

RECOMMENDED PAVING SPECIFICATIONS

LIGHT DUTY PAVEMENT (LDP): 5" COMPACTED AGGREGATE BASE COURSE (CABC) 2" BINDER COURSE, 119.08 1" SURFACE COURSE, 59.58

HEAVY DUTY PAVEMENT (HDP): 8" COMPACTED AGGREGATE BASE COURSE (CABC) 2" BINDER COURSE, 119.09 1" SURFACE COURSE, 59.58

CONCRETE DUMPSTER AND HEAVY DUTY PAVEMENT 5" COMPACTED AGGREGATE BASE COURSE (CABC) 7" 4,000 PSI CONCRETE WITH 6" X 6" WIRE MESH REINFORCEMENT (10 GAUGE W/MF)

CONCRETE SIDEWALK PAVEMENT 4" 3,600 PSI CONCRETE SUBGRADE SHALL BE COMPACTED TO 98% MIN. OF THE STANDARD MAXIMUM DRY DENSITY (ASTM D698).

NOTES:

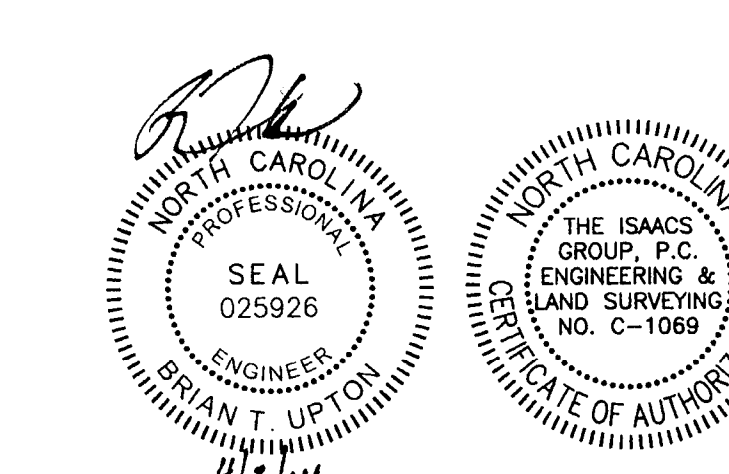
1. ALL FILL USED FOR RAISING SITE GRADES OR FOR REPLACEMENT OF MATERIAL THAT IS UNDERCUT SHOULD BE UNIFORMLY COMPACTED IN THIN LIFTS TO AT LEAST 95 PERCENT OF THE STANDARD MAXIMUM DRY DENSITY (ASTM D 698). IN ADDITION, AT LEAST THE UPPER 18 INCHES OF SUBGRADE FILL BENEATH PAVEMENTS AND FLOOR SLABS AND 24 INCHES BELOW PAVEMENTS SUBJECT TO TRUCK TRAFFIC SHOULD BE COMPACTED TO 100 PERCENT OF THE SAME SPECIFICATION. THE ABOVE COMPACTION SPECIFICATION IS A RECOMMENDATION ONLY. SPECIFIC PAVEMENT OR FLOOR SLAB DESIGNS MAY REQUIRE A DIFFERENT COMPACTION STANDARD. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SITE WORK MEASURES IN STRICT ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS IN THE PROJECT SOILS REPORT AND/OR ON-SITE RECOMMENDATIONS PROVIDED BY A QUALIFIED GEOTECHNICAL ENGINEER DURING CONSTRUCTION.

2. PAVEMENT SPECIFICATIONS LISTED ABOVE ARE RECOMMENDATIONS ONLY AND ARE SUBJECT TO CHANGE BASED UPON PROJECT CONDITIONS OR RECOMMENDATIONS CONTAINED WITHIN THE SOILS REPORT. PRIOR TO COMMENCEMENT OF PAVING, THE OWNER OR CONTRACTOR SHOULD HIRE A GEOTECHNICAL ENGINEER TO PROVIDE A PAVEMENT DESIGN BASED UPON ANTICIPATED VEHICULAR TRAFFIC AND PROJECT SOIL CONDITIONS. THE ISACS GROUP ASSUMES NO RESPONSIBILITY FOR THE ADEQUACY OF THE PAVEMENT SPECIFICATION PROVIDED ABOVE.

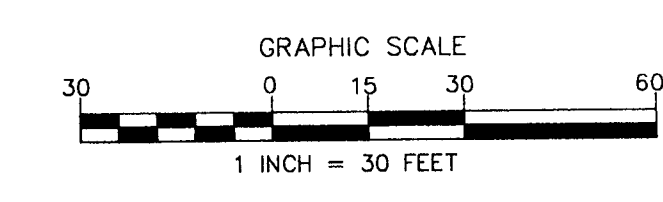
3. UNLESS SPECIFIED/DETAILED WITHIN THE CONTRACT DRAWINGS, CONTRACTOR SHALL PREPARE A CONCRETE JOINT LAYOUT PLAN IN ACCORDANCE WITH ACT 224-38-95 OR ACT 330.1-03 FOR CONCRETE SURFACES AND PROVIDE TO ENGINEER, OWNER AND ARCHITECT FOR SHOP DRAWING APPROVAL PRIOR TO CONCRETE INSTALLATION.

PCCO SUMMARY

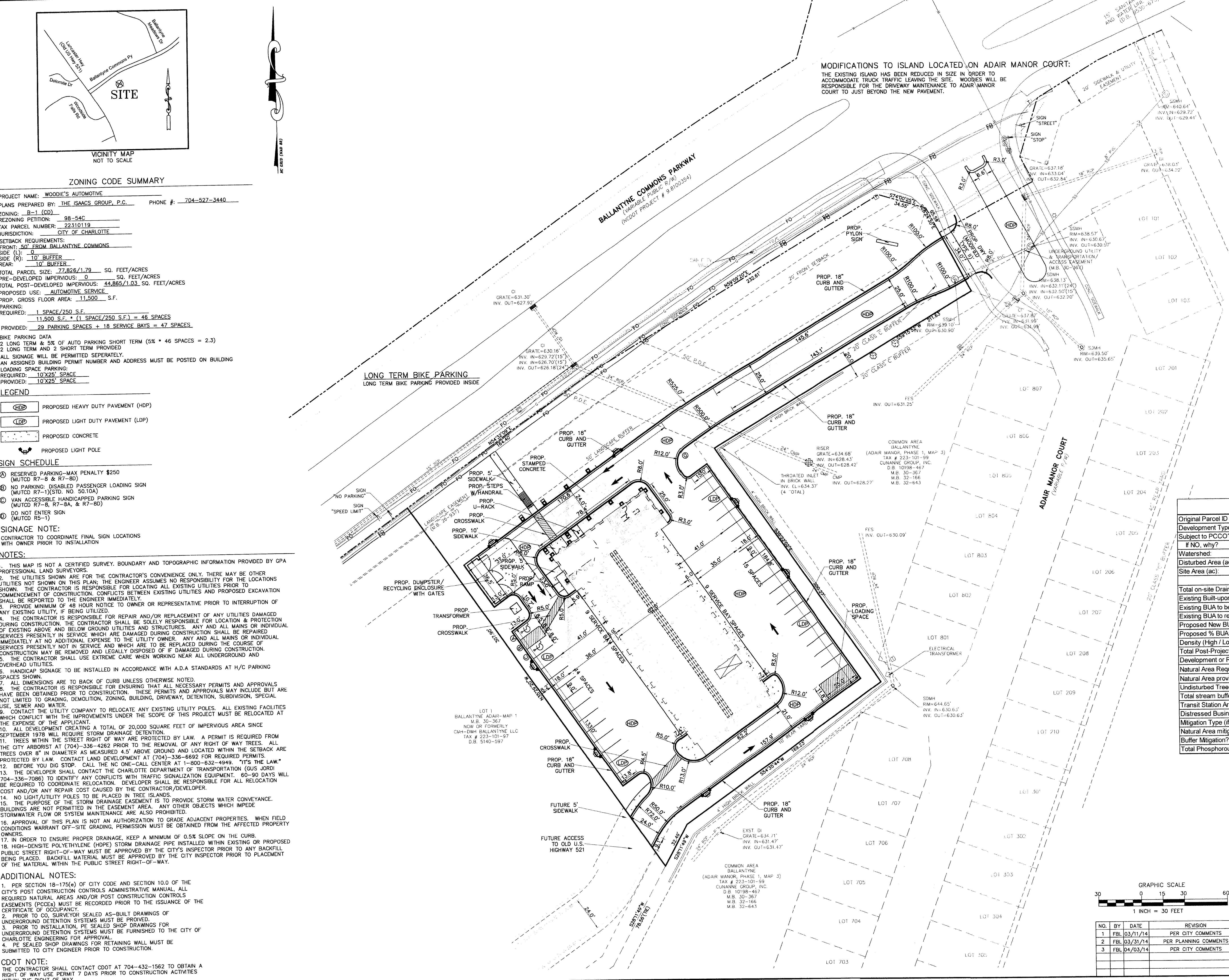
Table with 2 columns: Description and Value. Includes fields for Original Parcel ID Number(s), Development Type, Subject to PCCO? Y/N, Watershed, Disturbed Area (ac), Site Area (ac), Total on-site Drainage Area (ac), Existing Built-upon-area (SF), Existing BUA to be removed (SF), Existing BUA to remain (SF), Proposed New BUA (SF), Proposed % BUA, Density (High/Low), Total Post-Project BUA for site, Development or Redevelopment?, Natural Area Required (total), Natural Area provided, total (ac), Undisturbed Tread Natural Area Preserved (ac), Total stream buffer protected on-site (ac), Transit Station Area? Y/N, Distressed Business District? Y/N, Mitigation Type (if applicable), Natural Area mitigation? Y/N, Buffer Mitigation? Y/N, Total Phosphorous Mitigation? Y/N.



WOODIES AUTOMOTIVE SITE PLAN. Includes project name, address (Ballantyne Commons Parkway), and a table of revision history.



MODIFICATIONS TO ISLAND LOCATED ON ADAIR MANOR COURT: THE EXISTING ISLAND HAS BEEN REDUCED IN SIZE IN ORDER TO ACCOMMODATE TRUCK TRAFFIC LEAVING THE SITE. WOODIES WILL BE RESPONSIBLE FOR THE DRIVEWAY MAINTENANCE TO ADAIR MANOR COURT TO JUST BEYOND THE NEW PAVEMENT.



ZONING CODE SUMMARY

PROJECT NAME: WOODIE'S AUTOMOTIVE
PLANS PREPARED BY: THE ISACS GROUP, P.C. PHONE #: 704-527-3440
REZONING PETITION: 98-54C
TAX PARCEL NUMBER: 22310119
JURISDICTION: CITY OF CHARLOTTE
SETBACK REQUIREMENTS:
FRONT: 50' FROM BALLANTYNE COMMONS
SIDE (L): 10' BUFFER
REAR: 10' BUFFER
TOTAL PARCEL SIZE: 77,826/1.79 SQ. FEET/ACRES
PRE-DEVELOPED IMPERVIOUS: 0 SQ. FEET/ACRES
TOTAL POST-DEVELOPED IMPERVIOUS: 44,885/1.03 SQ. FEET/ACRES
PROPOSED USE: AUTOMOTIVE SERVICE
PROP. GROSS FLOOR AREA: 11,500 - S.F.
REQUIRED: 1 SPACE/250 S.F. = 46 SPACES
PROVIDED: 29 PARKING SPACES + 18 SERVICE BAYS = 47 SPACES
BIKE PARKING DATA:
2 LONG TERM & 5% OF AUTO PARKING SHORT TERM (5% * 46 SPACES = 2.3)
2 LONG TERM AND 2 SHORT TERM PROVIDED
ALL SIGNAGE WILL BE PERMITTED SEPARATELY.
AN ASSIGNED BUILDING PERMIT NUMBER AND ADDRESS MUST BE POSTED ON BUILDING
LOADING SPACE PARKING:
REQUIRED: 10X25' SPACE
PROVIDED: 10X25' SPACE

- LEGEND:
[Symbol] PROPOSED HEAVY DUTY PAVEMENT (HDP)
[Symbol] PROPOSED LIGHT DUTY PAVEMENT (LDP)
[Symbol] PROPOSED CONCRETE
[Symbol] PROPOSED LIGHT POLE

- SIGN SCHEDULE:
1 RESERVED PARKING-MAX PENALTY \$250 (MUTCD R7-8 & R7-8B)
2 NO PARKING-DISABLED PASSENGER LOADING SIGN (MUTCD R7-1)(STD. NO. 50.10A)
3 VAN ACCESSIBLE HANDICAPPED PARKING SIGN (MUTCD R7-8, R7-8A, & R7-8D)
4 DO NOT ENTER SIGN (MUTCD R6-1)

SIGNAGE NOTE: CONTRACTOR TO COORDINATE FINAL SIGN LOCATIONS WITH OWNER PRIOR TO INSTALLATION

NOTES:

- 1. THIS MAP IS NOT A CERTIFIED SURVEY. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY GRA PROFESSIONAL LAND SURVEYORS.
2. THE UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THIS PLAN. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED EXCAVATION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
3. PROVIDE MINIMUM OF 48 HOUR NOTICE TO OWNER OR REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY EXISTING UTILITY, IF BEING UTILIZED.
4. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATION & PROTECTION OF SERVICES PRESENTLY IN SERVICE WHICH ARE DAMAGED DURING CONSTRUCTION. ANY AND ALL MAINS OR INDIVIDUAL SERVICES PRESENTLY NOT IN SERVICE AND WHICH ARE TO BE REPLACED DURING THE COURSE OF CONSTRUCTION MAY BE REMOVED AND LEGALLY DISPOSED OF IF DAMAGED DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR ALL UNDERGROUND AND OVERHEAD UTILITIES.
6. HANDICAP SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH A.D.A STANDARDS AT 1/4 PARKING SPACES SHOWN.
7. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION. THESE PERMITS AND APPROVALS MAY INCLUDE BUT ARE NOT LIMITED TO GRADING, DEMOLITION, ZONING, BUILDING, DRIVEWAY, DETENTION, SUBDIVISION, SPECIAL USE, SEWER AND WATER.
9. CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
10. ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
11. TREES WITHIN THE STREET RIGHT OF WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT (704)-336-4292 PRIOR TO THE REMOVAL OF ANY RIGHT OF WAY TREES. ALL TREES OVER 8" IN DIAMETER AS MEASURED 4.5' ABOVE GROUND AND LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT (704)-336-6892 FOR REQUIRED PERMITS.
12. BEFORE YOU DIG STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. "IT'S THE LAW."
13. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
14. NO LIGHT/UTILITY POLES TO BE PLACED IN TREE ISLANDS.
15. THE PURPOSE OF THE STORM DRAINAGE EASEMENT IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPED STORMWATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
16. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
17. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
18. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.

ADDITIONAL NOTES:

- 1. PER SECTION 18-175(a) OF CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL REQUIRED NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENTS (PCCOs) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
2. PRIOR TO CO. SURVEYOR SEALED AS-BUILT DRAWINGS OF UNDERGROUND DETENTION SYSTEMS MUST BE PROVIDED.
3. PRIOR TO INSTALLATION, PE SEALED SHOP DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE FURNISHED TO THE CITY OF CHARLOTTE ENGINEERING FOR APPROVAL.
4. PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.

CDOT NOTE: THE CONTRACTOR SHALL CONTACT CDOT AT 704-432-1562 TO OBTAIN A RIGHT OF WAY USE PERMIT 7 DAYS PRIOR TO CONSTRUCTION ACTIVITIES WITHIN THE RIGHT OF WAY.



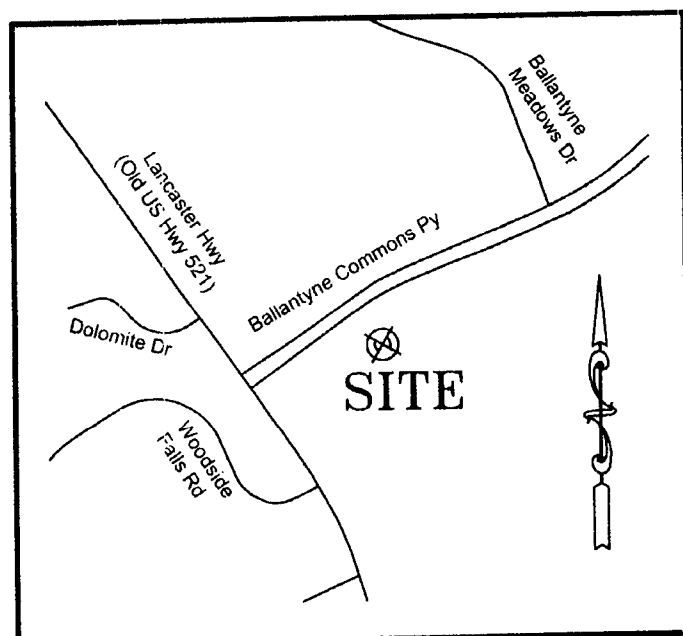
Charlotte-Mecklenburg Planning Department

DATE: April 18, 2014
TO: Mark Fowler, Zoning Supervisor
FROM: Debra Campbell, Planning Director
SUBJECT: Administrative Approval for Petition No. 1998-054C CMH-DWH Ballantyne, LLC

Attached is the revised site plan for the petition listed above. The site plan shows the proposed site layout and elevations for the proposed automotive use. Since these changes do not alter the intent of the development I am approving these plans. Please use these plans when evaluating requests for building permits and certificates of occupancy.

Reasons for Staff's support of the request:
• The site layout and use is consistent with the requirements of the approved conditional notes and schematic plan.

- Notes:
• All other Zoning, Subdivision, Tree Ordinance and conditional requirements still apply.
• Signage was not a part of this review.



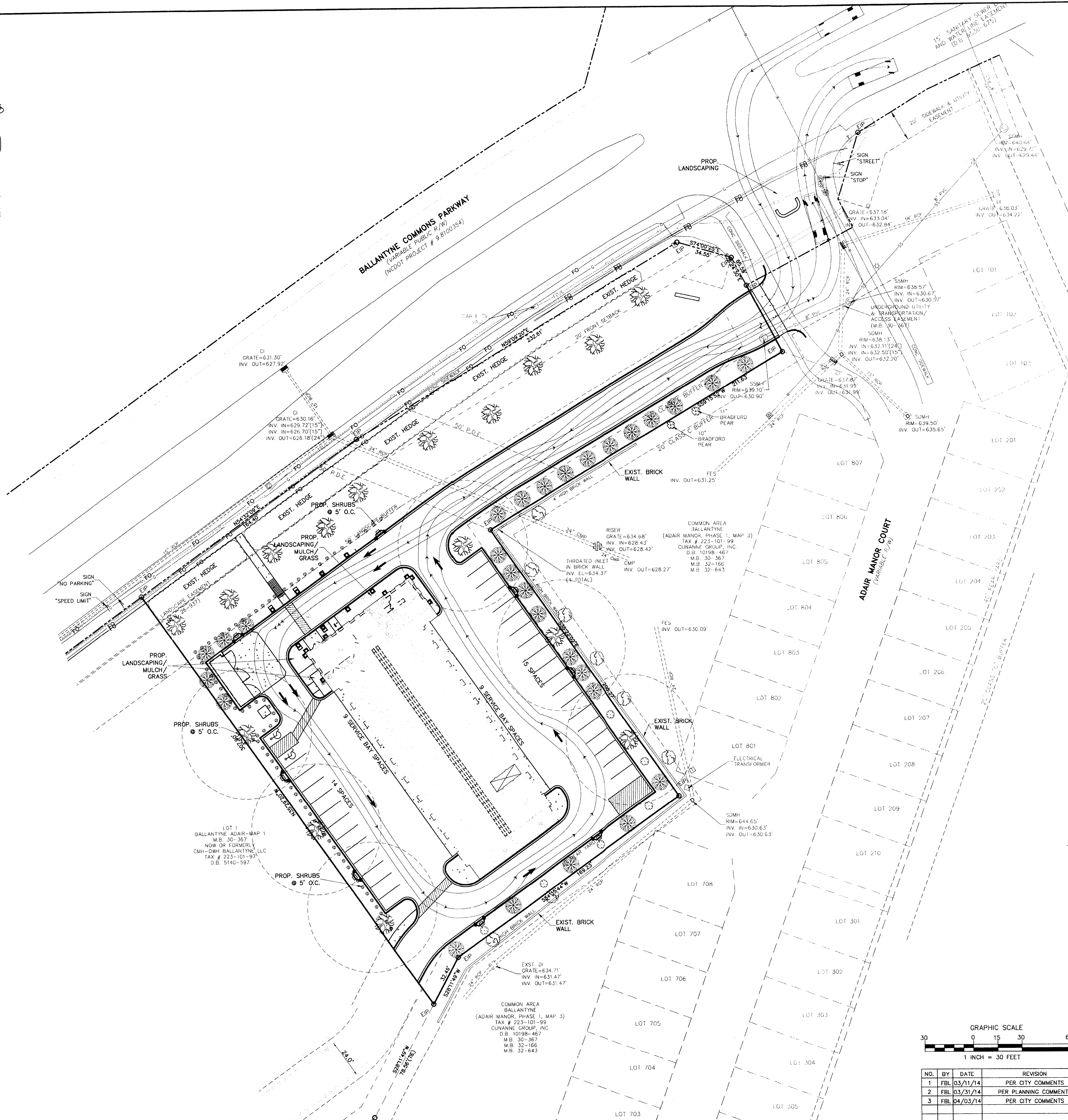
VICINITY MAP NOT TO SCALE

LANDSCAPING NOTES:

- 1. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE. TREE BARRICADES MUST BE INSTALLED IN ACCORDANCE WITH THE PLAN BEFORE ANY DEMOLITION, GRADING OR CONSTRUCTION BEGINS (IF APPLICABLE).
2. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE, CONSTRUCTION DEBRIS AND COMPACTED SOIL PRIOR TO PLANTING.
3. REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL/PLANTING MIX OR UNCOMPACT AND AMEND TOP 24" OF EXISTING SOIL TO MEET TOP SOIL STANDARDS FOR PLANTING TREES.
4. PLEASE CALL 336-4354 FOR INSPECTION OF TREES AND/OR TREE PLANTING AREAS 7 TO 10 DAYS BEFORE THE TEMPORARY OR FINAL CERTIFICATE OF OCCUPANCY IS NEEDED.
5. ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
6. ADJUST TREE PLANTING TO AVOID UNDERGROUND UTILITIES. 15.0' OFF WATER, ELECT. AND GAS - 15.0' OFF SANITARY SEWER AND STORM DRAINAGE.
7. REFERENCE CMLD STANDARDS 40.01, 40.02, 40.03, 40.04, AND 40.09 FOR TREE PLANTING AND PROTECTION DETAILS.
8. GEORID FOR RETAINING WALLS IS TO BE LEFT 24" MIN. BELOW GRADE IN TREE PLANTING AREAS.
9. ATTENTION LANDSCAPER NOTIFY URBAN FORESTER OF ANY SIGN, POWER LINE, OR OTHER CONFLICTS BEFORE PLANTING NEW TREES. CALL 336-4354.
10. ORDINANCE REQUIRED TREES MUST BE MAINTAINED IN TREE FORM & ALLOWED TO GROW TO THEIR NATURAL HEIGHT/FORM, WITH A MAXIMUM OF THREE STEMS OR TRUNKS (NO TOPPING OR ROUNDING OVER).
11. ALL AUTOMOBILE PARKING SPACES MUST BE WITHIN FORTY (40) FEET OF A TREE.
12. LARGE MATURING TREES MUST BE A MINIMUM OF 25 FEET FROM OVERHEAD DISTRIBUTION POWER LINES. IF TREES CONFLICT WITH POWER LINES, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
13. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/CLEARING/GRADING/CONSTRUCTION, AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTER.
14. VIOLATIONS OF TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES AND/OR IMMEDIATE CORRECTIVE ACTION/MITIGATION.
15. SHRUBS SHALL BE A MIN. OF 2' HIGH AND 2' WIDE AT TIME OF PLANTING AND SHALL BE LOCATED AT 5' O.C.
16. A MINIMUM OF FIFTY (50) PERCENT OF NEW TREES MUST BE NATIVE SPECIES, AND SITES WITH MORE THAN TWENTY (20) TREES REQUIRED WILL HAVE TO INSTALL MULTIPLE SPECIES PURSUANT TO THE TREE ORDINANCE GUIDELINES.
17. 75% LARGE MATURING TREES ARE REQUIRED UNLESS THERE IS OVERHEAD POWER.
18. SITE LIGHTING MUST BE A MINIMUM OF THIRTY (30) FEET AWAY FROM A TREE. IF PEDESTRIAN SCALE LIGHTING IS BEING USED, THE LIGHTING MUST BE A MINIMUM OF FIFTEEN (15) FEET AWAY FROM A TREE, UNLESS APPROVED OTHERWISE BY THE CITY. NO LIGHT POLES ALLOWED IN TREE ISLANDS.
19. UNLESS APPROVED BY URBAN FORESTRY STAFF ALL REQUIRED TREES MUST HAVE SINGLE STEM TRUNKS WITH NO CO-DOMINANT TRUNKS OR BRANCHES. TREE TRUNKS SHALL BE STRAIGHT IN FORM AND FREE OF DAMAGE OR CRACKS. PRUNING SHALL BE CALLED OVER. BRANCH LENGTH SHALL BE TYPICAL FOR THE TREES AGE AND NOT BE BROKEN, DISEASED, OR INJURED. ROOT FLARE SHALL BE LOCATED AT GRADE AND BE FREE OF ADNETTIOUS ROOT GROWTH.
20. COMMERCIAL TREE SAVE AREAS MUST BE RECORDED IN ACCORDANCE WITH THE APPROVED PLAN ON A FINAL PLAT AT THE REGISTER OF DEEDS OFFICE BEFORE URBAN FORESTRY HOLDS CAN BE RELEASED. PROVIDE TREE SAVE AREA (MIN. 30' WIDE) ENTIRE OR IN COMBINATION - SEE SECTION 21.94.
21. MIN. TREE SIZE AT PLANTING IS 2-INCH CALIPER (FOR SINGLE STEM TREES). TREES MUST MEET ANSI STANDARDS AND HAVE SINGLE LEADER ALL THE WAY TO THE TOP. ALL MULTI-STEM PLANTS MUST BE TREE FORM MAX. 3 TO 5 TRUNKS, AND MIN. 8' TALL.

LANDSCAPING REQUIREMENTS

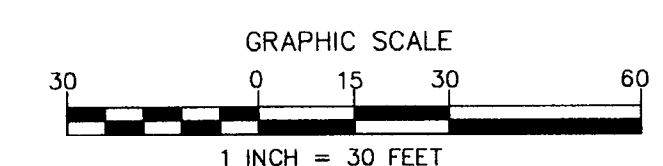
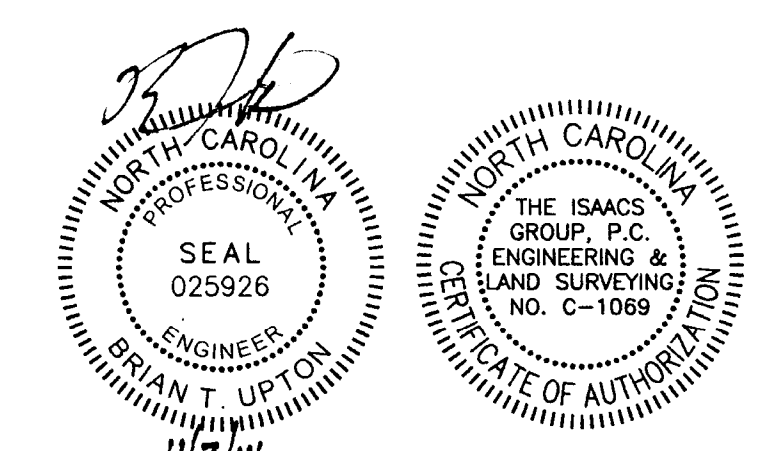
INTERIOR: BUILDINGS, PARKING LOTS, AND WALKWAYS: 44,865/1,03 SQ. FEET/ACRES LANDSCAPED AREA: INTERNAL TREE REQUIREMENT: 1 TREE/10,000 S.F. IMPERVIOUS= 44,865/10,000 S.F. IMPERVIOUS= 5 TREES PROVIDED= 8 PROPOSED
STREET TREES: BALLANTYNE COMMONS PARKWAY 396 L.F. OF TOTAL STREET FRONTAGE REQUIRED: 1 LMT PER 40 L.F. OF FRONTAGE 396 L.F. * (1 TREE/40 L.F.) = 10 TREES PROVIDED: 10 LMT'S
TREE SAVE: *NOT REQUIRED SITE REZONED PRIOR TO CURRENT TREE ORDINANCE OVER 50% OF THE SITE IS CURRENTLY DEVELOPED
NATURAL AREA: *NOT REQUIRED CLASS C BUFFER ADJACENT TO RESIDENTIAL 200 WIDE PER REZONING PLAN REQUIRED: 4 TREES PER 100 L.F. + 20 SHRUBS PER 100 L.F. 573 L.F. OF BUFFER LENGTH 573 L.F./100 L.F. * 4 TREES = 23 TREES PROVIDED: 23 TREES + THE EXISTING WALL IN LIEU OF SHRUBS



NOTE: PROPOSED TREES HAVE BEEN SHOWN IN THE BUFFER TO MEET ALL PLANTING REQUIREMENTS IN AREAS WHERE THE REQUIRED TREE PROTECTION DISTANCE CAN NOT BE ACHIEVED. CONTRACTOR SHALL MEET WITH INSPECTOR AND URBAN FORESTER TO DETERMINE IF THERE ARE EXISTING TREES IN THE BUFFER THAT WILL REMAIN UNHARMED DURING CONSTRUCTION. FOR EVERY EXISTING TREE THAT CAN BE SAVED (AS AGREED UPON BY THE CITY) ONE LESS PROPOSED TREE CAN BE PLANTED IN THE BUFFER.

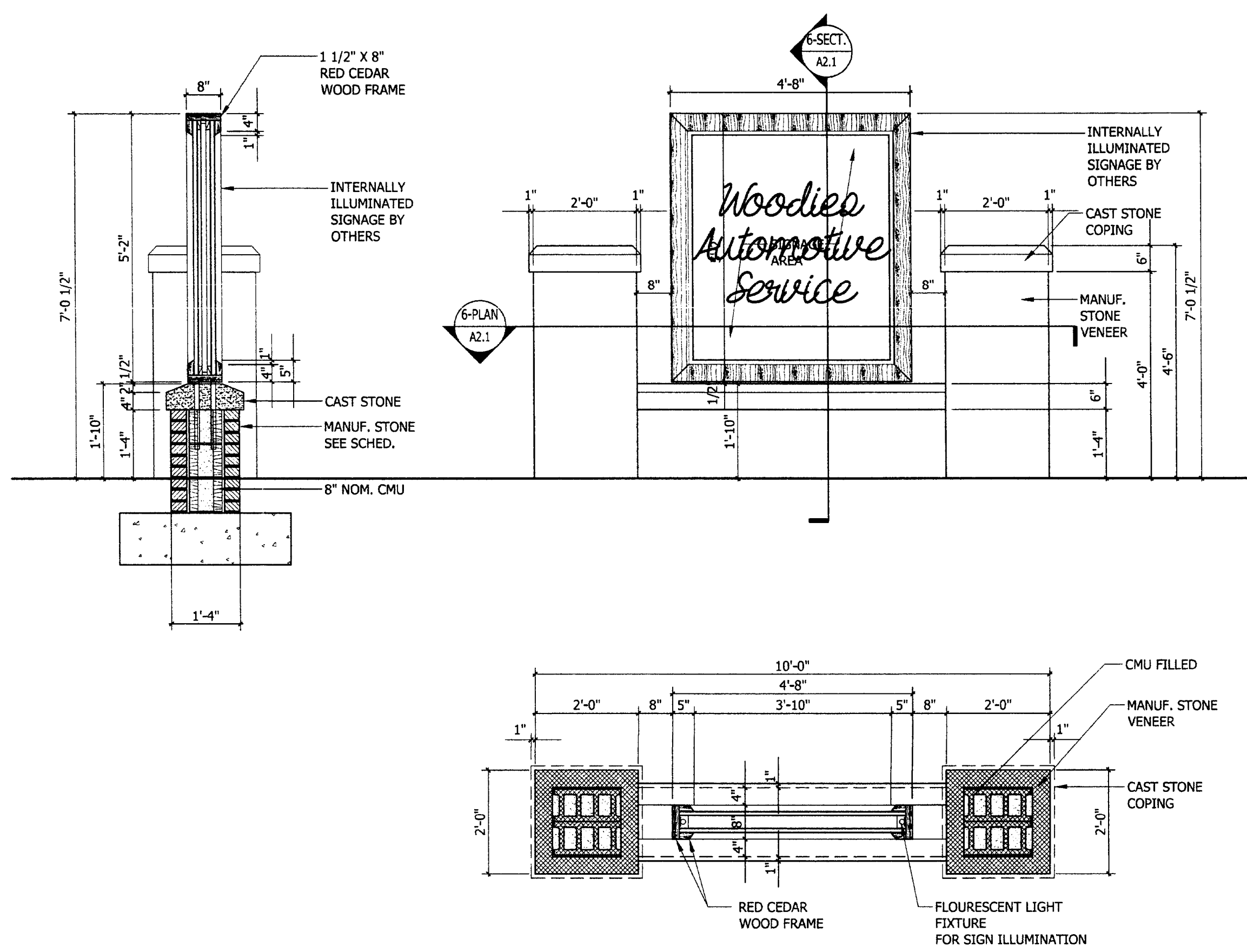
Landscape Legend table with columns for tree species, quantity, and description. Includes: PROPOSED WILLOW OAK LMT (2 IN. CAL. MAX. HEIGHT 8') - 16; PROPOSED DEODAR CEDAR LMT (2 IN. CAL. MAX. HEIGHT 8') (OR OTHER APPROVED EVERGREEN TREE) - 28; PROPOSED VIRGINIA PINE LMT (2 IN. CAL. MAX. HEIGHT 8') - 8; PROPOSED JAPANESE HOLLY SHRUB (10'-15' AT FULL GROWTH) - 6; PROPOSED BURFORD HOLLY (2' HIGH AND 2' WIDE) - 75.

NOTE: PLANT QUANTITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL PLANT QUANTITIES WITH CHARLOTTE URBAN FORESTRY PRIOR TO INSTALLATION.

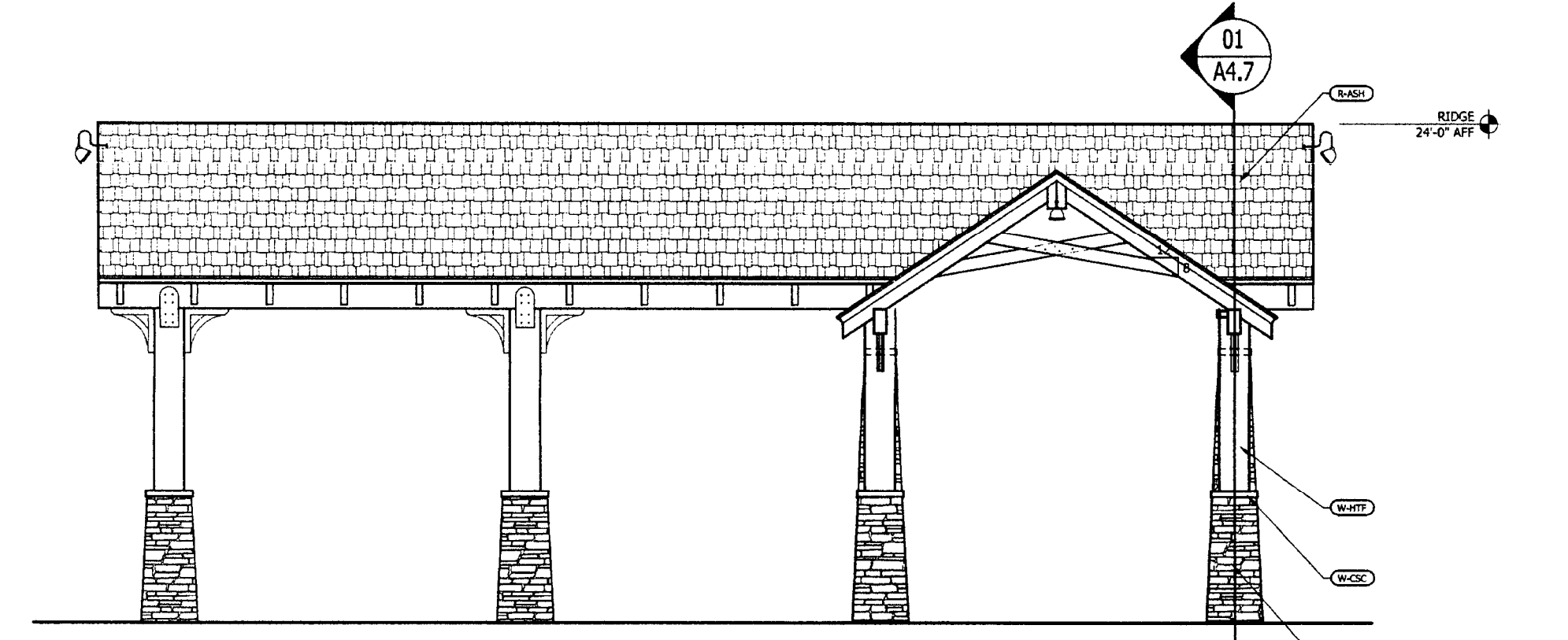


Revision table with columns: NO., BY, DATE, REVISION. Includes entries for FB on 03/11/14, 03/31/14, and 04/03/14.

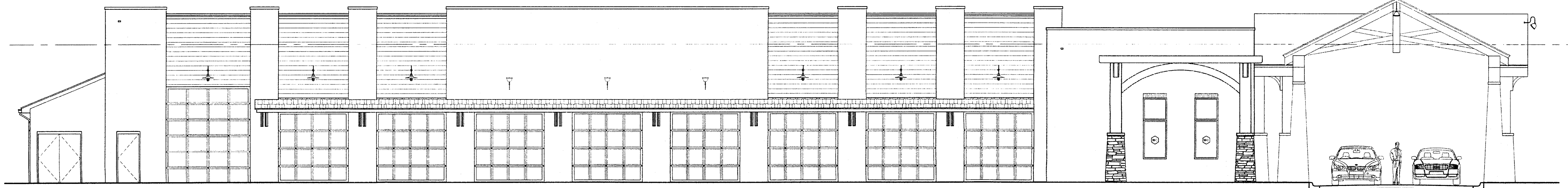
Project information block for Woodies Automotive, Ballantyne Commons Parkway, Charlotte, North Carolina. Includes title 'LANDSCAPE PLAN', date '4/3/14', and contact information for The Isaacs Group, P.C.



06 GROUND MOUNTED SIGNAGE scale: 1/2" = 1'-0"



05 CANOPY ELEVATION scale: 1/8" = 1'-0"

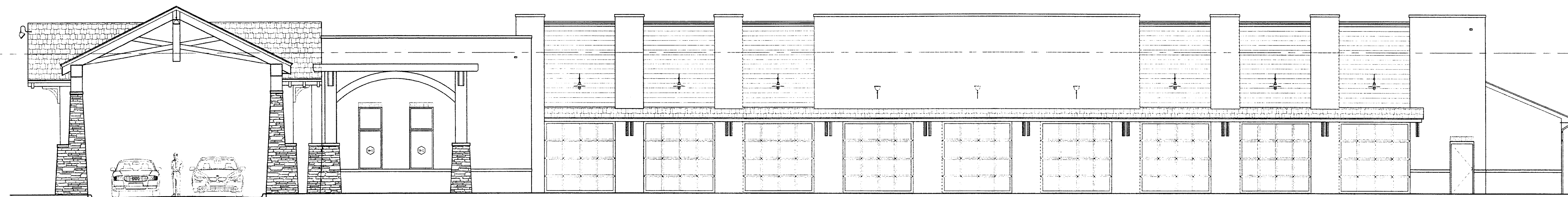


04 EAST ELEVATION scale: 1/8" = 1'-0"



03 SOUTH ELEVATION scale: 1/8" = 1'-0"

02 NORTH ELEVATION scale: 1/8" = 1'-0"



01 WEST ELEVATION scale: 1/8" = 1'-0"

KEY	NAME	MANUFACTURER	MATERIAL	COLOR	NOTES
1	WALL MOUNTED LIGHT FIXTURE	LURALINE / REFLECTA	RW 2032 GH36	BLACK	--
2	PREFINISHED METAL COPING	COLORKAD	METAL	DARK BRONZE	--
3	CANOPY	--	--	--	--
4	RED CEDAR WOOD COLOR/STAIN	--	--	CLEAR STAIN	--
5	UNIT SIGNAGE BY OWNER	--	--	--	--
6	SLIDE-UP OVERHEAD DOOR	--	METAL/GLASS	DARK BRONZE ANODIZED	MANUAL OPERATED
7	METAL GUTTER AND DOWNSPOUT	COLORKAD	METAL	MATCH TO ROOF COPING	--
8	BUILDING SIGNAGE	--	--	--	BY OTHERS
9	EXHAUST FAN GRILL	--	METAL	MATCH TO ROOF COPING	PAINT
10	MANUFACTURED STONE	BUILDERS CHOICE	LEUCOSTONE	LANTANA	DRYSTACK
11	FIBER CEMENT SIDING	JAMES HARDIE	HARDIPLANK H210	SW 2808	ROCKWOOD DK BROWN
12	ARCH FIBERGLASS SHINGLES	TAMKO	HERITAGE SERIES	SLATSTONE GREY	--
13	CAST STONE	--	--	CREAM	--
14	RED CEDAR WOOD BRACKETS	--	--	COLOR STAIN	--
15	KAUWNER	451T	--	BRONZE ANODIZED	--
16	PAINTED SURFACE	HOLLOW MTL DOOR/FRAME	TAYLOR CLAY	MATCH TO ROOF COPING	PAINT - SEMI GLOSS
17	BRICK	--	--	--	SUB CONFIRM ALL QUANTITIES

KEYED NOTES

KEY	DESCRIPTION	SPECIFICATION REFERENCE
MISC		
P-DL	DRAIN LEADER	--
P-DR	FLOOR DRAIN	--
M-AH	METAL ACCESS HATCH-24X36 CENTERED	--
M-OS	METAL DOWNSPOUT-FIX" SEE CIVIL/PLUMB	--
W-SIGN	SIGNAGE BY TENANT	--
E-LI	WALL SCONCE FIXTURE	--

KEY	DESCRIPTION	SPECIFICATION REFERENCE
ROOF		
R-ASH	ARCHITECTURAL FIBERGLASS SHINGLES	07 31 13
R-BI	BATT INSULATION	07 21 00
R-BBP	BEAD BOARD PANELING	-
R-CAP	PREFINISHED METAL COPING	-
R-CND	CORRUGATED METAL DECK	05 31 00
R-ES	EXTERIOR SHEATHING	09 21 16
R-FL	ROOFING FELT	-
R-GB	GYPSON BOARD	09 20 00
R-HTD	HEAVY TIMBER DECKING	09 20 00
R-MB	MEMBRANE ROOFING	07 54 23
R-MGDS	METAL GUTTERS/DOWNSPOUTS	07 21 23
R-MF	METAL FLASHING	07 62 00
R-MS	MISCELLANEOUS STEEL	05 21 00
R-RD	ROOF DRAIN	-
R-RI	RIGID INSULATION	07 16 23.13
R-SF	STEEL FRAMING	05 12 00
R-SHC	STEEL HAT CHANNEL 7/8"	05 12 00
R-SJF	STEEL JOIST FRAMING	05 21 00
R-SSM	STANDING SEAM METAL ROOFING	-
R-PTWB	WOOD BLOCKING	06 10 54

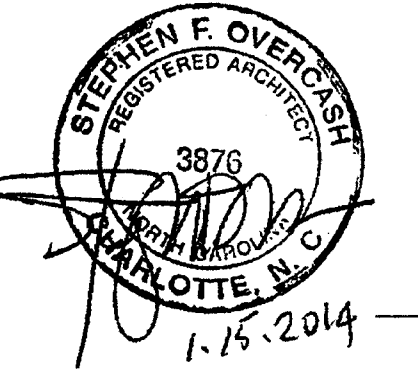
KEY	DESCRIPTION	SPECIFICATION REFERENCE
CEILING		
C-ACT	ACOUSTICAL LAY-IN TILE & GRID	09 51 00
C-BI	BATT INSULATION	07 21 00
C-GB	GYPSON WALL BOARD	09 21 16

KEY	DESCRIPTION	SPECIFICATION REFERENCE
FLOOR		
F-AT	ALUMINUM THRESHOLD	-
F-CF	CONCRETE FLOORING	03 30 00
F-CFF	CONCRETE FLOOR FINISH	03 35 13
F-FCP	FIBER CEMENT PANEL	-
F-MF	METAL FRAMING	05 40 00
F-SD	STEEL DECKING	05 31 00
F-SF	STEEL FRAMING	05 12 00
F-SJF	STEEL JOIST FRAMING	05 21 00

KEY	DESCRIPTION	SPECIFICATION REFERENCE
WALL		
W-ASF	ALUMINUM STOREFRONT	08 43 13
W-BI	BATT INSULATION	07 21 00
W-BR	BRICK VENEER	04 27 31
W-CSC	CAST STONE CAP	--
W-CMU	CONCRETE MASONRY UNITS	04 27 31
W-CI	CONTROL JOINT	07 90 05
W-DP	DAMP PROOFING	07 11 13
W-EIPS	E.I.F.S.	XX
W-ES	EXTERIOR SHEATHING	09 21 16
W-ENS	ELASTOMERIC SEALANT	09 21 16
W-FCS	FIBER CEMENT SIDING	07 46 46
W-FCI	FIBER CEMENT TRIM	-
W-FI	FOAMED-IN-PLACE INSULATION	07 21 19
W-GL	GLAZING	08 80 00
W-GB	GYPSON BOARD	09 21 16
W-MD	METAL DOOR/FRAME	08 11 13
W-HTT	HEAVY TIMBER FRAMING	08 11 13
W-LF	LIGHT GAGE METAL FRAMING	05 40 00
W-MFS	5/8" METAL FURRING STRIPS	05 40 00
W-MT	MASONRY TIE	04 27 31
W-MST	MANUFACTURED STONE	04 27 31
W-MA	METAL AWNING	--
W-ML	METAL LATH	09 22 36.22
W-PTWB	PRESSURE TREATED WOOD BLOCKING	06 10 54
W-RIGI	RIGID INSULATION	07 21 13
W-RL	ROOF LEADER	-
W-RUD	ROLL-UP DOOR	-
W-SCB	STEEL CONNECTOR BRACKET	-
W-SL	STEEL LINTEL	05 50 00
W-FL	THRU WALL FLASHING	07 62 00
W-WP	WATERPROOFING	07 14 00
W-WB	WEATHER BARRIER	07 25 00

KEY	DESCRIPTION	SPECIFICATION REFERENCE
FOUNDATION		
G-CM	COMPRESSIBLE FILL	--
G-CF	CONCRETE FOOTING, SEE STRUCTURAL	03 10 00, 03 20 00, 03 30 00
G-CMU	CONCRETE MASONRY UNITS	04 27 31
G-CSI	CONCRETE SIDEWALK	03 10 00, 03 20 00, 03 30 00
G-CSS	CONCRETE SLAB ON GRADE	03 30 00
G-DF	DRAINAGE FILL	07 62 00
G-FL	THRU WALL FLASHING	07 62 00
G-FW	FOUNDATION WALL, SEE STRUCTURAL	03 30 00
G-MM	MORTAR MESH	04 27 31
G-PI	PERIMETER INSULATION	07 21 00
G-SI	SUBIRRATION	33 46 00
G-SIO	DOWNSPOUT FOOT TO STORM, SEE CIVIL	--
G-VB	VAPOR BARRIER	03 30 00
G-WP	WATERPROOFING	07 13 00

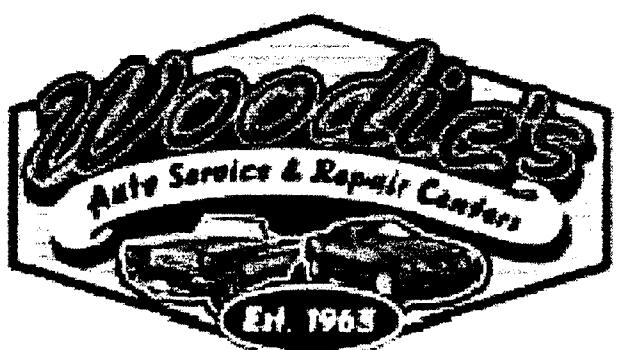
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ATTACHED TO ADMINISTRATIVE APPROVAL

APR 18 2014

BY: DEBRA CAMPBELL



WOODIES
AUTOMOTIVE
BALLANTYNE, NC

KEY PLAN

ISSUED MM/DD/YY
FOR CONSTRUCTION 01/15/14
REVISION 1 02/14/14
MATERIAL CHANGE 03/05/14

EXTERIOR ELEVATIONS

A2.1

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KEY	NAME	MANUFACTURER	MATERIAL	COLOR	NOTES
1	WALL MOUNTED LIGHT FIXTURE	LURALINE / REFLECTA	RW 2022 GNA36	BLACK	--
2	PREFINISHED METAL COPINGS	COLORKLAD	METAL	DARK BRONZE	--
3	CANOPY	--	--	--	--
4	RED CEDAR WOOD COLOR/STAIN	--	--	CLEAR STAIN	--
5	LIMIT SIGNAGE BY OWNER	--	--	--	--
6	SLIDE-UP OVERHEAD DOOR	--	METAL/GLASS	DARK BRONZE ANODIZED	MANUAL OPERATED
7	METAL GUTTER AND DOWNSPOUT	COLORKLAD	METAL	MATCH TO ROOF COPING	--
8	BUILDING SIGNAGE	--	--	--	BY OTHERS
9	EXHAUST FAN GRILL	--	METAL	MATCH TO ROOF COPING	PAINT
10	MANUFACTURED STONE	BUILDERS CHOICE	LEGGESTONE	LANTANA	DRYSTACK
11	FIBER CEMENT SIDING	JAMES HARDIE	HARDIEPLANK H210	SW 2808	ROCKWOOD DK BROWN
12	ARCH FIBERGLASS SHINGLES	TAMKO	HERITAGE SERIES	SLATETONE GREY	--
13	CAST STONE	--	--	CREAM	--
14	RED CEDAR WOOD BRACKETS	--	--	COLOR STAIN	--
15	KAWNEER	4517	--	BRONZE ANNOXIDIZED	--
16	PAINTED SURFACE	HOLLOW METAL DOOR/FRAME	--	MATCH TO ROOF COPING	PAINT - SEMI GLOSS
17	BRICK	TAYLOR CLAY	--	TBD	SUB CONFIRM ALL QUANTITIES

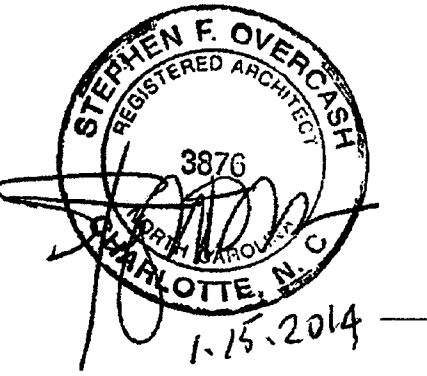
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APR 18 2014

BY: DEBRA CAMPBELL

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KEYED NOTES

KEY	DESCRIPTION	SPECIFICATION REFERENCE
P-DL	DRAIN LEADER	--
P-DR	FLOOR DRAIN	--
M-AH	METAL ACCESS HATCH-24X36 CENTERED	--
W-D5	METAL DOWNSPOUT-4"X4" SEE CIVIL/PLUMB	--
W-SIGN	SIGNAGE BY TRIMM	--
E-L1	WALL SCONCE FIXTURE	--

ROOF

R-ASH	ARCHITECTURAL FIBERGLASS SHINGLES	07 31 13
R-BI	BATT INSULATION	07 21 00
R-BBP	BEAD BOARD PANELING	-
R-CAP	PREFINISHED METAL COPING	-
R-CHD	CORRUGATED METAL DECK	05 31 00
R-ES	EXTERIOR SHEATHING	09 21 16
R-FLT	ROOFING FELT	-
R-GB	GYPSON BOARD	09 20 00
R-HTD	HEAVY TIMBER DECKING	09 20 00
R-MR	MEMBRANE ROOFING	07 54 23
R-MGZS	METAL GUTTER/DOWNSPOUTS	07 71 23
R-MF	METAL FLASHING	07 62 00
R-MS	MISCELLANEOUS STEEL	05 21 00
R-RD	ROOF DRAIN	-
R-RJ	RIGID INSULATION	07 16 22.13
R-SF	STEEL FRAMING	05 12 00
R-SHC	STEEL HAT CHANNEL 7/8"	05 12 00
R-SJF	STEEL JOIST FRAMING	05 21 00
R-SSM	STANDING SEAM METAL ROOFING	-
R-PTWB	WOOD BLOCKING	06 10 54

CEILING

C-ACT	ACOUSTICAL LAY-IN TILE & GRID	09 51 00
C-BI	BATT INSULATION	07 21 00
C-GB	GYPSON WALL BOARD	09 21 16

FLOOR

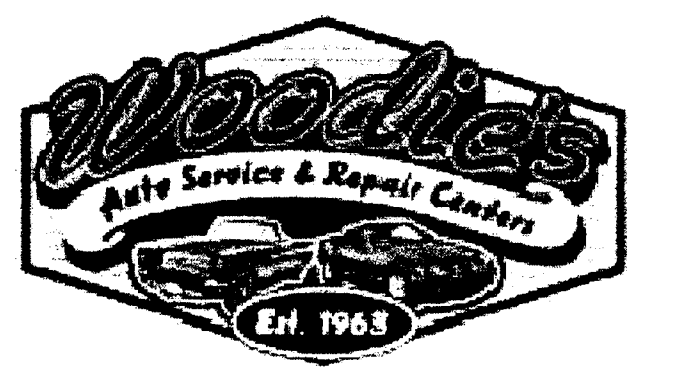
F-AT	ALUMINUM THRESHOLD	-
F-CP	CONCRETE FLOORING	03 30 00
F-CFF	CONCRETE FLOOR FINISH	03 35 13
F-FCP	FIBER CEMENT PANEL	-
F-MF	METAL FRAMING	05 40 00
F-SD	STEEL DECKING	05 31 00
F-SF	STEEL FRAMING	05 12 00
F-SJF	STEEL JOIST FRAMING	05 21 00

WALL

W-ASF	ALUMINUM STOREFRONT	08 43 13
W-BI	BATT INSULATION	07 21 00
W-BR	BRICK VENEER	04 27 31
W-CSC	CAST STONE CAP	-
W-CMU	CONCRETE MASONRY UNITS	04 27 31
W-CI	CONTROL JOINT	07 50 05
W-DP	DAMP-PROOFING	07 11 13
W-EIPS	E.I.F.S.	XX
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W-RJ	RIGID INSULATION	07 21 13
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G-SD	SUBDRAINAGE	33 46 00
G-STO	DOWNSPOUT BOOT TO STORM, SEE CIVIL	-
G-VR	VAPOR RETARDER	03 30 00
G-WP	WATERPROOFING	07 13 00



WOODIES
AUTOMOTIVE
BALLANTYNE, NC

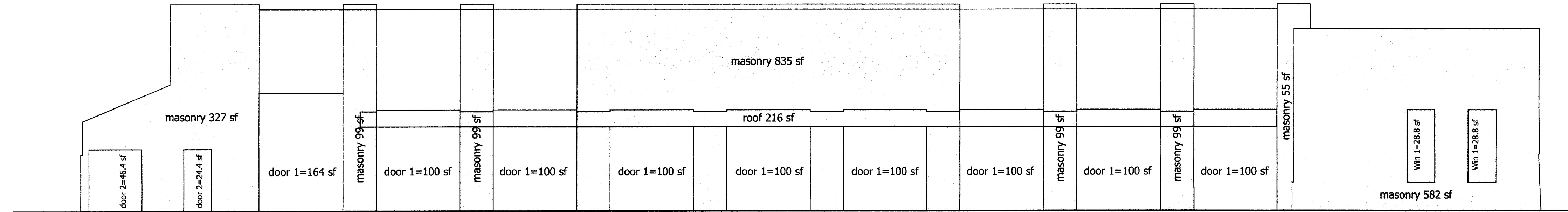
KEY PLAN

ISSUED	MM/DD/YY
FOR CONSTRUCTION	01/15/14
REVISION 1	02/14/14
MATERIAL CHANGE	03/05/14

EXTERIOR ELEVATIONS- BRICK AREA CALCS

A2.2

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overall opaque wall 2,227 sf
required 80% wall = masonry or 2,182 sf
have 2,195 sf
approx linear length of masonry corners = 600'

04 EAST ELEVATION

scale: 1/8" = 1'-0"



overall opaque wall 1,522 sf
required 80% wall = masonry or 1,218 sf
have 1,245 sf
approx linear length of masonry corners = 50'

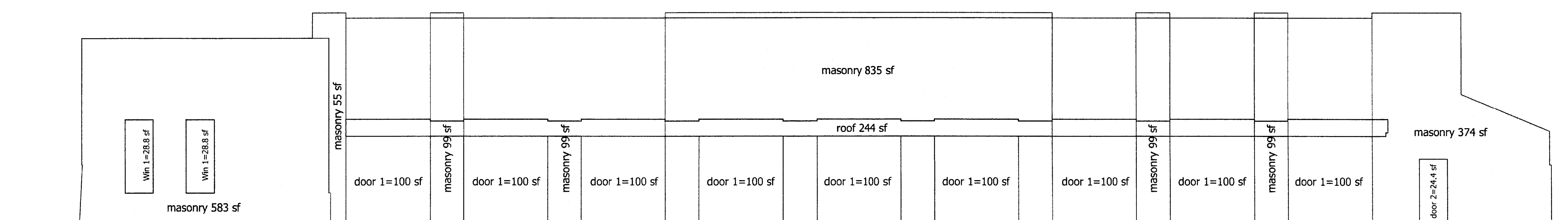
overall opaque wall 1,319 sf
required 80% wall = masonry or 1,055 sf
have 1,056 sf
approx linear length of masonry corners = 135'

03 SOUTH ELEVATION

scale: 1/8" = 1'-0"

02 NORTH ELEVATION

scale: 1/8" = 1'-0"



overall opaque wall 2,785 sf
required 80% wall = masonry or 2,228 sf
have 2,243 sf
approx linear length of masonry corners = 600'

01 WEST ELEVATION

scale: 1/8" = 1'-0"