

**CHARLOTTE - MECKLENBURG**  
**PLANNING COMMISSION**

**INTER - OFFICE COMMUNICATION**

**DATE:** April 26, 2000

**TO:** Robert Brandon  
Zoning Administrator

**FROM:** Martin R. Cramton, Jr.  
Planning Director

**SUBJECT:** Administrative Approval for Petition No. 97-76 by The Prado, LLC , for a Bob Evans restaurant.

Attached is a specific plan, with elevations for a Bob Evans on a portion of the above site. The Planning Director originally denied an administrative approval due to the roof not being pitched as required by the conditional plan. The Zoning Committee of the Planning Commission approved this plan, through an appeal, at its April 25th meeting. Please use this plan when evaluating requests for building permits and certificates of occupancy.

REVISIONS	DATE	BY	DESCRIPTION
1	11 JAN 2000	MS	SET CLOUDED AREAS
2			
3			
4			
5			

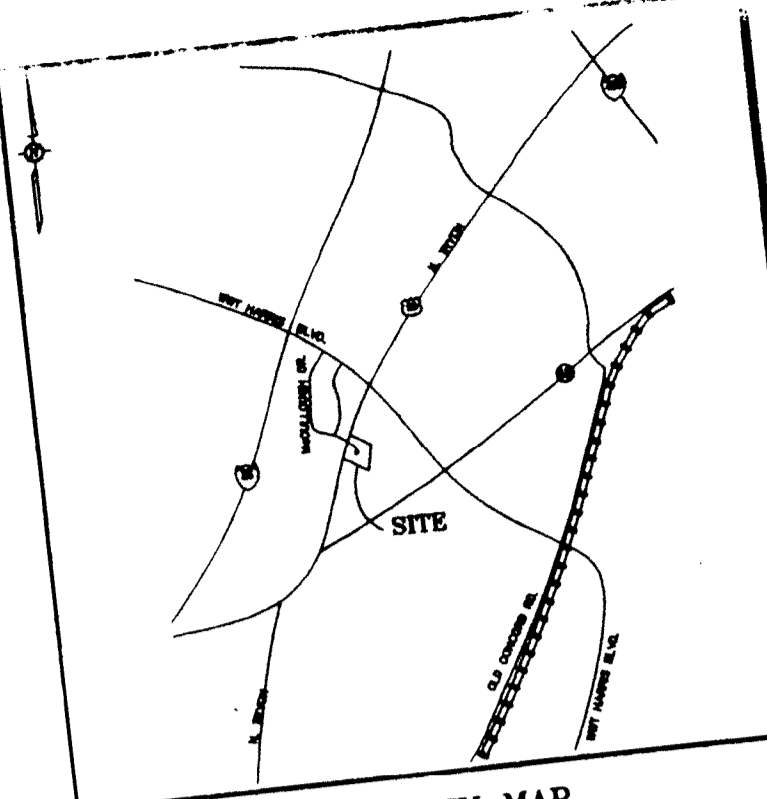
PRELIMINARY SITE SUBMITTAL  
22 NOV 1999

FINAL SITE SUBMITTAL  
11 FEB 2000

HEALTH DEPARTMENT SUBMITTAL  
15 NOV 1999

BLDG. DEPARTMENT SUBMITTAL  
15 NOV 1999

BD DOCUMENTS/CONSTRUCTION



**EXISTING SYMBOL LEGEND**

- IPS ● IRON PIPE SET
- IPF ● IRON PIPE FOUND
- SS ● SANITARY SEWER MANHOLE
- W ● WELL
- GUY WIRE
- UTILITY POLE
- CHAIN LINK FENCE
- SS SANITARY SEWER LINE
- OHU OVERHEAD UTILITIES
- EX. WOOD LINE
- BORE HOLE

**BOB EVANS RESTAURANT PARKING REQUIREMENTS**  
 BOB EVANS RESTAURANT = 30 EMPLOYEES / 158 SEAT  
 BOB EVANS RESTAURANT = 5578 SQ. FT.  
 1 SPACE / 75 SQ. FT. = 75 SPACES  
 75 TOTAL SPACES REQUIRED  
 102 TOTAL SPACES PROVIDED  
 15 COMPACT SPACES  
 82 REGULAR SPACES  
 9 HANDICAP SPACES PROVIDED  
 4 HANDICAP SPACES REQUIRED

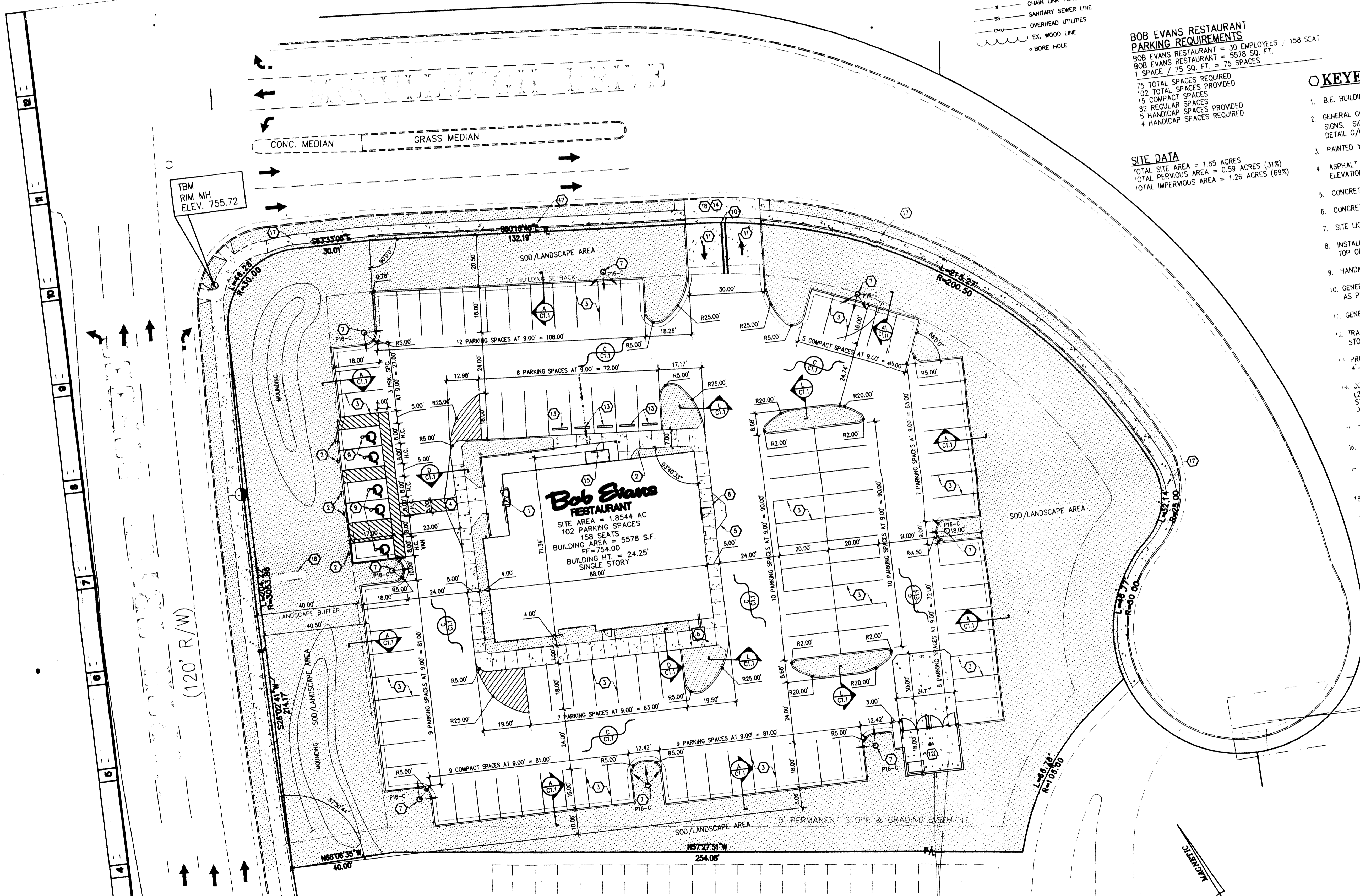
**SITE DATA**  
 TOTAL SITE AREA = 1.85 ACRES  
 TOTAL PAVEMENT AREA = 0.59 ACRES (31%)  
 TOTAL IMPERVIOUS AREA = 1.26 ACRES (69%)

**KEYED NOTES**

1. B.E. BUILDING SIGNS - VERIFY SIZE WITH B.E. REPRESENTATIVE.
2. GENERAL CONTRACTOR TO PROVIDE AND INSTALL (5) POSTS FOR HANDICAP PARKING SIGNS. SIGNS PROVIDED BY CONTRACTOR TO MEET LOCAL REQUIREMENTS. SEE DETAIL G/C2.1.
3. PAINTED YELLOW STRIPING (TYPICAL).
4. ASPHALT HANDICAP RAMP. WARP ASPHALT UP TO TOP OF CURB. SEE SHEET C2 FOR ELEVATIONS. MAX 1:50.
5. CONCRETE RAMP TO SERVICE DOOR. SEE DETAIL G/C1.1. FLAIR SIDE MAXIMUM 10:1.
6. CONCRETE TRANSFORMER PAD AND POSTS PER LOCAL CONTRACTOR. SEE DETAIL A/C2.1.
7. SITE LIGHTS, CONTROLS, AND POWER BY GENERAL CONTRACTOR. SEE DETAIL A/C2.1.
8. INSTALL 4" SQ. CONCRETE FILLED STEEL POST WITH RUBBER BUMPER AND HOLDER. TOP OF POST AT 2'-0" A.F.F.. STOP DOOR AT 90° POSITION.
9. HANDICAP PARKING SYMBOL. SEE DETAIL H/C2.1.
10. GENERAL CONTRACTOR SHALL PROVIDE 20' OF PAINTED DOUBLE YELLOW STRIPING AS PER CITY STANDARDS.
11. GENERAL CONTRACTOR SHALL PROVIDE A PAINTED ARROW, AS PER CITY STANDARDS.
12. TRASH ENCLOSURE. SEE SHEET C1.2 FOR DETAILS A/C1.2 THRU J/C1.2, WHICH INCLUDES STORAGE SHED DETAIL.
13. PROVIDE 6' LONG CONCRETE BUMPER BLOCKS. SECURE WITH (2) REINFORCING RODS, 4'-0" LONG AND PAINT YELLOW.
14. CONTRACTOR SHALL INSTALL A COMMERCIAL DROP CURB TYPE II DRIVEWAY WITH PLANTING STRIP (2'-6" CURB AND GUTTER) AS PER CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS, STD. NO. 10.25B AND 10.26, SEE SHEET C1.1. APPROACH IS TO MEET AND MATCH ELEVATION OF EXISTING PAVING.
15. "CARRY HOME KITCHEN" BUILDING SIGN. VERIFY SIZE WITH B.E. REPRESENTATIVE.
16. BE MONUMENT SIGN 7' HIGH, 50 SQUARE FEET, BRICK BASE. VERIFY LOCATION WITH B.E. REPRESENTATIVE.
17. PROPOSED 4' WIDE CONCRETE SIDEWALK PER CITY STANDARDS. CONTRACTOR TO INSTALL CURB RAMPS AT ALL DRIVES PER LOCAL AND/OR ADA STANDARDS.
18. 8" DEEP CONCRETE APPROACH WITH 6x6 W1.4 X W1.4 W/M ALL WORK IS TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING REGULATIONS.

**NOTE:**

- (A) BUILDING AND PARKING SPACES ARE PARALLEL AND PERPENDICULAR TO PROPERTY LINE AND RIGHT-OF-WAY LINE LABELED, S 26°02'41" W (CHORD BEARING) AND S 60°16'46" E AS TAKEN FROM THE SURVEY.
- (B) ALL EXISTING CONDITIONS, TOPOGRAPHY, UTILITIES IS TAKEN FROM A SURVEY OF LAND SITUATED IN THE CITY OF CHARLOTTE, COUNTY OF MECKLENBURG, AND STATE OF NORTH CAROLINA, BY AIKEN & YELLES ASSOCIATES, P.A. 3755 BENSON DRIVE, RALEIGH, NORTH CAROLINA, 27609. PH: (919) 877-9979 FX:(919) 877-9979.
- (C) CONTRACTOR IS RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- (D) 1/2" EXPANSION JOINTS ON THE CONCRETE SIDEWALK SHALL OCCUR AT A MIN. 20' MAX. OF 25' INTERVALS. ANYPLACE THE SIDEWALK COMES INTO CONTACT WITH THE BUILDING, THERE SHALL BE A 1/2" EXPANSION JOINT.
- (E) ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.
- (F) UTILITY LOCATIONS ARE APPROXIMATE, BASED ON LOCATION OF ABOVE GROUND APPURTENANCES, AND AS-BUILT MAPS BY OTHERS. UNDERGROUND UTILITIES NOT SHOWN HEREON MAY EXIST.
- (G) NO PORTION OF THE PROPERTY SHOWN LIES WITHIN THE BOUNDARIES OF F.E.M.A. MAPPED FLOOD HAZARD AREA.
- (H) THIS PROPERTY IS ZONED B1, TAX ID# 049-331-37. PROPOSED USE OF THIS PROPERTY IS A RESTAURANT.
- (I) ALL ROAD IMPROVEMENTS AT McCULLOUGH DRIVE TO BE COORDINATED WITH ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- (J) APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITION'S WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- (K) THE (CITY OF CHARLOTTE/MECKLENBURG COUNTY) ENGINEERING DEPARTMENT HAS NOT REVIEWED THE STRUCTURAL STABILITY OF ANY RETAINING WALLS ON THE SITE AND DOES NOT ASSUME RESPONSIBILITY FOR THEM.
- (L) NONSTANDARD ITEMS (I.E.: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.

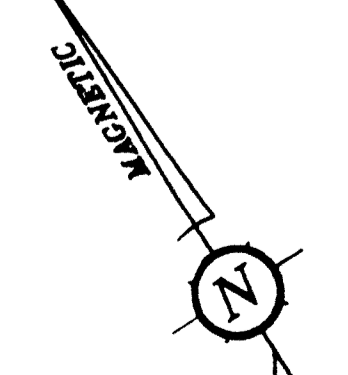


TBM RIM MH ELEV. 755.72

(120' R/W)

OWNER: ROCHESTER HOSPITAL PARTNERS  
TAX ID# 049-331-36

DUMPSTER ENCLOSURE WITH GATES



ms consultants, inc.  
engineers, architects, planners  
2221 SHROCK ROAD, COLUMBUS, OHIO 43229-1547  
(614) 898-7100 (614) 898-7570

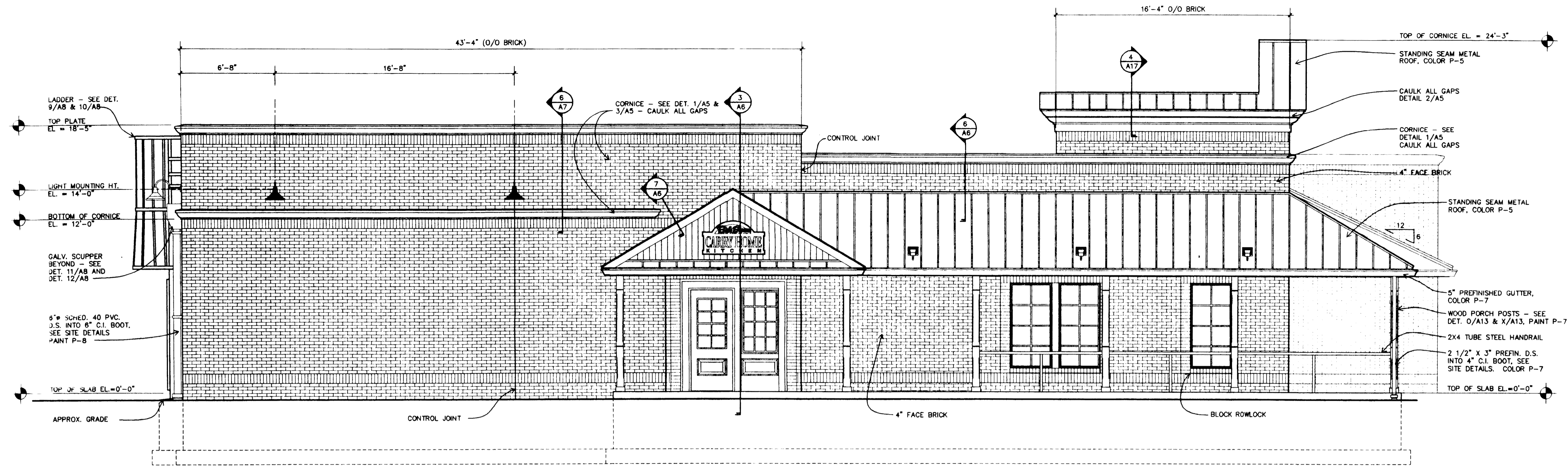
FT. 29 AND McCULLOUGH DRIVE  
CHARLOTTE, NC

DATE: 02/26/2000  
BY: MARTIN L. CASALE, JR.  
ATTACHED APPROVAL

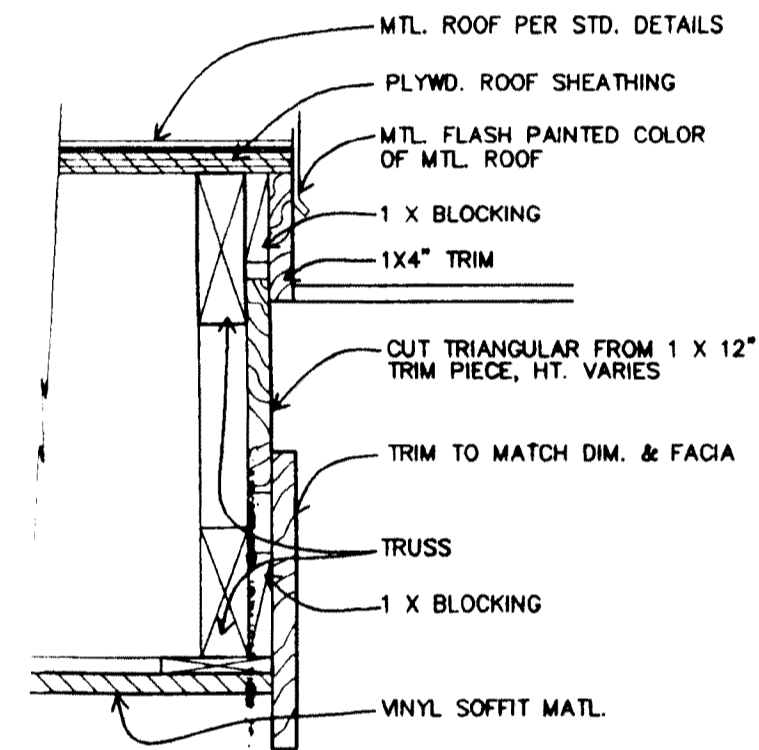
OWNER/DEVELOPER  
BOB EVANS FARMS, INC.  
3776 SOUTH HIGH STREET  
COLUMBUS, OHIO 43207  
PHONE: (614) 491-2225  
FAX: (614) 492-4990

ARCHITECT/ENGINEER  
MS CONSULTANTS, INC.  
2221 SHROCK ROAD  
COLUMBUS, OHIO 43229  
PHONE: (614) 898-7100  
FAX: (614) 898-7570

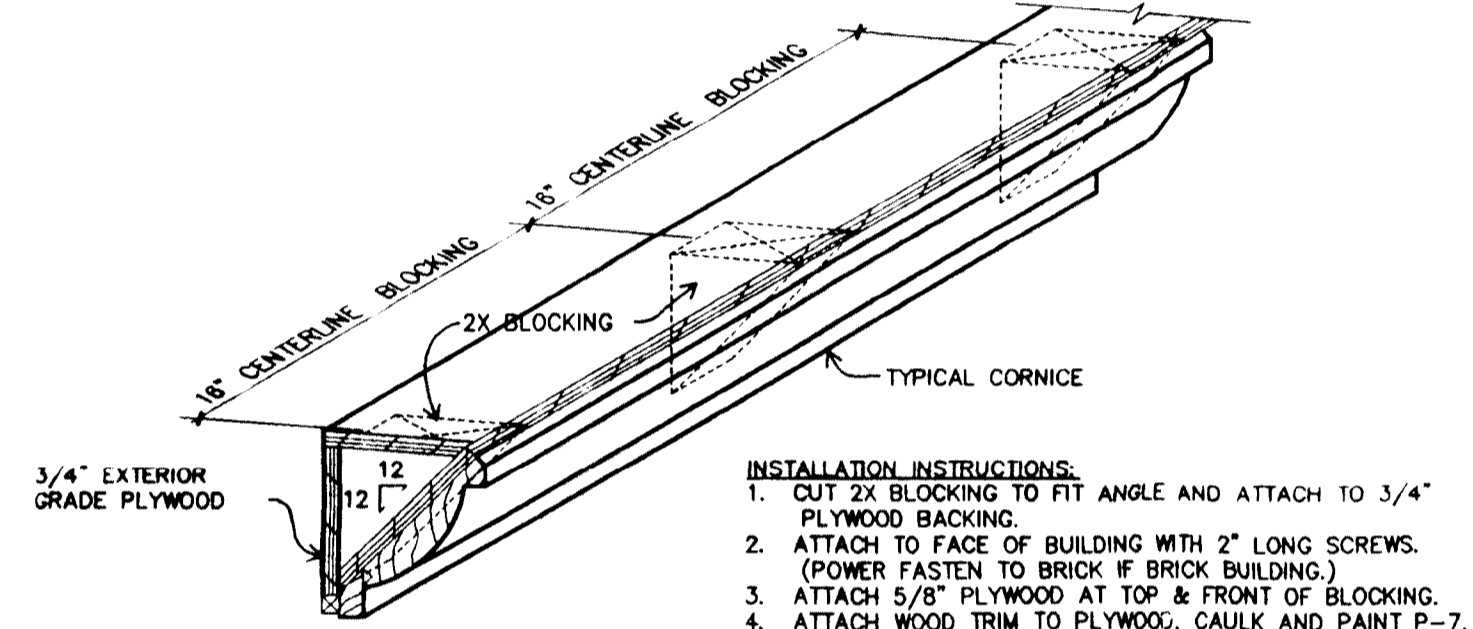
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PLOT SCALE: 48"  
mm  
A04-155.DWG.DWG  
1 DECEMBER 1998  
1998



**LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

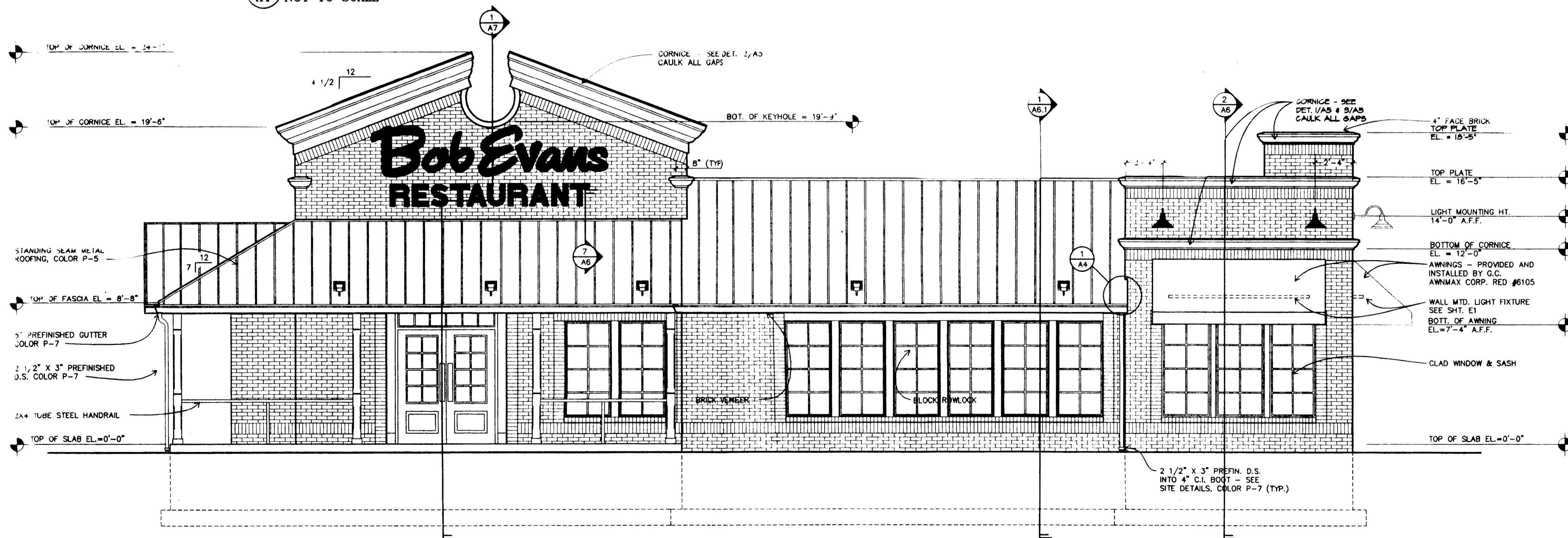


**1 GABLE END DETAIL**  
A4 NOT TO SCALE



**CORNICE INSTALLATION DETAIL**  
SCALE: 1 1/2" = 1'-0"

- INSTALLATION INSTRUCTIONS:**
- CUT 2X BLOCKING TO FIT ANGLE AND ATTACH TO 3/4" PLYWOOD BACKING.
  - ATTACH TO FACE OF BUILDING WITH 2" LONG SCREWS. (POWER FASTEN TO BRICK IF BRICK BUILDING.)
  - ATTACH 5/8" PLYWOOD AT TOP & FRONT OF BLOCKING.
  - ATTACH WOOD TRIM TO PLYWOOD, CAULK AND PAINT P-7.



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

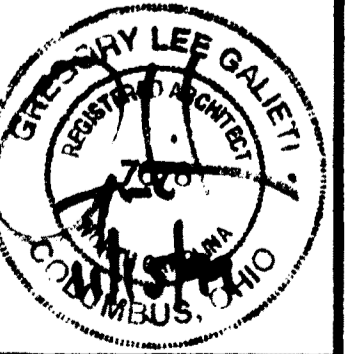
REVISIONS	1	2	3	4	5

PRELIMINARY SITE SUBMITTAL  
8 OCT 1999  
FINAL SITE SUBMITTAL  
15 NOV 1999  
HEALTH DEPARTMENT SUBMITTAL  
15 NOV 1999  
BLDG DEPARTMENT SUBMITTAL  
15 NOV 1999  
BID DOCUMENTS/CONSTRUCTION

ms consultants, inc.  
engineers, architects, planners  
2221 Sarnock Road, Columbus, Ohio 43228-5677  
PHONE (614) 898-7700 FAX (614) 898-7570

FT. 29 + McCOLLOUGH DRIVE  
CHARLOTTE, NC

**Bob Evans**  
RESTAURANT



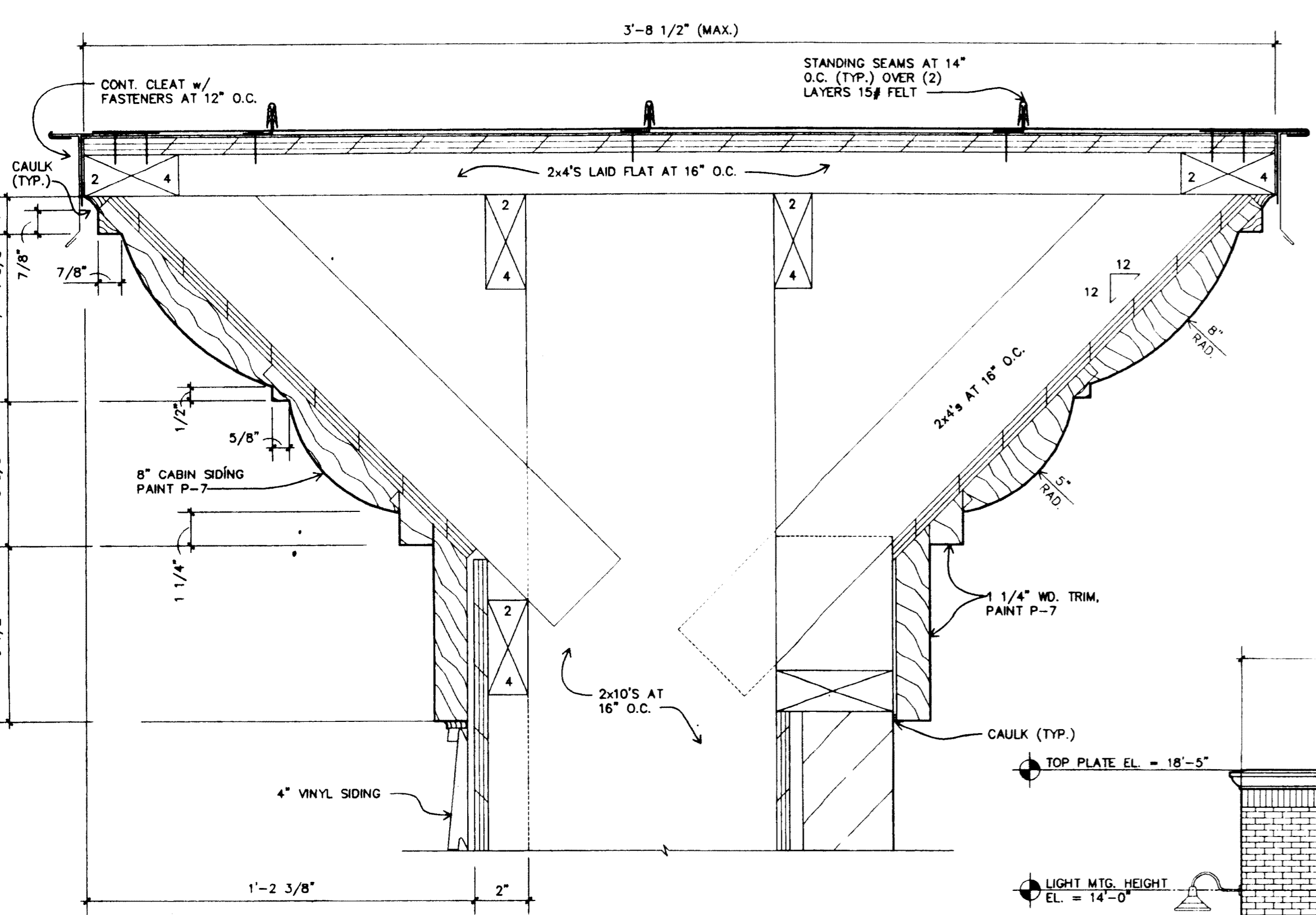
MS PROJECT NUMBER  
12261312

**A-4**

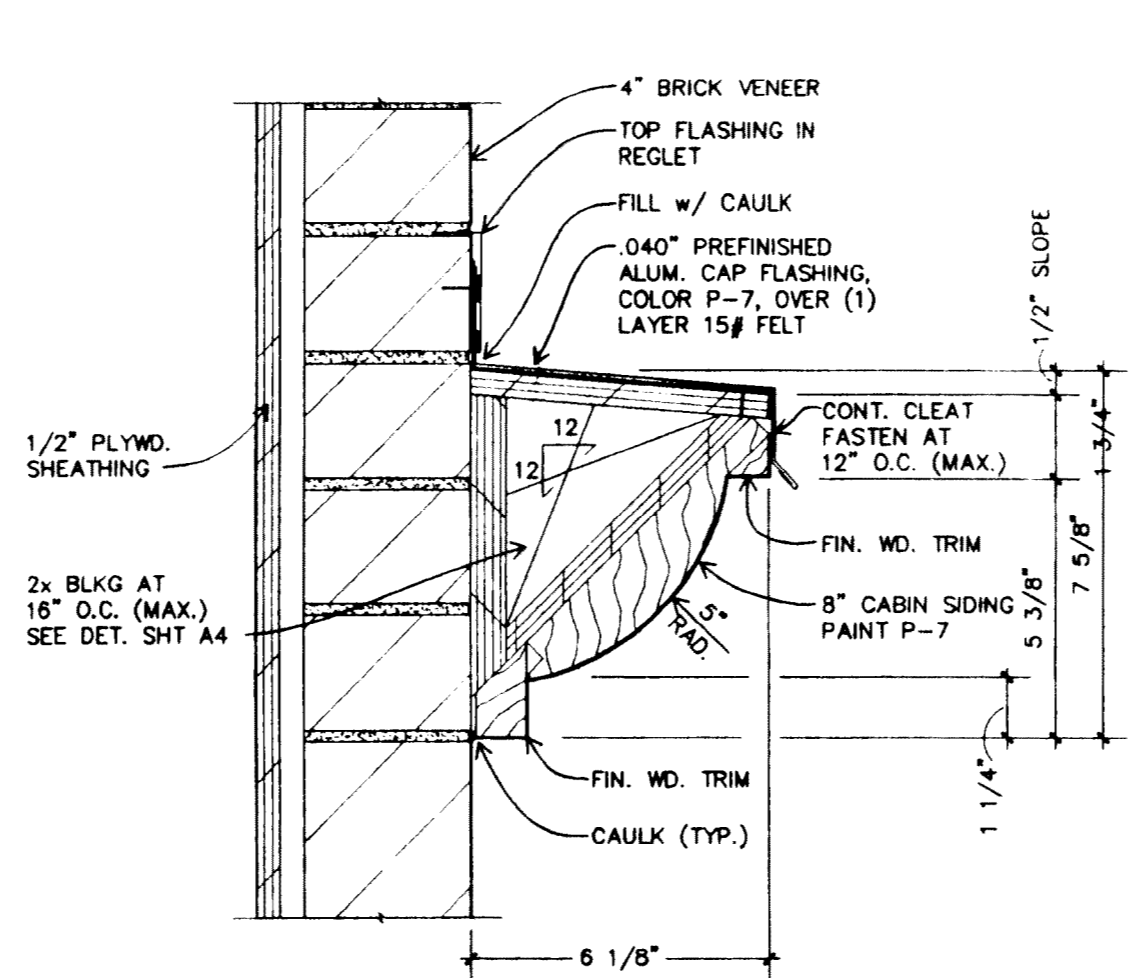
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS

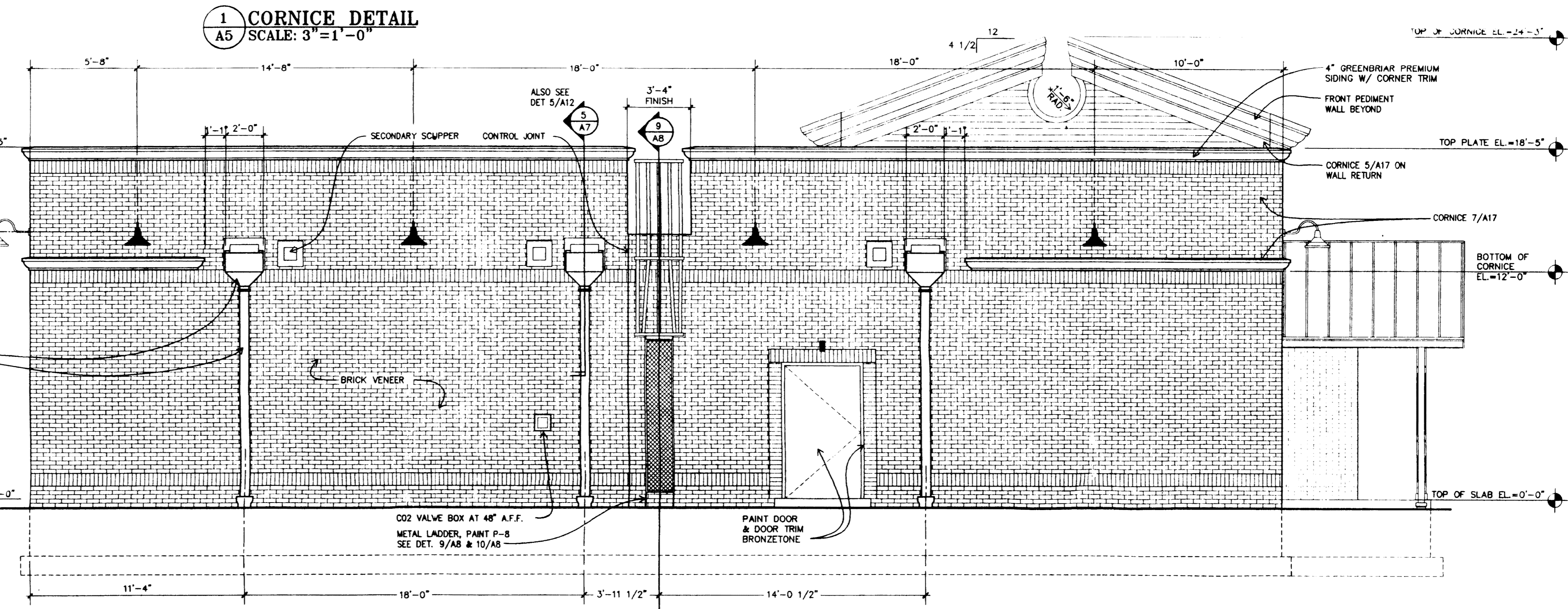
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1



**2 CORNICE DETAIL**  
A5 SCALE: 3"=1'-0"



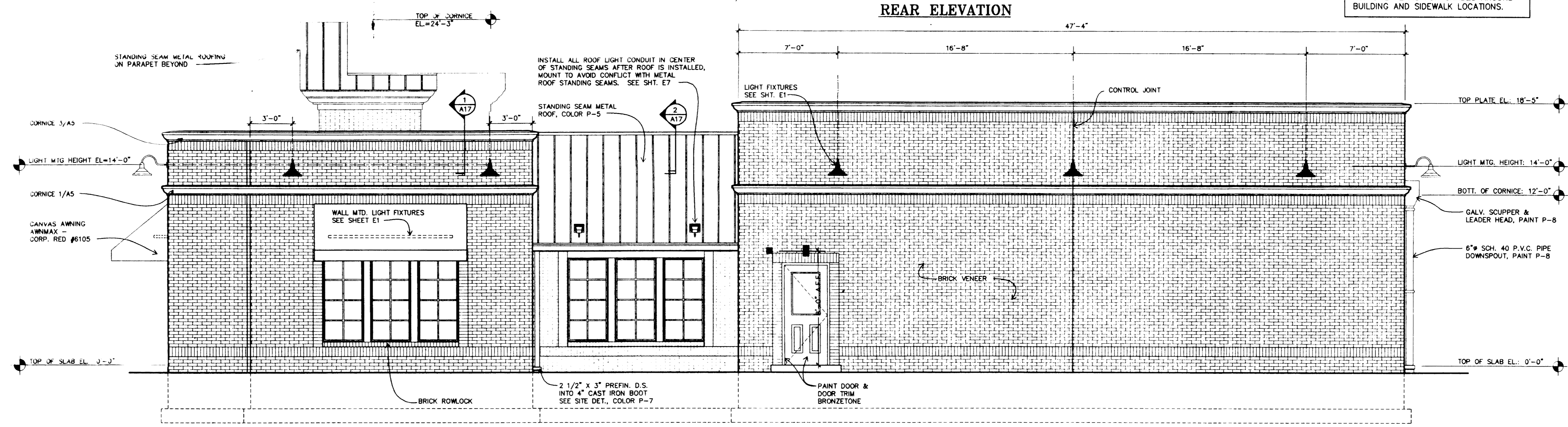
**3 CORNICE FLASHING DETAIL**  
A5 SCALE: 3"=1'-0"



SCALE: 1/4"=1'-0"

**REAR ELEVATION**

NOTE: NO STEP AT DOORS!  
SLOPE WALK AWAY FROM BUILDING.  
SEE SITE PLANS FOR GRADES AROUND  
BUILDING AND SIDEWALK LOCATIONS.

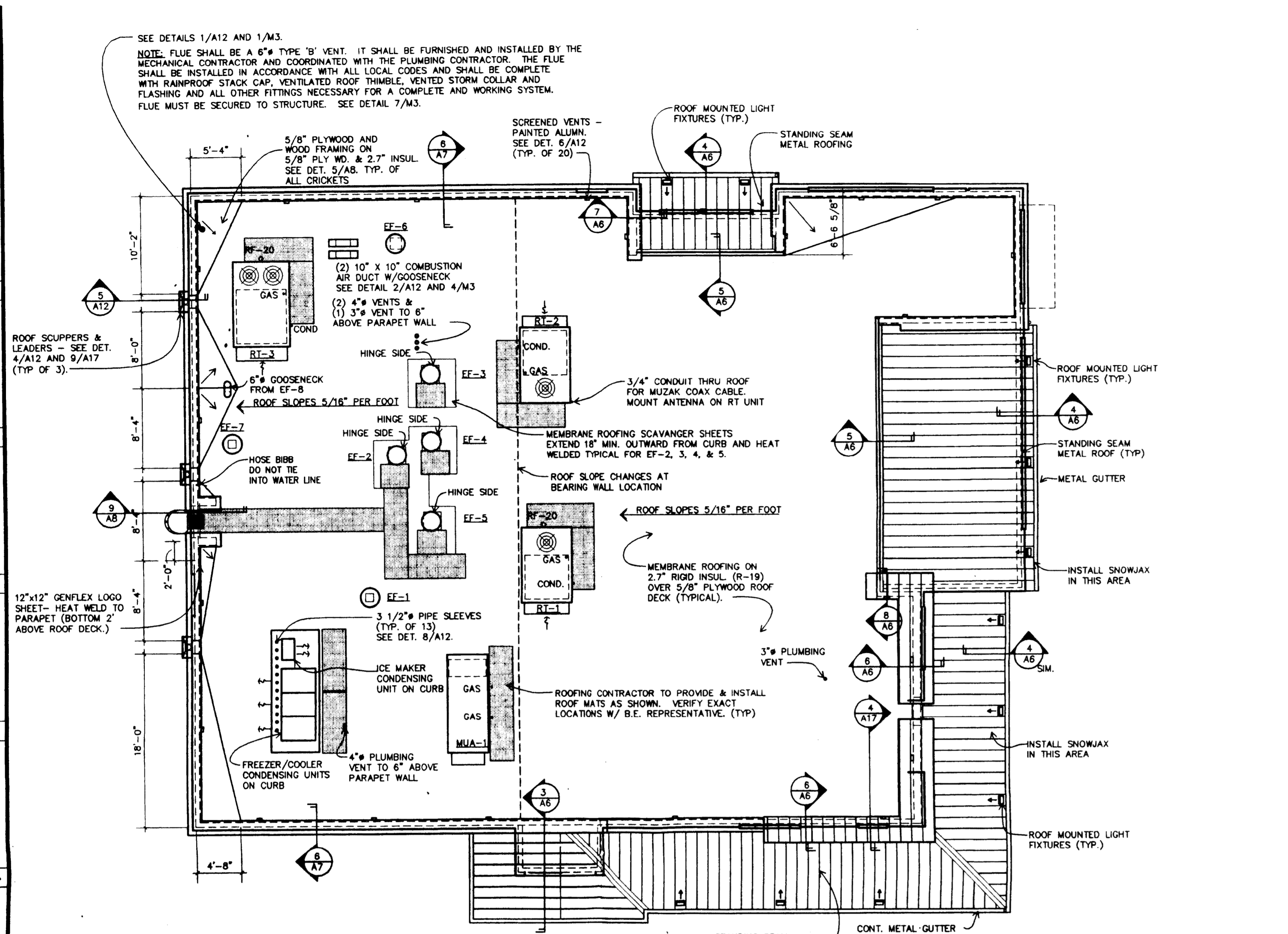


**RIGHT SIDE ELEVATION**  
SCALE: 1/4"=1'-0"

REVISIONS	1	2	3	4	5	
	PRELIMINARY SITE SUBMITTAL 8 OCT 1999					
	FINAL SITE SUBMITTAL 15 NOV 1999					
	HEALTH DEPARTMENT SUBMITTAL 15 NOV 1999					
	BLDG. DEPARTMENT SUBMITTAL 15 NOV 1999					
BID DOCUMENTS/CONSTRUCTION						
100 CARRYOUT						
Prepared by <b>ms consultants, inc.</b> engineers, architects, planners 2221 Belmont Road, Columbus, Ohio 43228-9477 PHONE: (614) 898-7700 FAX: (614) 898-3770						
<b>Bob Evans</b> RESTAURANT						
FT. 29 + McCOLLOUGH DRIVE CHARLOTTE, NC						
SCALE: 1/4" = 1'-0"						
EXTERIOR ELEVATIONS						
GREGORY LEE GALETTI REGISTERED ARCHITECT 1000 W. MAIN ST. COLUMBUS, OHIO						
MS PROJECT NUMBER 12261312						
<b>A-5</b>						

NOVEMBER 12 1999 14:35  
 25 DEC 1998 REV 14:35  
 2 CARRYOUT ROOF  
 1 NOVEMBER 1998  
 1 NOVEMBER 1998  
 1 NOVEMBER 1998

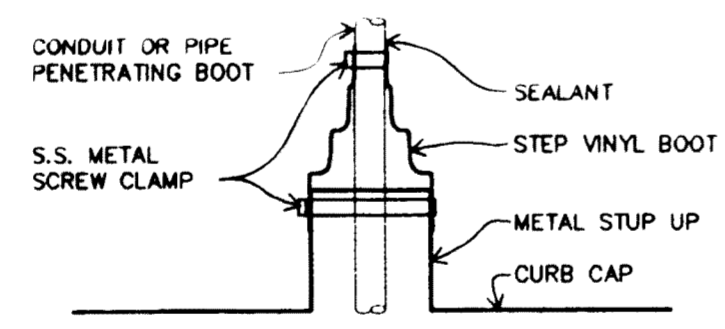
1 NOVEMBER 1988 ISSUED  
 2 3 MAY 1989 REVISED  
 3 8 FEB 1989 REVISED  
 4 18 MAR 1988 REVISED  
 5 19 APR 1988 REVISED  
 6 SECTION CUTS  
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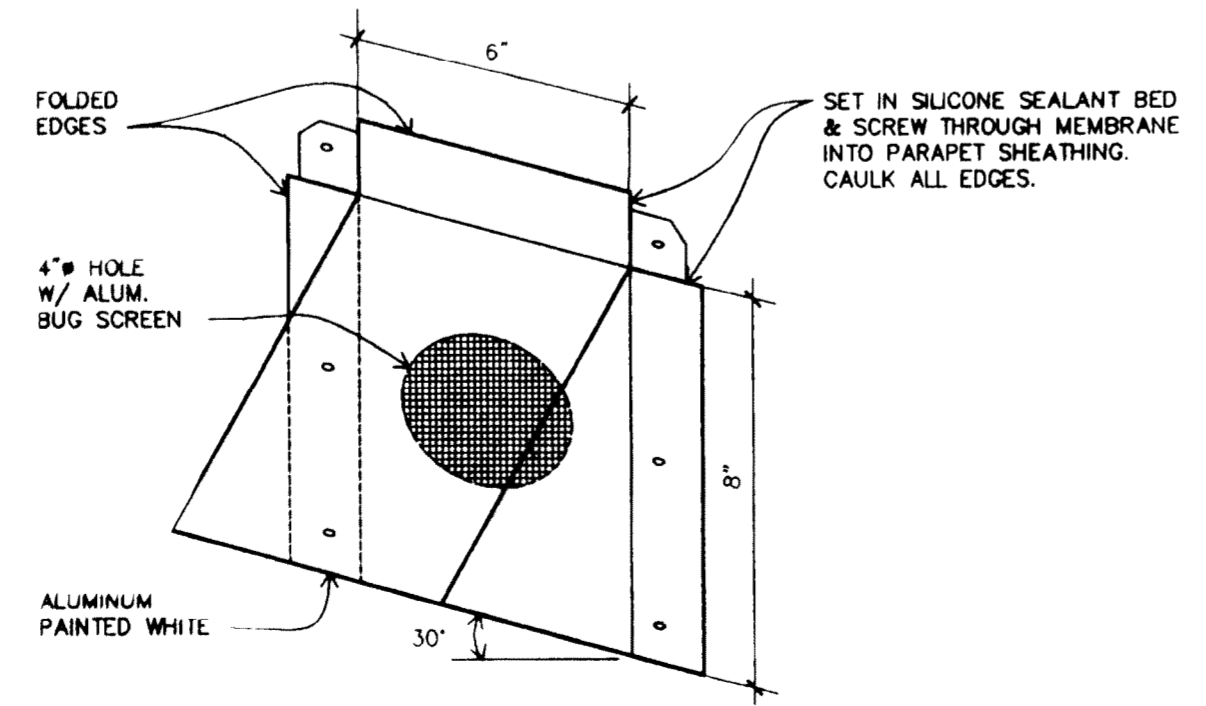
**ROOF PLAN**  
 SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

- ALL EXPOSED GAS LINES ON ROOF TO BE PAINTED (P-12) YELLOW.
- SIDING CONTRACTOR IS TO INSURE NOT TO DAMAGE MEMBRANE ROOFING WHEN INSTALLING PARAPET SIDING.
- ROOFING CONTRACTOR IS TO PROVIDE & INSTALL 90 L.F. OF GENFLEX RM WALKWAY PADS (BUTT AGAINST THE ROOF CURBS) AS SHOWN. CONTINUOUS HOT WELD EDGES TO FIELD SHEET. VERIFY EXACT LOCATIONS WITH B.E. REPRESENTATIVE. (TYPICAL) CUT AND PLACE AS REQUIRED TO PREVENT PONDING.
- EACH FIRE-STOPPED AREA IS TO BE VENTED. TYPICAL SEE DETAIL 6/A16.
- GENERAL CONTRACTOR IS TO MOUNT (2) ICE MACHINE CONDENSING UNITS ON PRESSURE TREATED 4X4'S. UNITS ARE SUPPLIED BY OWNER.
- SNO-JAX TO BE PROVIDED IN COOLER CLIMATES (NORTH OF N. CAROLINA, TENNESSEE, ARKANSAS) PER MANUFACTURER'S RECOMMENDATION. SECURE WITH SCREWS AND ADHESIVES. SNO-JAX ARE A PART OF THE ROOFING PACKAGE SUPPLIED BY GENFLEX ROOFING SYSTEMS. PROVIDE WHERE NOTED ON ROOF PLAN AND (2) ABOVE EACH ROOF LIGHT.
- ALL TAPERED INSULATION IS SUPPLIED WITH MEMBRANE ROOFING AND IS A PART OF THE ROOFING PACKAGE SUPPLIED BY GENFLEX ROOFING SYSTEMS.
- STORAGE SHED ON THE ROOF IS TO BE INSTALLED BY THE GENERAL CONTRACTOR. LOCATE SHED BEHIND THE KEYHOLE AND PLACE A ROOF MAT UNDER IT.



**8 BOOT FLASHING DETAIL**  
 A12/NO SCALE



**6 SCREEN VENT DETAIL**  
 A12/SCALE: 1/4" = 1'

**7 SNOW GUARD INSTALLATION**  
 A12/NO SCALE

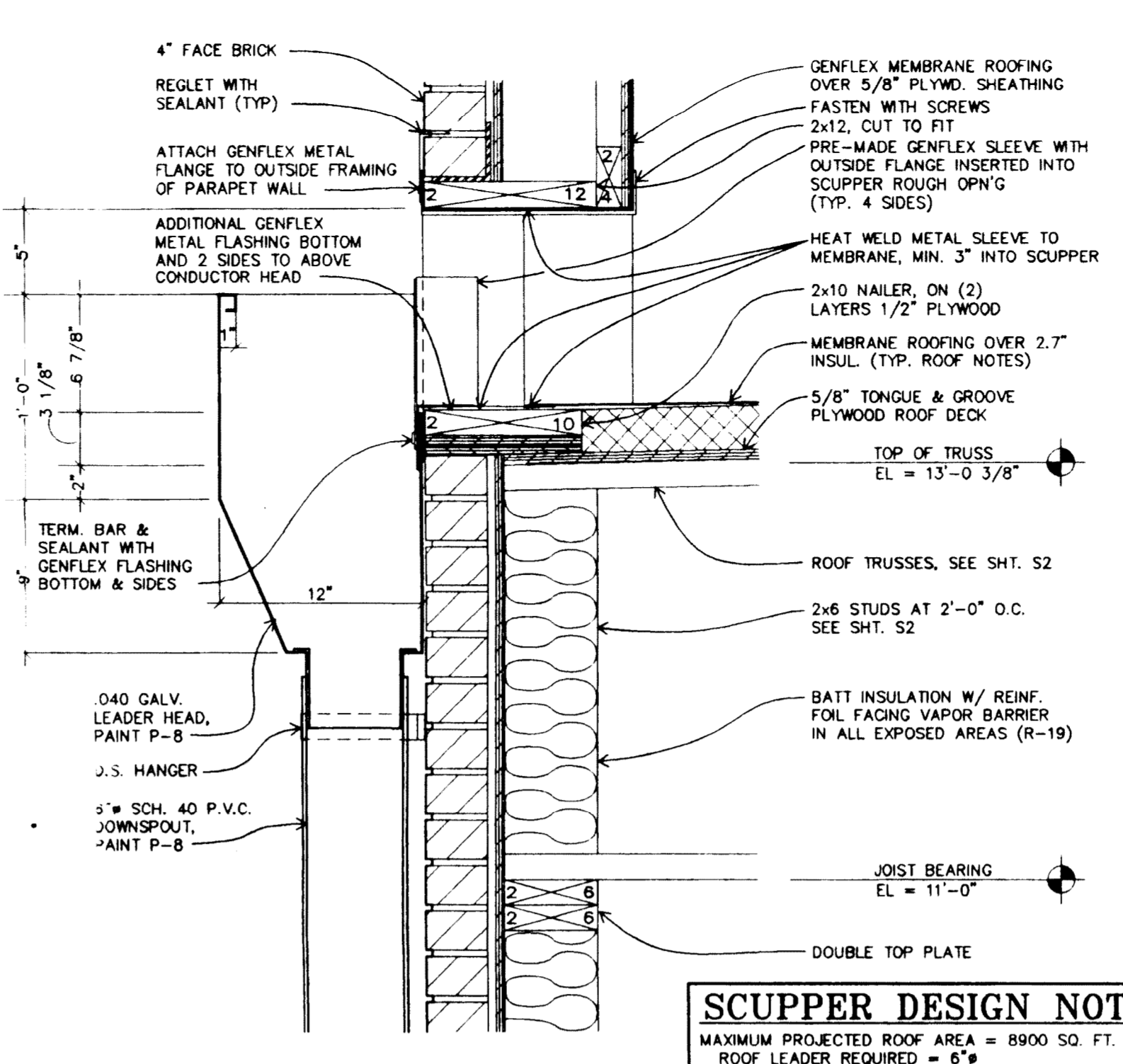
**CHARLOTTE, NORTH CAROLINA**  
 TABLE A101.2 - SCUPPER SIZING TABLE - ROOF AREA (SF)

HEAD (H) INCHES	PRIMARY RAINFALL = 3.2 IN/HR					
	4	6	8	12	16	20
1	340	520	700	1060	1420	2140
2	920	1430	1940	2880	3890	5000
3	1590	2530	3470	5340	7210	9080
4	2310	3750	5190	8080	10960	13840
5	3020	4960	6900	10400	14280	18120
6	3710	6360	8300	12400	17120	22000

HEAD (H) INCHES	SECONDARY RAINFALL = 6.6 IN/HR					
	4	6	8	12	16	20
1	170	250	340	520	690	1040
2	450	690	940	1430	1930	2920
3	770	1230	1680	2590	3500	4400
4	1120	1820	2520	3920	5310	6710
5	1480	2450	3450	5430	7410	9390
6	1800	3080	4370	6930	9500	12070

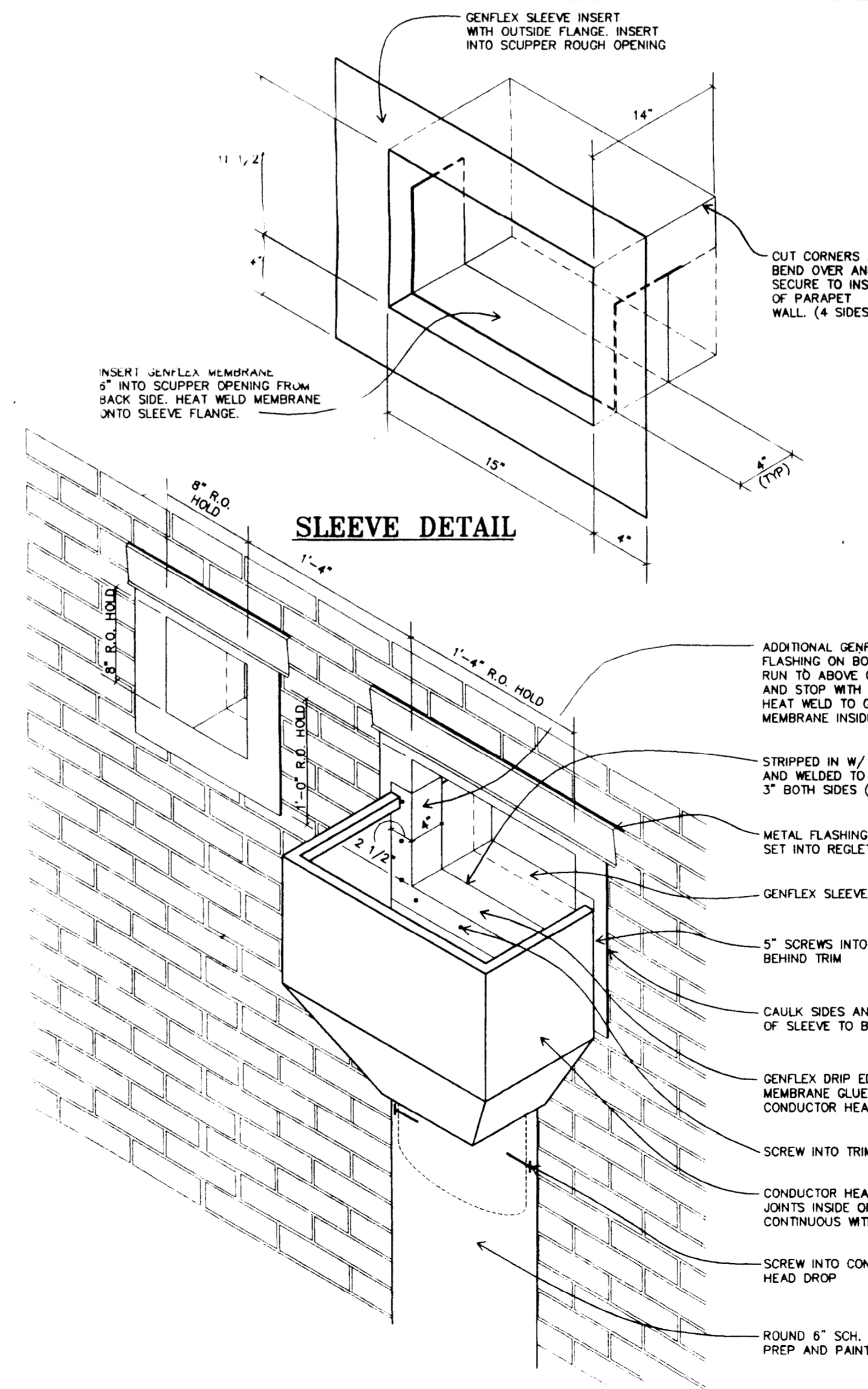
NOTES:  
 1. SECONDARY = EMERGENCY = OVERFLOW ROOF SCUPPER.  
 2. THE SECONDARY ROOF SCUPPER SHALL HAVE AN INVERT FROM 2" - 4" ABOVE THE PRIMARY ROOF SCUPPER INVERT PER SECTION 1507.4.3, VOLUME 1 - NCBCB.  
 3. NORMALLY, THERE IS ONE SECONDARY ROOF SCUPPER FOR EACH PRIMARY ROOF SCUPPER.  
 4. AFTER SELECTING THE SIZE OF THE SCUPPER FROM THE TABLE, ADD ONE INCH TO THE HEAD TO ASSURE AN OPEN AREA ABOVE THE HEAD.  
 EXAMPLE: PRIMARY SCUPPER FROM TABLES 12" x 6" THEREFORE, THE FINAL SIZE IS 12" x 7"



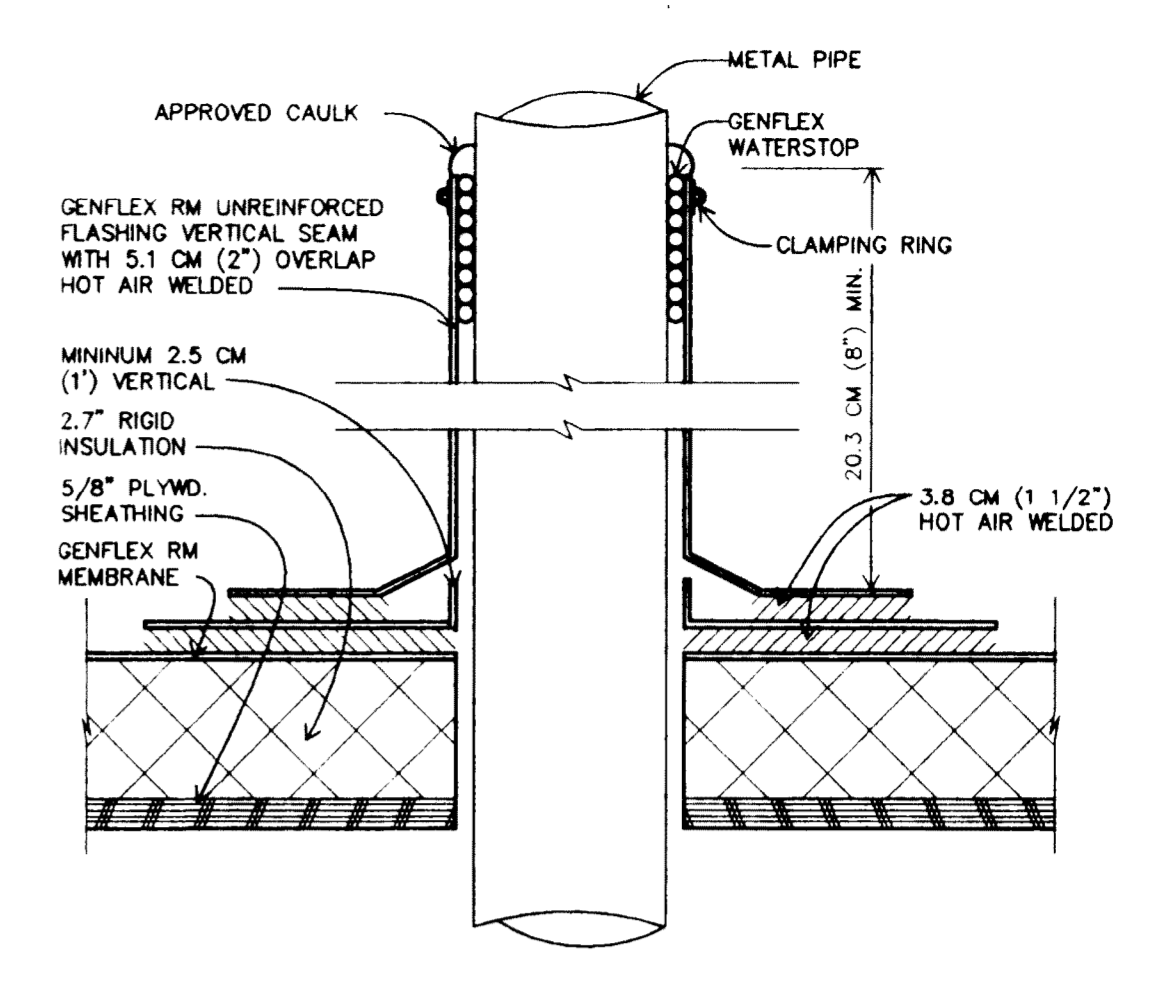
**5 SCUPPER DETAIL**  
 A12/SCALE: 1 1/2" = 1'-0"

**SCUPPER DESIGN NOTES**

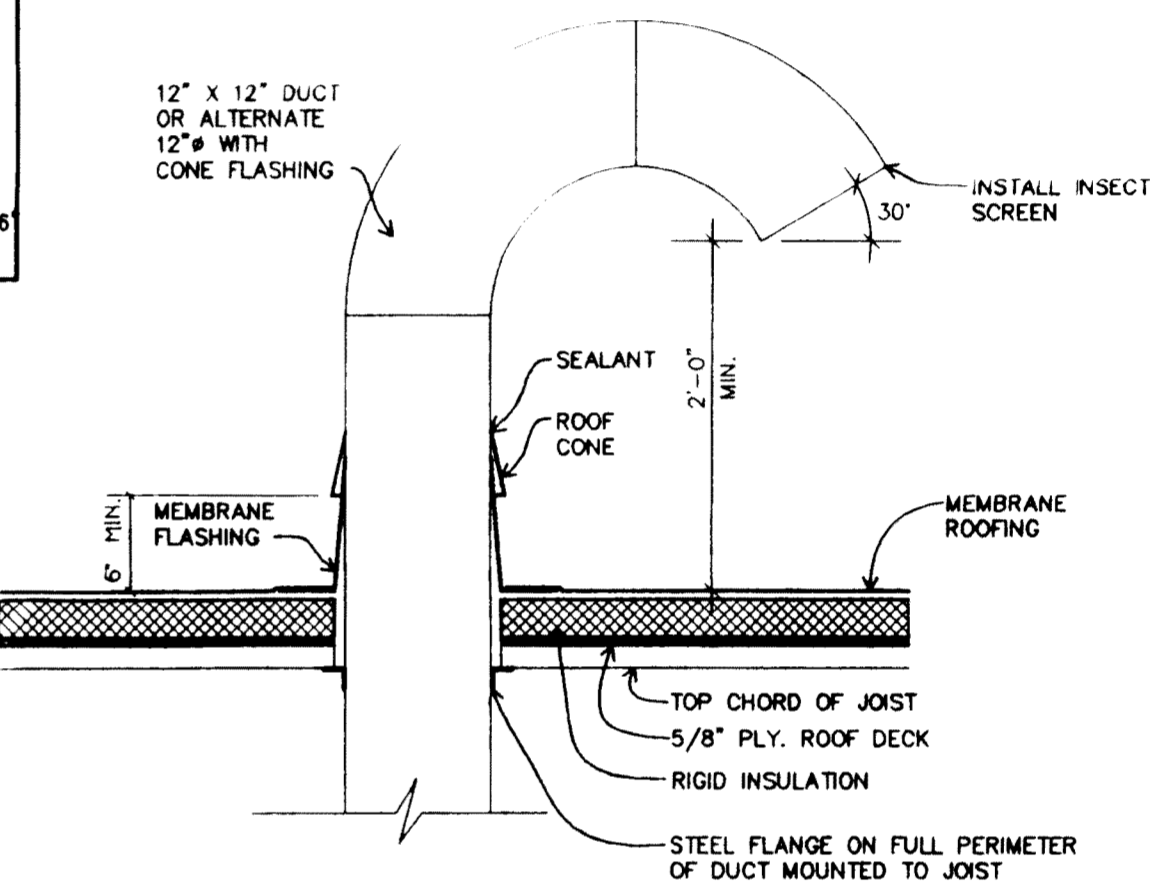
MAXIMUM PROJECTED ROOF AREA = 8900 SQ. FT.  
 ROOF LEADER REQUIRED = 6"  
 ROOF LEADER PROVIDED = (3) 6"  
 RAINFALL RATE = 4" PER HOUR  
 RAINFALL RATE FOR EMERGENCY SCUPPER = 6.6" PER HOUR USING A CORRECTION FACTOR OF 1.65  
 PRIMARY SCUPPER REQUIRED = (3) 6" x 4" OR (1) 12" x 5"  
 EMERGENCY SCUPPER REQUIRED = (3) 8" x 5" OR (1) 16" x 6"  
 EMERGENCY SCUPPER PROVIDED = (3) 8" x 8"



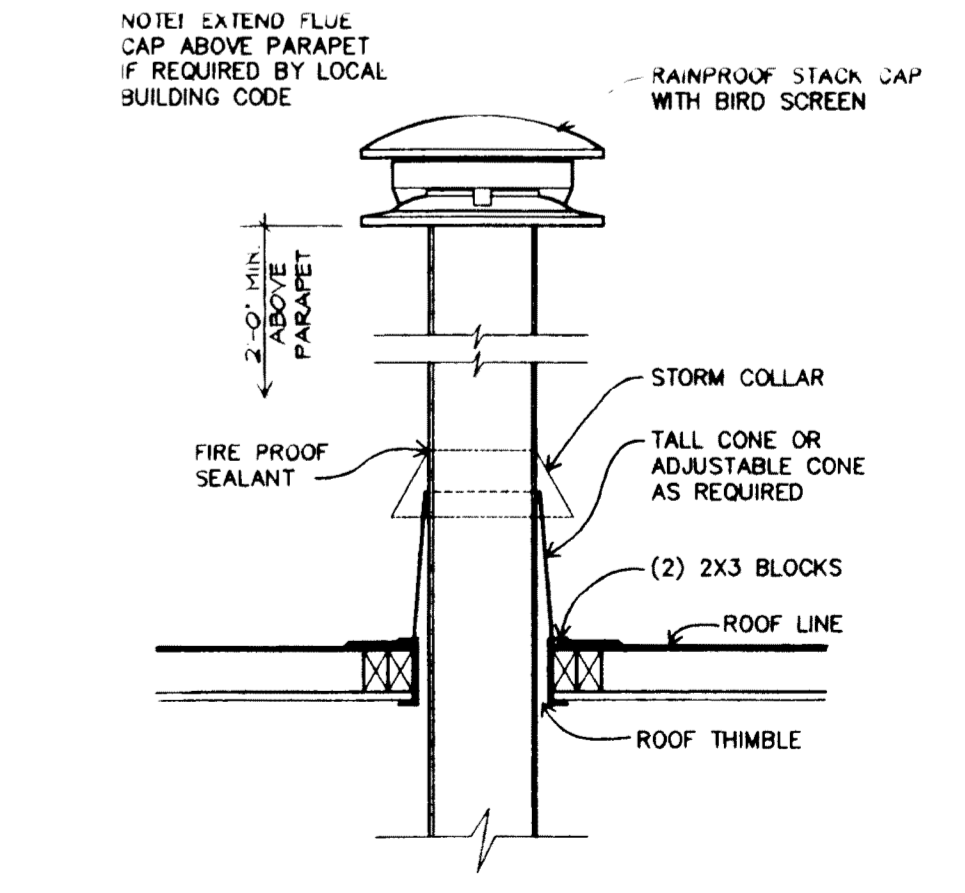
**4 SCUPPER ISOMETRIC**  
 A12/NO SCALE



**3 TYP. PIPE ROOF PENETRATION**  
 A12/SCALE: 3" = 1'-0"



**2 COMBUSTION AIR DUCT DETAIL**  
 A12/NO SCALE



**1 GAS FLUE DETAIL**  
 A12/NO SCALE

**REVISIONS**

NO.	DESCRIPTION
1	PRELIMINARY SITE SUBMITTAL 8 OCT 1989
2	FINAL SITE SUBMITTAL 15 NOV 1989
3	HEALTH DEPARTMENT SUBMITTAL 15 NOV 1989
4	BLDG. DEPARTMENT SUBMITTAL 15 NOV 1989
5	BD DOCUMENTS/CONSTRUCTION

ms consultants, inc.  
 engineers, architects, planners  
 2225 Soroach Road, Columbus, Ohio 43229-5447  
 PHONE: (614) 886-7200 FAX: (614) 886-5770

Prepared By: ms consultants, inc.

FT. 29 + McCOLLOUGH DRIVE  
 CHARLOTTE, NC

AS NOTED

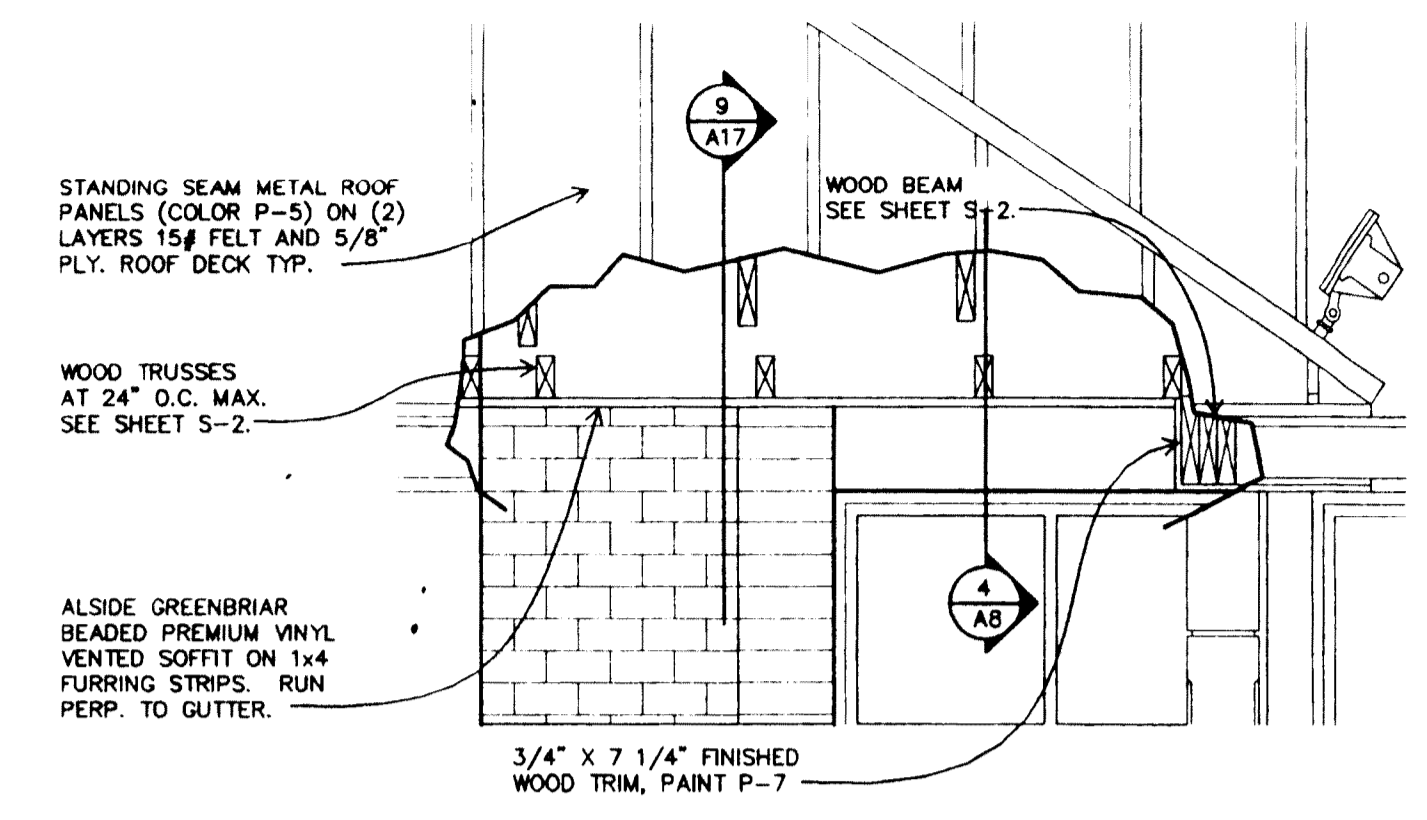
**Bob Evans RESTAURANT**

**ROOF PLAN AND DETAILS**

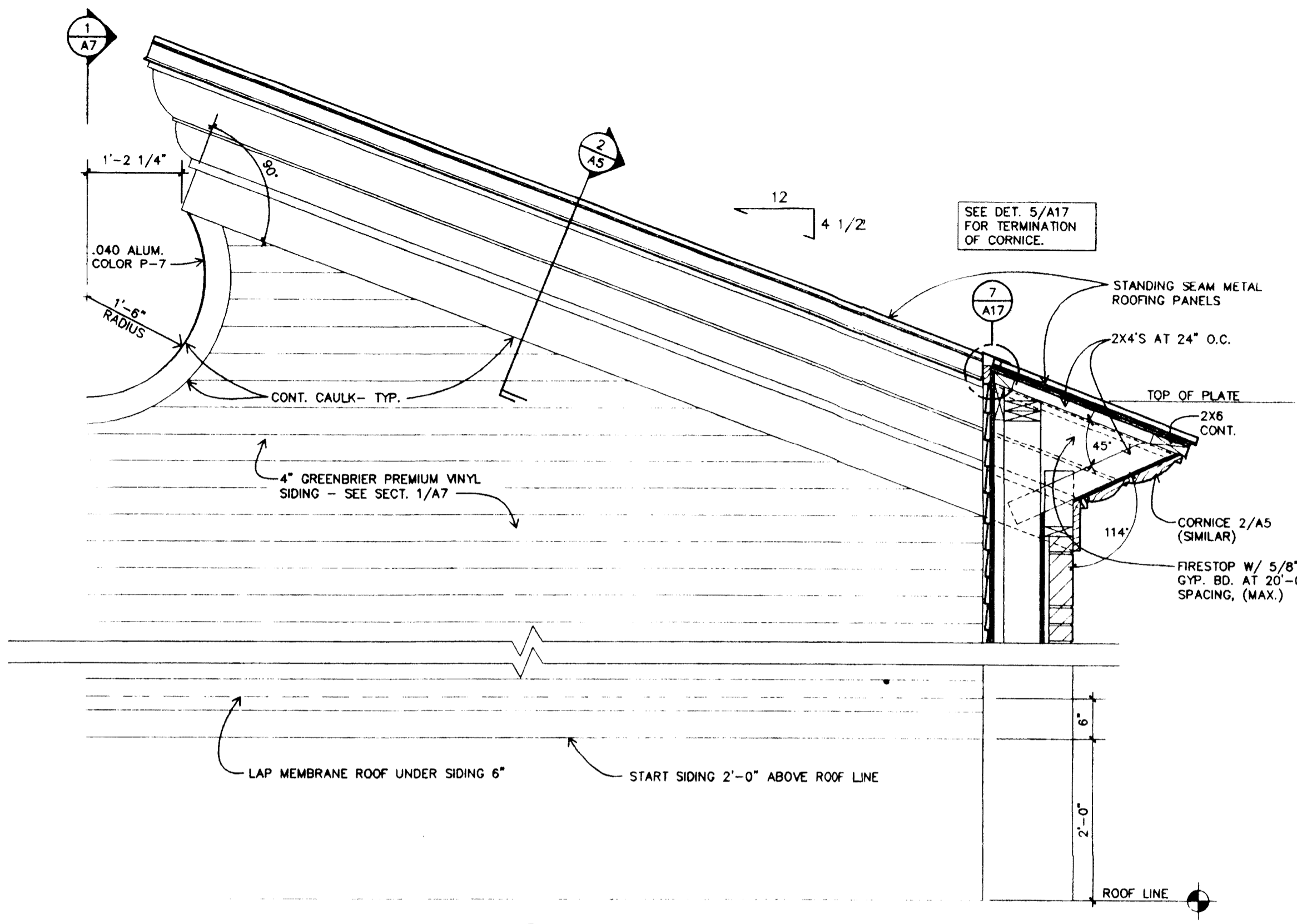
PROJECT NUMBER 12261312

**A-12**

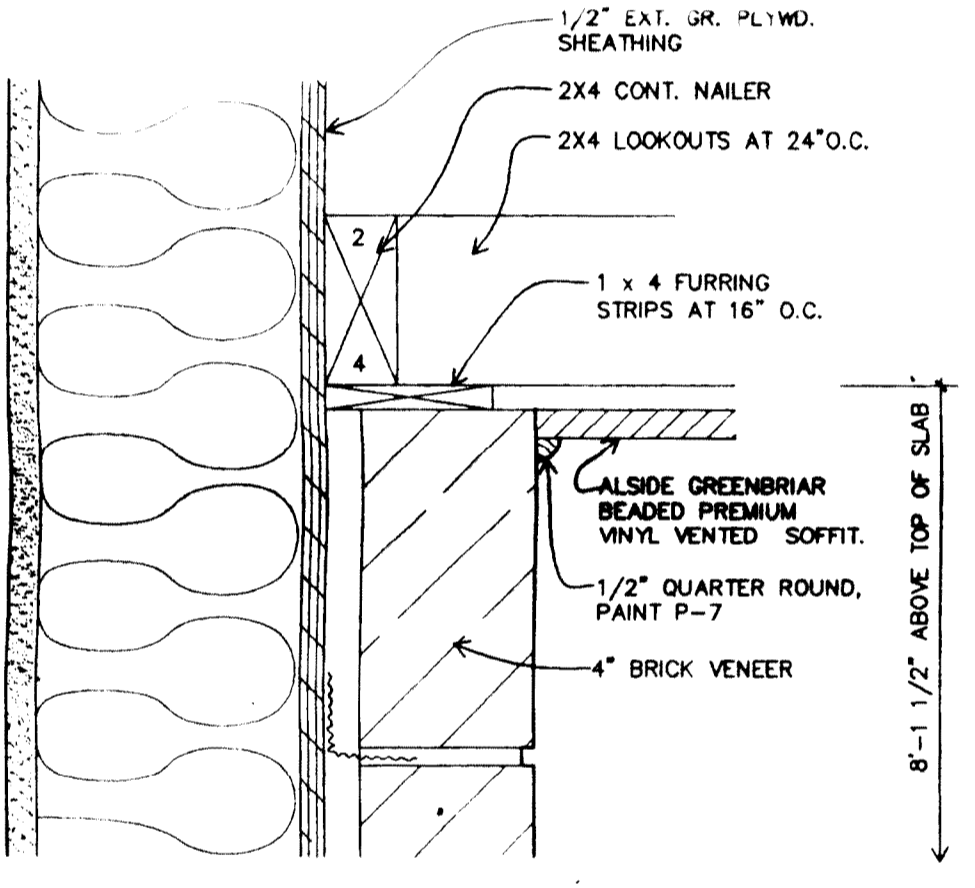
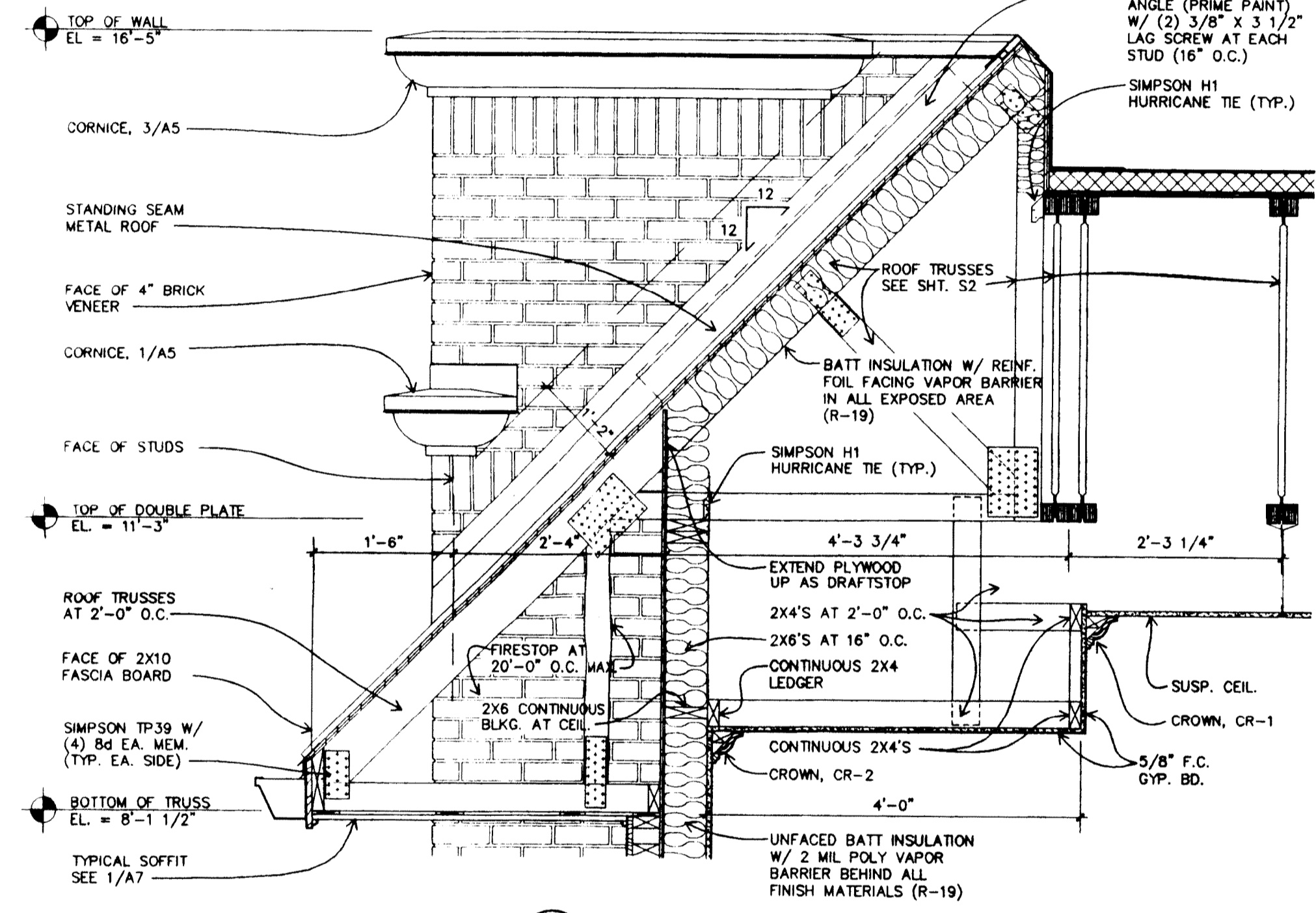
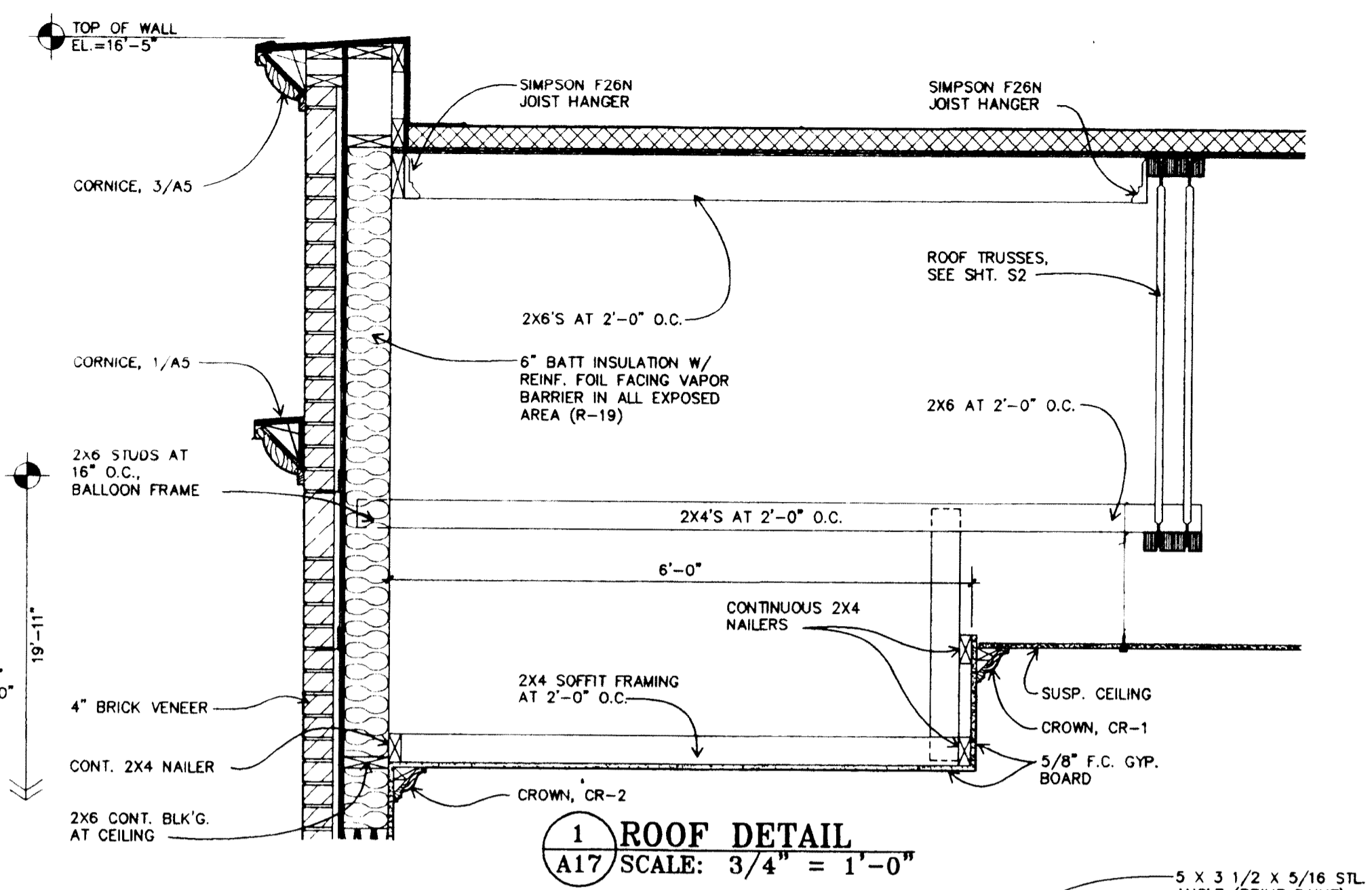
1 NOVEMBER 1988 ISSUED  
 2 UPDATED DRAWING  
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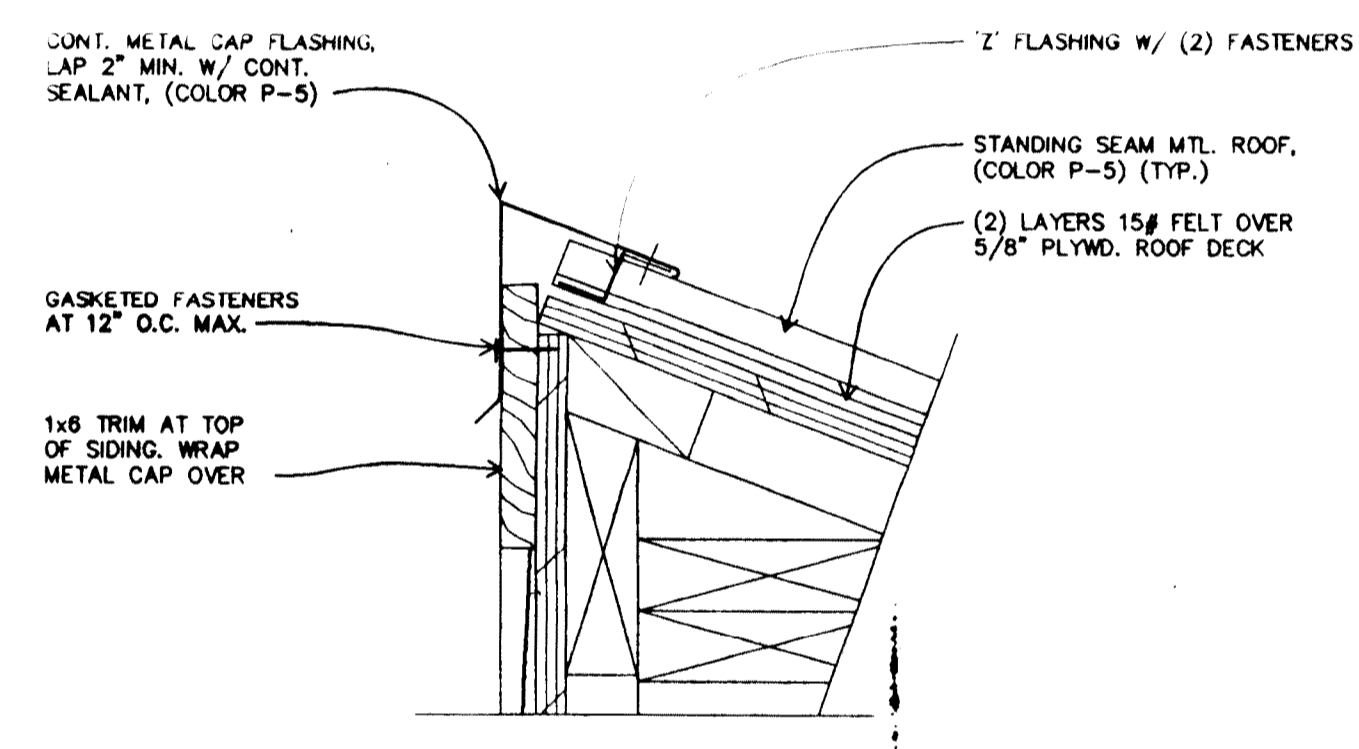
**8 PARTIAL ELEVATION**  
 A17 SCALE: 3/4" = 1'-0"



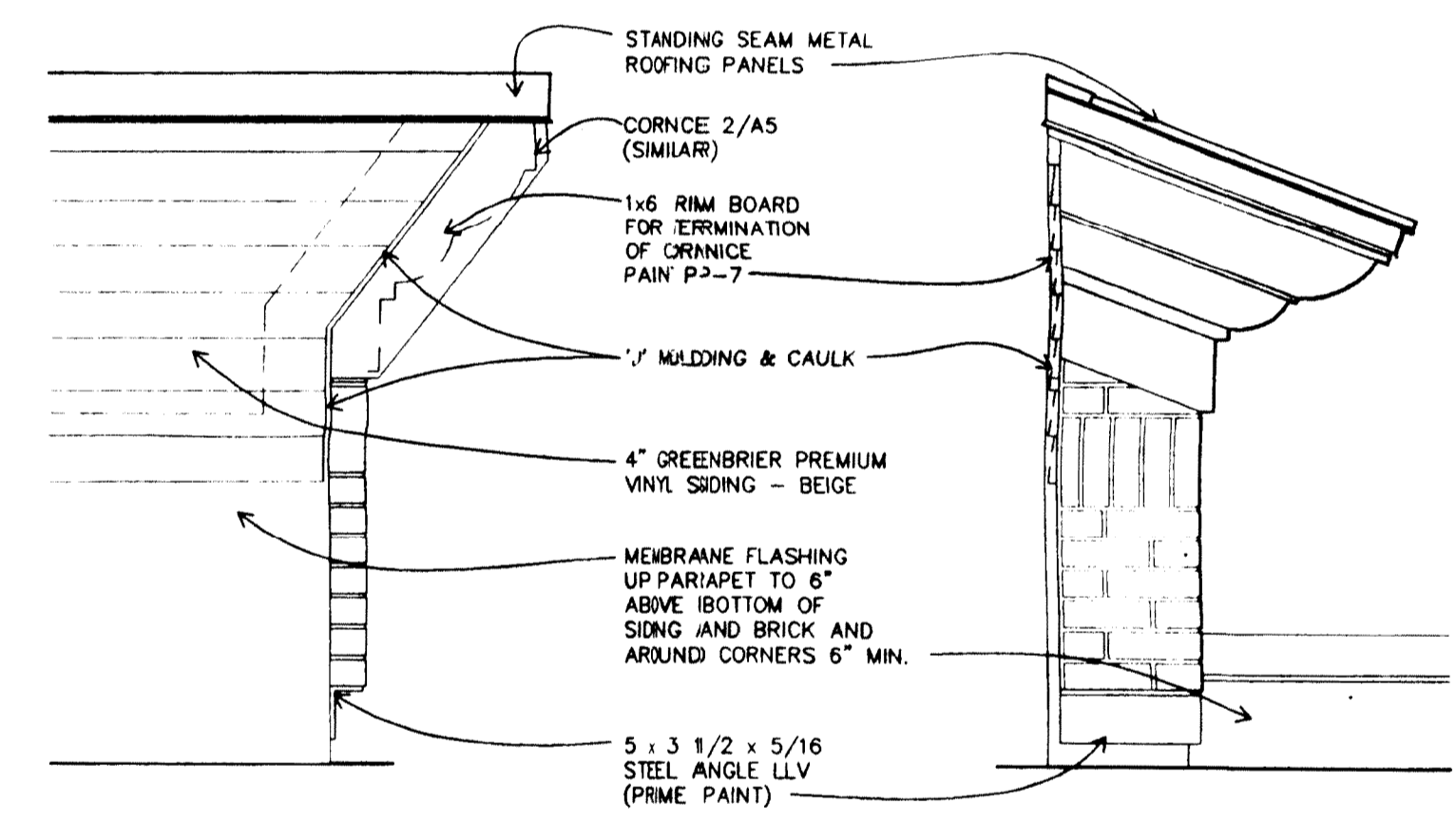
**4 SECTION**  
 A17 SCALE: 3/4" = 1'-0"



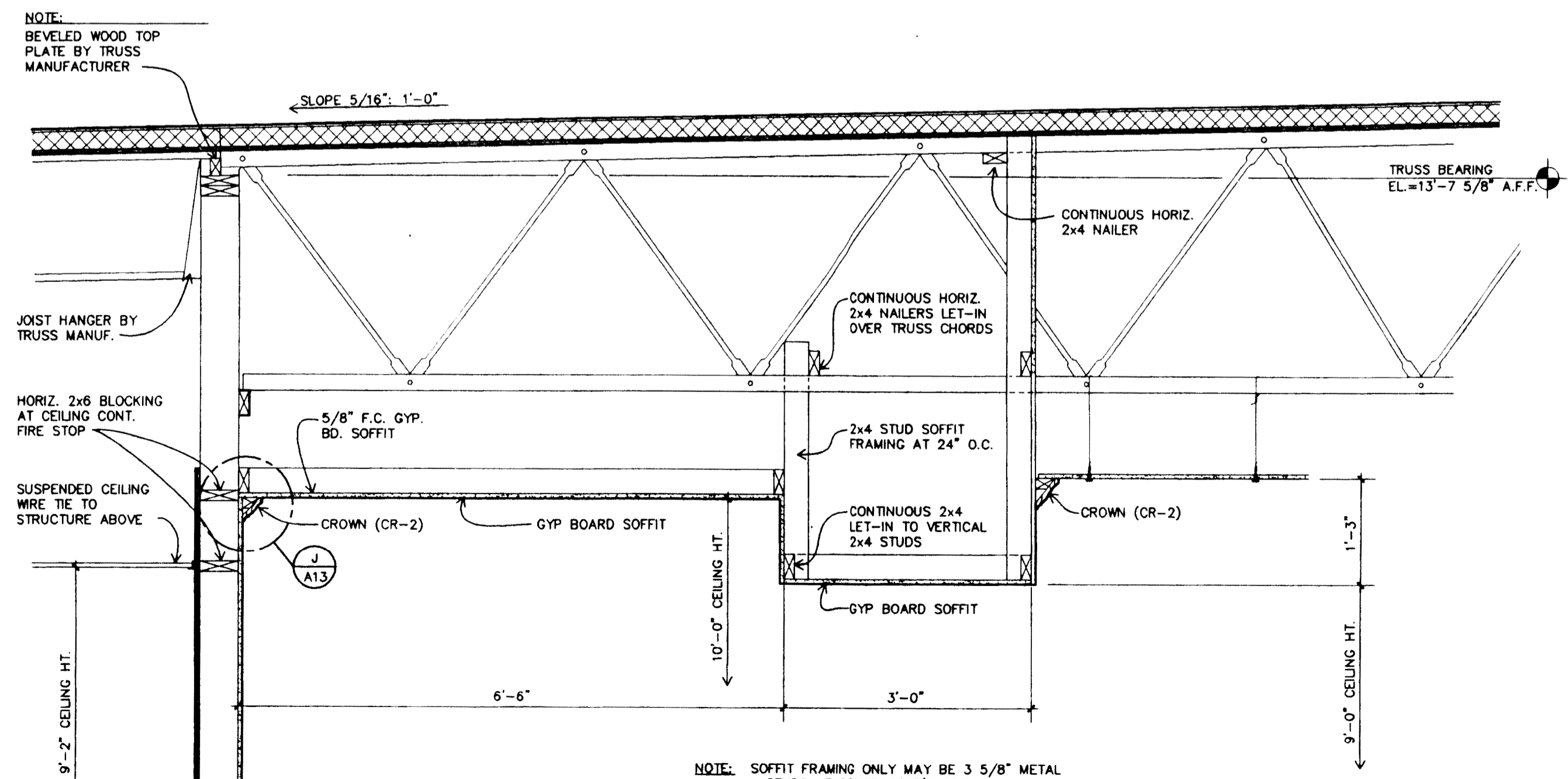
**9 SOFFIT DETAIL**  
 A17 SCALE: 3" = 1'-0"



**7 RIDGE DETAIL**  
 A17 SCALE: 1 1/2" = 1'-0"



**5 CORNICE ELEVATION**  
 A17 SCALE: 3/4" = 1'-0"



**10 SOFFIT FRAMING DETAIL**  
 A17 SCALE: 3/4" = 1'-0"

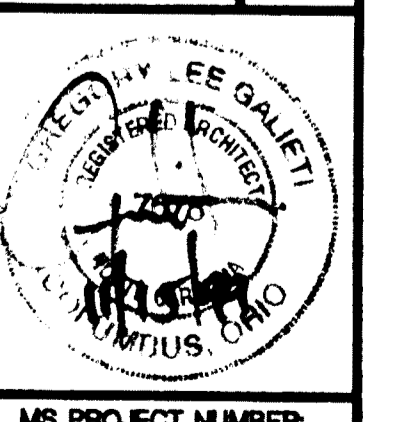
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BLDG. DEPARTMENT SUBMITTAL					
15 NOV 1989					
BID DOCUMENTS/CONSTRUCTION					

ms consultants, inc.  
 engineers, architects, planners  
 2223 South Blvd., Suite 200  
 Charlotte, NC 28203  
 PHONE: (704) 366-7700 FAX: (704) 366-7701

Prepared By:  
**ms consultants, inc.**  
 engineers, architects, planners  
 2223 South Blvd., Suite 200  
 Charlotte, NC 28203  
 PHONE: (704) 366-7700 FAX: (704) 366-7701

FT. 29 + McCOLLOUGH DRIVE  
 CHARLOTTE, NC

**Bob Evans**  
 RESTAURANT



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