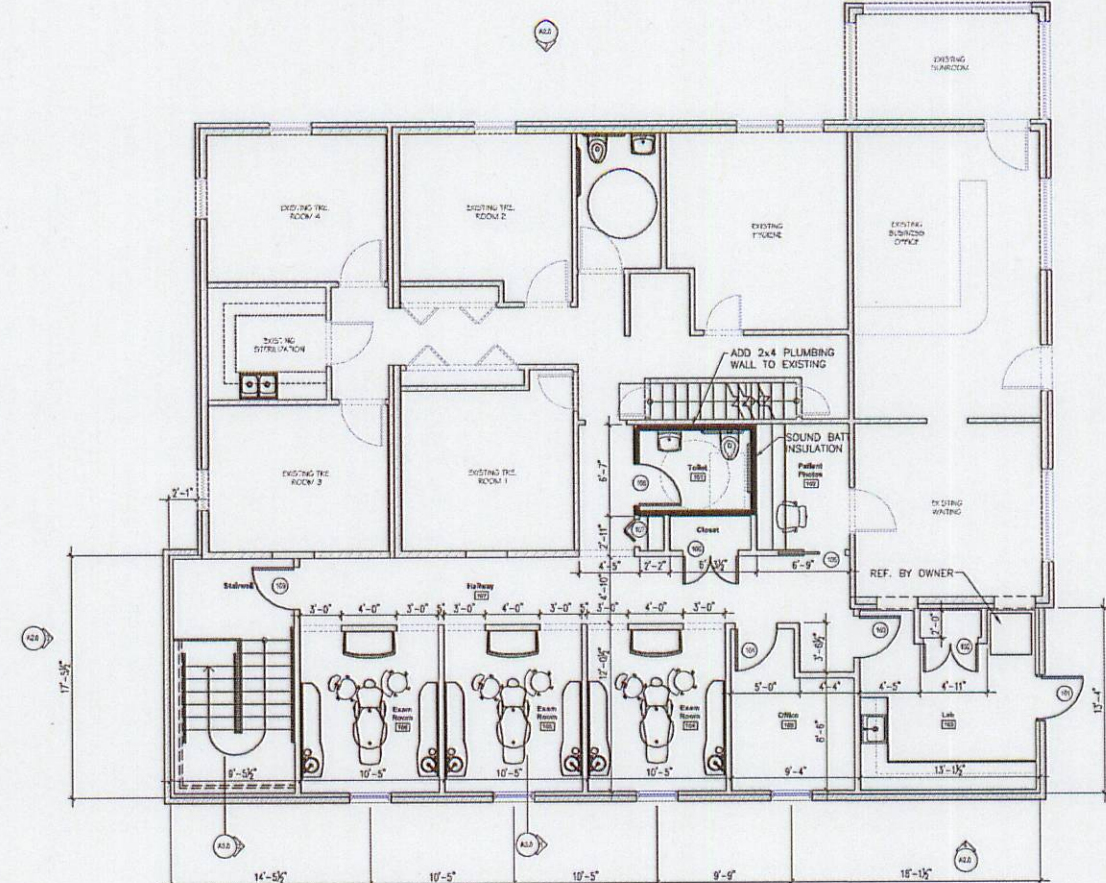
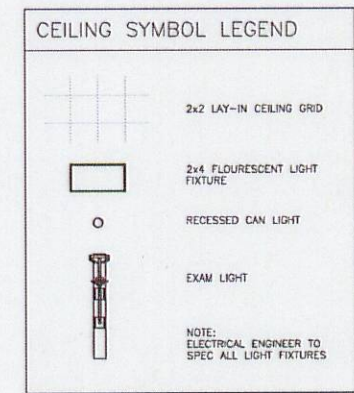
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SHEET NUMBER

A1.0

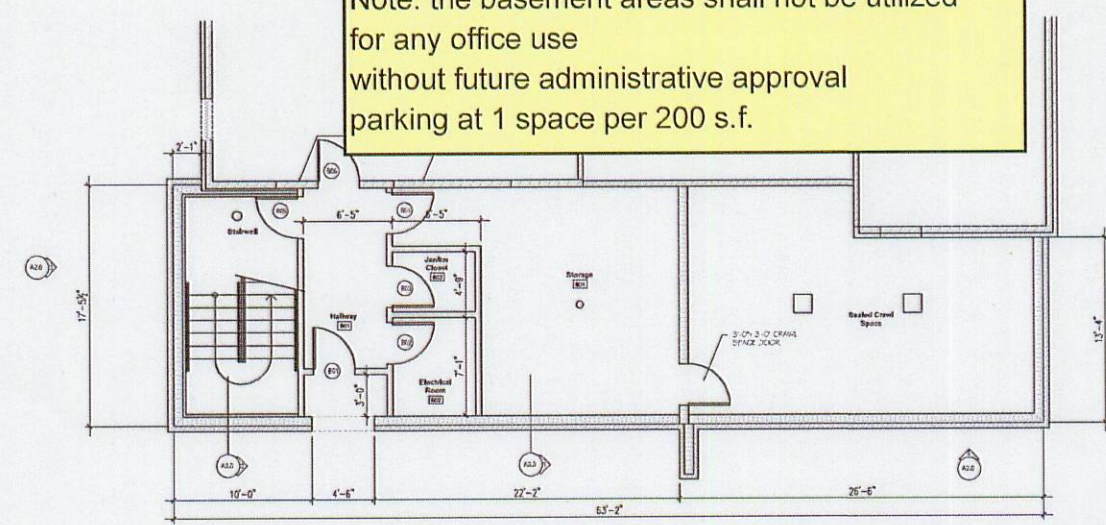


3 REFLECTED CEILING PLAN
3/16"=1'-0"



1 FLOOR PLAN
3/16"=1'-0"

Note: the basement areas shall not be utilized for any office use without future administrative approval parking at 1 space per 200 s.f.



2 BASEMENT FLOOR PLAN
3/16"=1'-0"

**ATTACHED TO ADMINISTRATIVE
APPROVAL**

DATED: 9/14/2011 *DF*

BY: DEBRA D. CAMPBELL