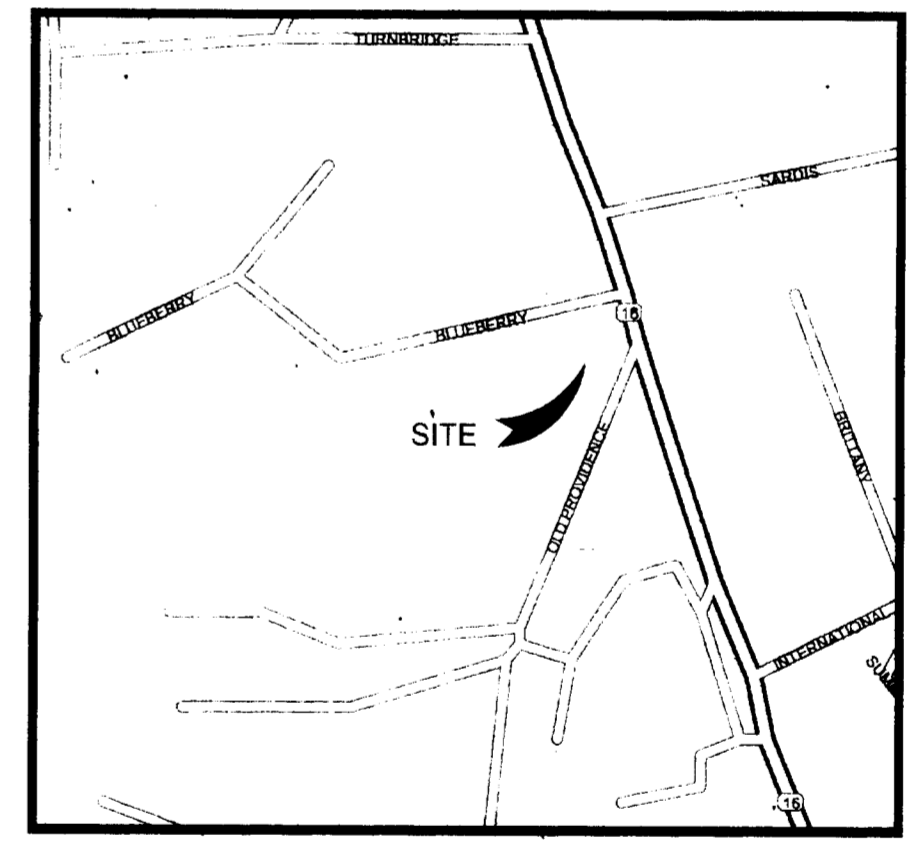
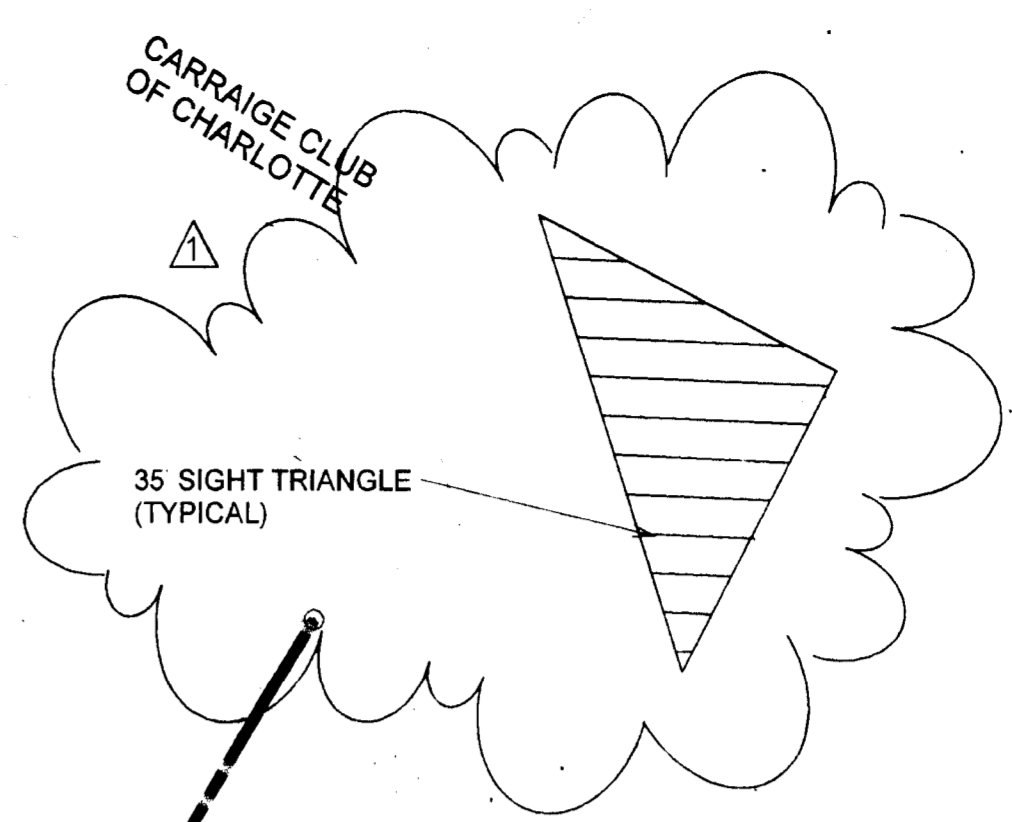
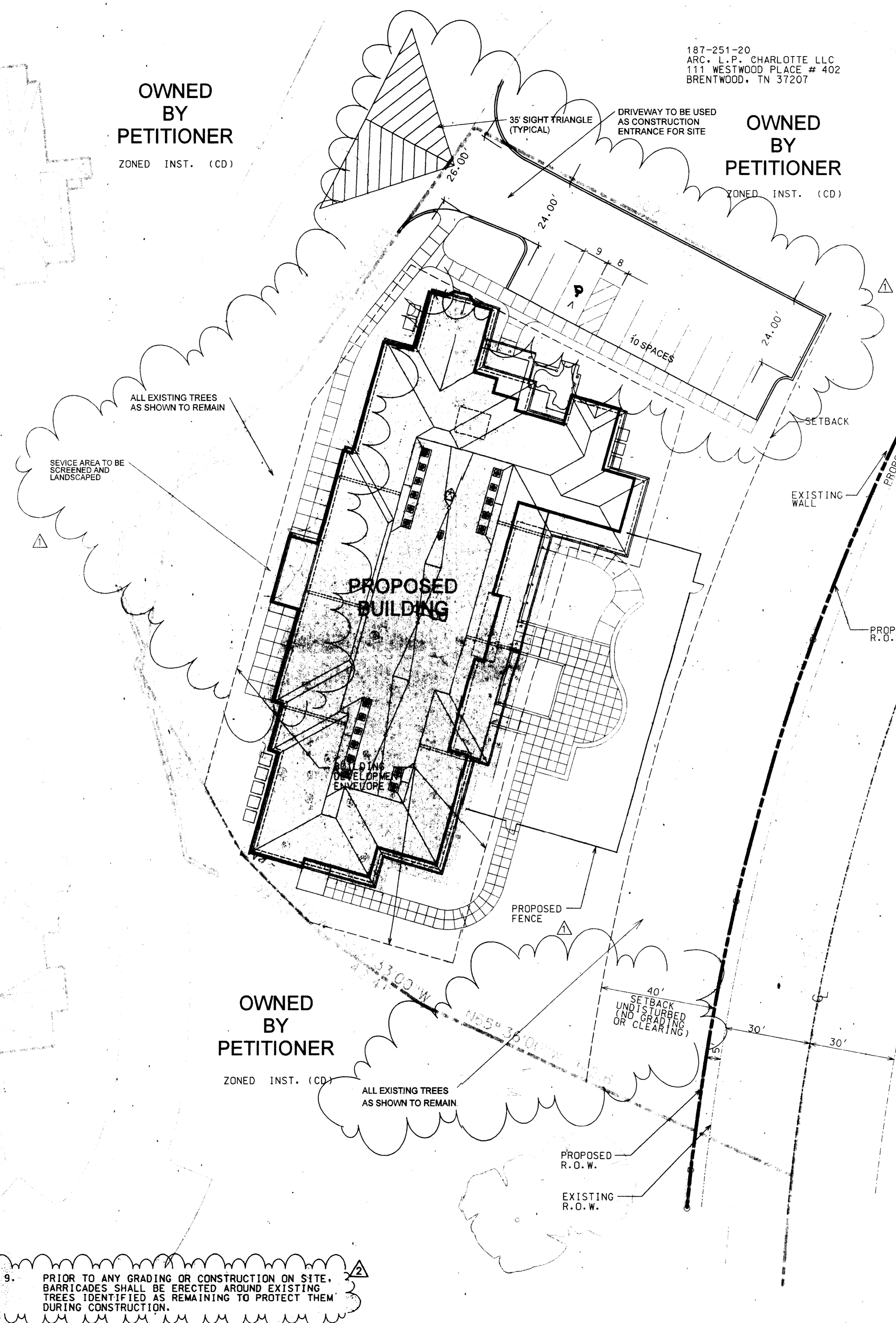


187-251-20
ARC, L.P., CHARLOTTE, LLC
111 WESTWOOD PLACE # 402
BRENTWOOD, TN 37207

**OWNED BY
PETITIONER**
ZONED INST. (CD)

**OWNED BY
PETITIONER**
ZONED INST. (CD)

187-361-02
CITY OF CHARLOTTE
HOUSING AUTHORITY
P. O. BOX 36795
CHARLOTTE, NC 28202



EXISTING ZONING: 0-15 CD
PROPOSED ZONING: INSTITUTIONAL (CD)
PERMITTED USE: DEPENDENT LIVING FACILITY
MAXIMUM BUILDING SIZE: 33,323 S.F.
SITE SIZE: 1.53 ACRES
PARKING REQUIRED: 30/3 = 10 SPACES
PARKING PROVIDED: 9+1(HC) = 10 SPACES
PROPOSED BUILDING HEIGHT: 35' (MAX)
(2 STORIES)

MAXIMUM NUMBER OF BEDS: 30
(WILL OPERATE IN CONJUNCTION WITH EXISTING CARRIAGE CLUB OF CHARLOTTE)

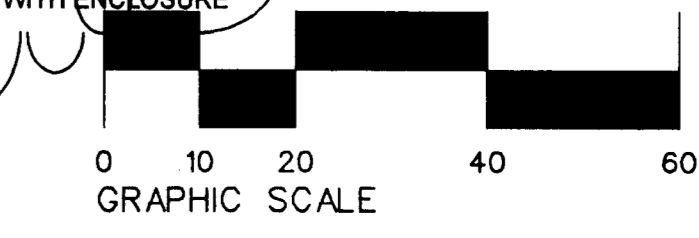
NOTES

THE EXISTING DRIVE TO CARRIAGE CLUB OF CHARLOTTE TO SERVE AS THE CONSTRUCTION ENTRANCE

FOR STORM WATER, THE INTENT IS TO USE EXISTING STORMWATER DETENTION ON EXISTING CARRIAGE CLUB PROPERTY. NO DETENTION WILL BE PROVIDED IN SETBACK.

ALL SCREENING REQUIRED IS TO CONFORM TO SECTION 12.303 OF THE STANDARDS.

THE HEIGHT OF DETACHED LIGHTS IS TO BE A MAXIMUM OF 20'.
HANDICAP PARKING TO BE VAN ACCESSIBLE.
TRASH DUMPSTERS WILL BE PLACED ON CARRIAGE CLUB PROPERTY WITH ENCLOSURE AND GATES.



GENERAL NOTES:

1. THE SUBJECT PROPERTY IS NOW ZONED 0-15 (CD) AND IS APPROVED FOR USE AS A MEDICAL OFFICE BUILDING WHICH WAS INTENDED TO PROVIDE SERVICES TO THE ADJACENT CARRIAGE CLUB OF CHARLOTTE RETIREMENT FACILITY. THE CARRIAGE CLUB NOW PROPOSES TO REZONE THE PROPERTY TO THE SAME CLASSIFICATION (INST.) AS THE EXISTING FACILITY. PLACE ONE ADDITIONAL BUILDING ON IT, AND USE THAT BUILDING FOR A DEPENDENT LIVING FACILITY. THIS SITE WOULD THEN BECOME A PART OF THE OVERALL MASTER PLAN FOR CARRIAGE CLUB.
2. THIS PLAN DEPICTS A FIRM CONCEPT OF DEVELOPMENT WITH THE ONLY ADJUSTMENT BEING THAT THE BUILDING SHAPE AND SIZE MAY BE AMENDED AS LONG AS IT DOES NOT EXCEED THE BUILDING DEVELOPMENT LOCATION.
3. CURRENT APPROVED ACCESS TO OLD PROVIDENCE ROAD WILL BE ELIMINATED, AND THE NEW BUILDING WILL BE SERVICED BY THE WAY OF EXISTING DRIVEWAY.
4. PARKING WILL BE PROVIDED TO MEET OR EXCEED ORDINANCE REQUIREMENTS.
5. SIGNAGE MAY BE PERMITTED AS ALLOWED BY THE CITY OF CHARLOTTE ZONING ORDINANCE.
6. THE PETITIONER WILL DEDICATE ADDITIONAL RIGHT-OF-WAY ON OLD PROVIDENCE ROAD EQUAL TO 35 FEET FROM CENTER LINE WITH SUCH DEDICATION TO OCCUR PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS.
7. STORM WATER CONTROLS WILL BE PROVIDED IN ACCORDANCE WITH THE CITY OF CHARLOTTE STORM WATER SERVICES DEPARTMENT.
8. FIRE HYDRANTS WILL BE LOCATED WITHIN 750 FEET OF ANY NEW BUILDING.

9. PRIOR TO ANY GRADING OR CONSTRUCTION ON SITE, BARRICADES SHALL BE ERECTED AROUND EXISTING TREES IDENTIFIED AS REMAINING TO PROTECT THEM DURING CONSTRUCTION.



**Homewood
Residence**
at Carriage Club

Charlotte, North Carolina

ESa Earl Swenson, Architect
200 West End Avenue, Vanderbilt Plaza
Nashville, Tennessee 37203