

### DEVELOPMENT NOTES

The following conditions shall only permit the use of the property as a hotel/motel/inn under the B-2(CD) zoning classification; otherwise, any use of the property shall conform to the requirements of the C-1 zoning classification; and shall be consistent with the historic designation of the site.

- (1) **Use of Building A** - Building A as shown on the site plan may be used as a hotel or motel and only as presently constructed, without any addition to its gross square feet area. Use of the building shall be conducted in the style of a bed and breakfast country inn which shall offer temporary overnight lodging and breakfast to its patrons. There shall be a maximum of eight (8) guest rooms permitted within Building A. Building A and the grounds of the property may also be used for receptions, meetings, social gatherings, and other special events (Easter brunch, Mother's Day brunch, pre-play dinners, provided the number of guests in attendance shall not exceed one hundred fifty (150) for receptions, meetings, and social gatherings or forty (40) for other special events.
- (2) **Use of Building B** - Building B as shown on the site plan may not be used as a restaurant or food preparation facility. It may be used as lodging for a resident manager, as well as for uses incidental to the use of Building A.
- (3) **Use of Building C** - Building C as shown on the site plan may be used only for a maximum of three (3) guest rooms. No sign shall be allowed on the grounds associated with Building C.
- (4) **Screening** - The screening provided by the trees, plants, and shrubbery shall remain as it presently exists and shall be maintained within the designated areas shown on the site plan. Additional planting shall be provided and maintained within the area enclosed by the driveway to the Berkeley Avenue entrance. No trees are to be removed without the approval of the Engineering Department or other City of Charlotte agencies (as required). The existing fence and plantings along the rear of the parcel shall be maintained as a buffer. (In the event it is determined this does not meet current buffer distance requirements, a variance may be requested from the Zoning Board of Adjustment.)
- (5) **Food Preparation** - On-site food preparation in connection with the use of Buildings A and C shall consist only of the preparation of breakfast and, occasionally, additional meals upon request, in advance, for the registered guests of Buildings A and C. In addition, food may be prepared and served provided in connection with meetings, receptions, social gatherings, and special events held on the premises as permitted under Paragraph (1) above. No food service shall be provided for the public at large and, in no event, shall this facility function as a public restaurant.
- (6) **Signs** - One sign identifying the use of Building A may be located near the corner of East Morehead Street and Berkeley Avenue. Such sign shall be constructed principally of wood, shall be no larger than five (5) feet by seven (7) feet in area, and may be illuminated by ground spot lights on both sides. One sign identifying the use of Building A may be attached to the north side of Building A at the Berkeley Avenue entrance. Such sign shall be constructed principally of wood, shall be no larger than six (6) square feet in area, and may be illuminated by a spotlight.
- (7) **Parking** - Off-street parking shall be provided to meet or exceed Ordinance requirements. This standard shall be met through a combination of on-site and off-site locations as described below.

The existing parking configuration is to remain as it is now configured. Off-street parking for the property, as required by the City of Charlotte Zoning Ordinance, shall be located only within the areas designated as parking areas on the site plan. Provided that such on-site parking is and remains available, off-site parking spaces in nearby off-street parking lots may be designated for use by the overnight guests and employees of Building A, B, and C. The four (4) spaces on the north side of Building A are to be screened from Morehead Street with a 5'-0" high wooden fence.

Off-site parking shall be provided for those persons attending any reception, meeting, social gathering, or special event in Building A. The term "off-site parking" shall be defined as parking spaces for which written contracts for the use of said spaces have been signed and are in possession of the owner of Building A.

The maximum number of persons in attendance at any such reception, meeting, social gathering, or special event in Building A shall be limited as defined in Paragraph (1).

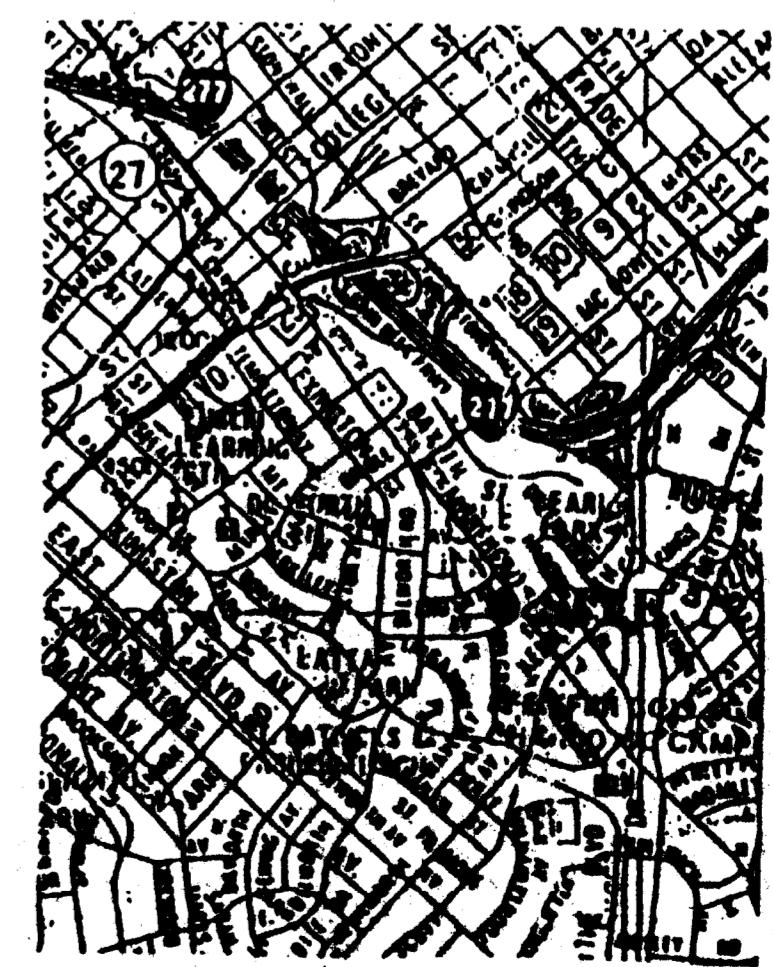
The presence of any reception, meeting, social gathering or special event shall be provided with maps showing the location of such off-site parking and shall be required to inform their guests of the location of such off-site parking by, for example, including small maps of the parking area with their invitations. For any reception, meeting, social gathering, or special event for which more than twenty (20) guests are anticipated, a parking attendant shall be provided, who shall be located inside Building A, at or near the Berkeley Avenue entrance, to direct guests to the provided off-site parking, and there shall be an A-frame directional sign in the street parking lot near the Berkeley Avenue entrance indicating the location of off-site parking. For any reception, meeting, social gathering, or special event of seventy-five (75) to one hundred fifty (150) guests, two (2) additional parking attendants shall be provided, who may be off-duty uniformed patrolmen and who will be stationed on Berkeley Avenue and Delgrave Place to direct guests to the off-site parking areas.

It is acknowledged that any on-street parking by any employee, guest or invitee or, or anyone associated with the use of Building A, B, or C is inconsistent with and detrimental to the residential character of adjacent streets and spaces to the residents on such adjacent streets. The term "adjacent streets" is defined to specifically include Delgrave Place, Arvon Avenue, and the portion of Berkeley Avenue located to the southwest of East Morehead Street. No on-street parking on the adjacent streets shall be allowed by anyone associated with or present within Building A, Building B, or Building C, and any such parking is a material violation of this zoning ordinance amendment.

- (8) **Drainage** - The existing driveways are to remain and will continue to provide for one-way traffic flow as shown.
- (9) **The petitioner** agrees to dedicate any required right-of-way along Morehead Street equal to forty (40) feet from center line provided that any alteration to the site does not adversely affect the historic designation of the property and building. This dedication shall occur within thirty (30) days of a request by the City of Charlotte.
- (10) No new parking or pavement shall be established within the side yard setback shown along Berkeley Avenue.
- (11) Trash collection occurs in a container across Berkeley Court as indicated on site plan.

PETITION # 97-70  
FOR PUBLIC HEARING

APPROVED BY CITY COUNCIL  
DATE 10/23/97



VICINITY MAP

### DEVELOPMENT DATA

Site Area: .876 acres  
Existing Zoning: B-1 (CD)  
Proposed Zoning: B-2 (CD)  
Existing and Proposed Use:  
Bed and Breakfast Hotel

Parking Summary: (See Note 7)  
23 spaces required  
20 spaces provided on site  
10 spaces provided off site  
(written agreement with owner)

Kevin Coulter, Architect  
WHLG Build. Inc. Charlotte, NC 28203 378-4243

The Morehead Inn  
PROPOSED REZONING PLAN  
1122 East Morehead Street, Charlotte, NC 28204

Revised  
13 Aug 97

Site Plan  
4 June 1997

A1

5  
EARL B. MARLIN, JR. & WIFE, GAIL D.  
101 DELGRAVE PLACE  
CHARLOTTE, NC 28205

3  
LARRY D. ELDER & WIFE, JANICE S.  
1146 BERKELEY AVENUE  
CHARLOTTE, NC 28205

4  
LILBURN STANLEY BROWN & WIFE, MARTHA P.  
1201 BERKELEY AVENUE  
CHARLOTTE, NC 28205

2  
MARY L. LAWTON (ESTATE)  
c/o W.H. HEIDENREICH, JR.  
P.O. BOX 3418  
CHARLOTTE, NC 28234

1  
C.D. SPANGLER CONSTRUCTION CO.  
P.O. BOX 360007  
CHARLOTTE, NC 28236

6  
SILVER MOREHEAD, LLC  
1823 N. MAIN ST.  
HIGH POINT, NC 27282

7  
CHARPAT PROPERTIES  
1211 E. MOREHEAD ST.  
CHARLOTTE, NC 28204

0 5 10 20 40

1  
A1  
EXISTING SITE PLAN  
P. 20-00

8 THROUGH 22

23 THROUGH 29

