

EAST BOULEVARD MIXED-USE DEVELOPMENT

FOR
RICHTER & ASSOCIATES, INC
AND
SUMMIT PROPERTIES

SUMMARY OF ADJOINING PROPERTY OWNERS

A	123-121-05	Frugal Investments	PO Box 1014	Monroe, NC 28111
B	123-127-17	Growth Equities Corp.	864 Cherokee Rd.	Charlotte, NC 28207
C	123-127-18	Clara S. Barnes	2125 Sunderland Pl.	Charlotte, NC 28211
D	123-127-19	Century Pension Income Fund % Real Estate Tax Services	PO Box 723427	Atlanta, GA 31139
E	123-127-20	Ernest J. Nachman	1624 Kenilworth Ave.	Charlotte, NC 28203
F	123-122-06	Billie Jean Bonner	301 East Park Ave.	Charlotte, NC 28203
G	123-122-07	David L. Barker	412 Livingston Dr.	Charlotte, NC 28211
H	123-122-08	Southeast Capital Facilities, LLC	PO Box 32861	Charlotte, NC 28232
I	153-025-08	Joseph Lennox Federal Johnson Zeke Heirs, LLC	1701 Scott Ave. PO Box 35329	Charlotte, NC 28203 Charlotte, NC 28235
K	153-025-10	Robert H. Morrison	1409 East Blvd.	Charlotte, NC 28203
L	153-025-11	Robert H. Morrison	1409 East Blvd.	Charlotte, NC 28203
M	153-025-12	Paul G. Hughs	8919 Park Rd. DC-30	Charlotte, NC 28210
N	151-015-10	Dilworth Gardens, LLC	PO Box 20753	Charlotte, NC 28222
O	151-016-03	JNC Properties	3329 Colony Rd.	Charlotte, NC 28211
P	151-016-04	Gibson Reese	1300 East Blvd.	Charlotte, NC 28203
Q	123-121-06	South Star Holdings, Dilworth	200 Providence Rd. Suite 106	Charlotte, NC 28207

SUMMARY OF PROPERTY OWNERS

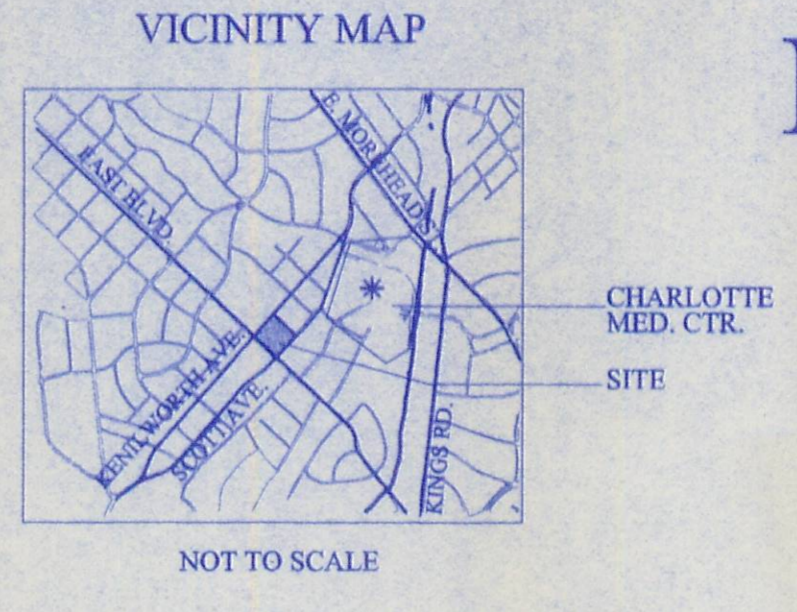
1	123-121-11	Suzanne Vercoe	4409 Columbine Ct.	Charlotte, NC 28226
2	123-121-10	William A. Jarrell	2037 Radcliff Dr.	Charlotte, NC 28207
3	123-121-09	Robert E. Stack	1719 Walden Pond Ln.	Charlotte, NC 28173
4	123-121-07	Pebble Hill Associates	317 Mill Hill Rd.	Mill Neck, NY 11765
5		NOT USED		
6	123-121-12	Glenna Ayers Deborah Rabe	1712 Scott Ave.	Charlotte, NC 28203
7	123-121-13	Janet S. Thompson	2621 Croydon Rd.	Charlotte, NC 28209
8	123-121-14	Charlotte-Mecklenburg Hospital Authority	1618 Scott Ave.	Charlotte, NC 28203
9	123-121-15	Charlotte-Mecklenburg Hospital Authority	1618 Scott Ave.	Charlotte, NC 28203
10	123-121-16	Louise B. Boyd	181 Colville Rd.	Charlotte, NC 28207
11	123-121-01	Louise B. Boyd	181 Colville Rd.	Charlotte, NC 28207

SITE DATA

TOTAL SITE AREA: 2.859 AC
124,570.45 SF

EXISTING ZONINGS: B-1, O-2
EXISTING USE: RETAIL, OFFICE RESIDENTIAL

PROPOSED ZONING: MUDD-CD
PROPOSED USE: MIXED USE
• COMMERCIAL
• OFFICE
• MULTI-FAMILY
• RESIDENTIAL



*Suppl. replacement
(shd. 1)
98-104
123121 01,07,09-16*

PETITIONER: RICHTER & ASSOCIATES, INC.
6201 FAIRVIEW RD.
SUITE 200
CHARLOTTE, NC 28210
p: 333-2262
f: 333-4199

DEVELOPERS: RICHTER & ASSOCIATES, INC.
6201 FAIRVIEW RD.
SUITE 200
CHARLOTTE, NC 28210
p: 333-2262
f: 333-4199

SUMMIT PROPERTIES
212 SOUTH TRYON ST.
SUITE 500
CHARLOTTE, NC 28281
p: 334-9905
f: 333-6114

ARCHITECT: FMK ARCHITECTS
220 N. TRYON ST., SUITE 400
CHARLOTTE, NC 28202
p: 375-9950
f: 375-3555

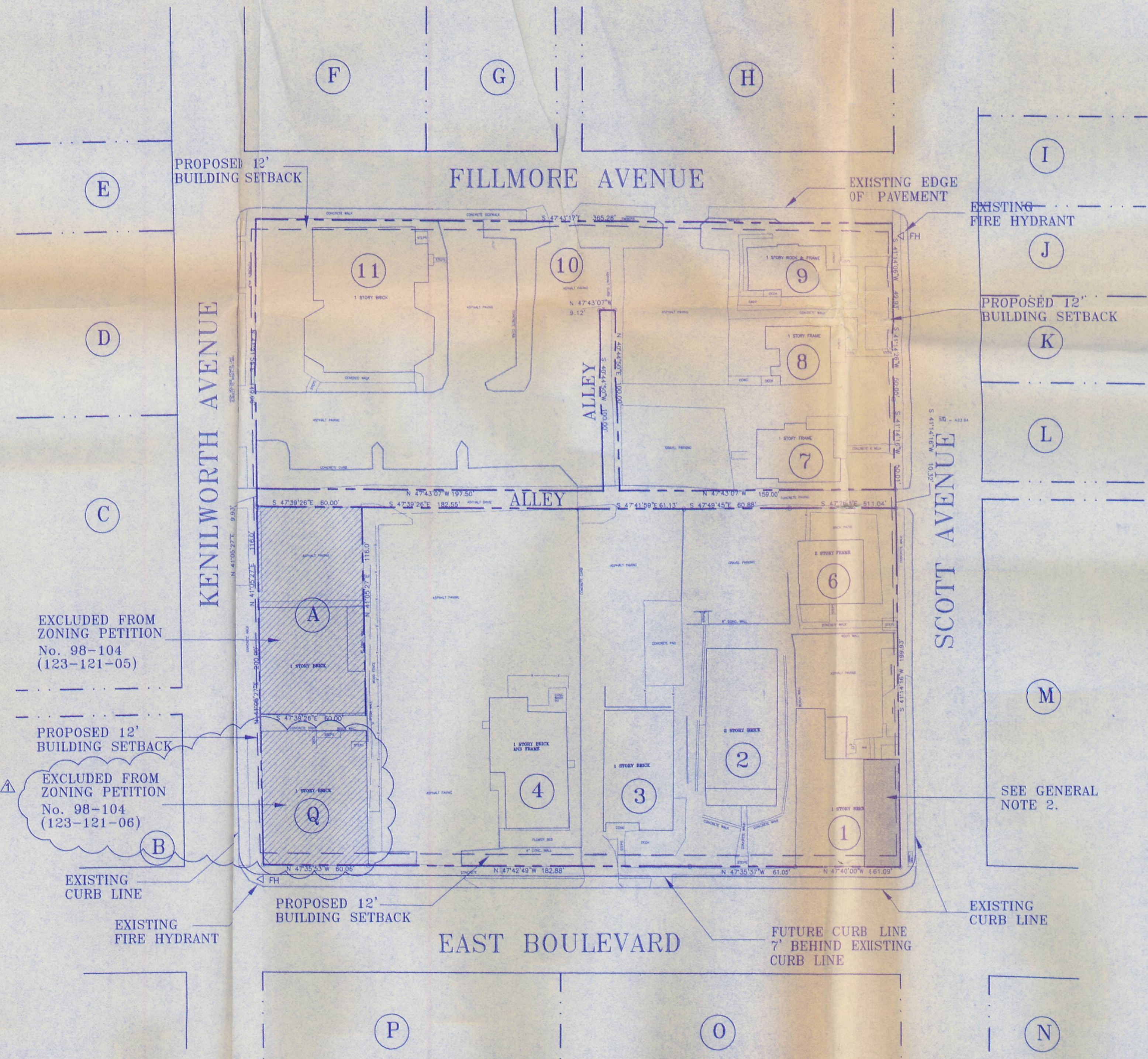
LAND PLANNER: LANDDESIGN
1701 EAST BLVD.
CHARLOTTE, NC 28203
p: 333-0325
f: 332-3246

SURVEYOR: CLONINGER SURVEYING
AND MAPPING
318 SOUTH ST.
GASTONIA, NC 28052
p: 864-9007
f: 864-9007

APPROVED BY CITY COUNCIL
DATE: 6-21-99

GENERAL NOTES

- This zoning petition includes all parcels within the city block bordered by East Boulevard, Kenilworth Avenue, Fillmore Avenue, and Scott Avenue excluding Tax Parcel 123-121-05 referenced under adjoining property owners, Parcel A.
- The majority of structures within the rezoning boundary will be demolished with the following exceptions:
 - The eastern most portion of Building Parcel 1, currently leased to "Urban Evolution" through 2007, may remain as part of the redeveloped block until the terms of the lease agreement expire. The Petitioner/Developer reserves the right to demolish this portion of the structure during or following the lease agreement and construct retail space compliant with the approved conditional site plan, development tabulations, and general MUDD District requirements.
 - Not Used.
- Existing curb lines or edge of pavement lines are indicated on the plan. The required 12' building setbacks shall be measured from the back of existing or proposed curb as follows:
 - East Boulevard - to accommodate future left turn lanes, the future curb location shall shift 7 feet behind the existing curb line. The building setback line shall be established 12' behind the future back of curb location.
 - Scott Avenue - the building setback line shall be established 12 feet behind the existing back of curb.
 - Fillmore Avenue - curb does not currently exist along Fillmore Avenue. The proposed curb line shall be established to maintain 20 feet minimum of pavement of roadway width measured from face of proposed curb to opposite edge of pavement.
 - Kenilworth Avenue - the building setback line shall be established 15 feet behind the existing back of curb.
- The Schematic Site Plans, Sheet Nos. 2, 3, and 4 are conceptual and generally typify the design intent and proposed development concept. As the site plan and building plans develop during the design development and construction document phases, plans may be modified within the parameters of the maximum building thresholds established in the development tabulations and the conditional requirements established in the general notes.
- The development tabulations establish the maximum thresholds for development including building height, square footages by use, and residential units.
- Building elevations are schematic and generally typify the design intent of the building facades. Building elevations may be altered without significant change to building character or materials proposed. Street walls must contain doors and windows with clear glass. The street walls exceeding 20 feet in length shall not be permitted. Doors must not open into the 12 foot setback.
- Driveway connections are proposed on East Boulevard, Scott Avenue, and Kenilworth Avenue. Access points will require a driveway permit subject to review and approval by the Charlotte Department of Transportation (CDOT). Exact driveway locations, types, and widths may be modified to align with existing opposite driveways or comply with City Driveway Regulations. Sight triangles (10x10) measured from the building setback line to driveway face of curb, shall be provided. On one-way streets, sight triangles shall be required only for applicable directions.
- Sight triangles at intersections (35x35) shall not apply to the MUDD District and this project. However, (10x10) sight triangles shall be maintained at street intersections as measured from the proposed or existing face of curb.
- Parking is proposed within a two level parking structure partially below grade and internal to the site. Parking shall meet or exceed minimum parking requirements as indicated in the development tabulations. Existing retail space (Building/parcel 5) shall be excluded from parking requirement tabulations. On-street parallel parking may be established but shall not be required on Fillmore Avenue and maintained on Kenilworth Avenue along the existing curb line. Locations and quantities shall be subject to CDOT review and approval.
- A 6' planting strip shall be installed between the back of curb and sidewalk along all four public street frontages. Along East Boulevard, a 13' planting strip shall be provided to accommodate the future curb location (See Note 3a). Required street trees shall be planted in the middle of the future 6 foot strip or 10' behind existing back of curb, excluding frontage where existing structures remain (i.e. Parcels, Buildings 1 and 5).
- A 6 foot sidewalk shall be provided behind the planting strip along all four street frontages.
- Street trees must be provided as follows:
 - Large Maturing - 1 per 35 linear feet
 - Small Maturing - 1 per 24 linear feet
 Street trees must comply with City Zoning Code Section 9.8506.2e. Trees may be planted in tree pits within a 12' sidewalk in lieu of a 6 foot planting strip (See Note 9). Street trees shall comply with overhead power lines and associated utility easement planting restrictions.
- A permit to plant trees within the public street right-of-way must be obtained from the City Arborist.
- A right-of-way encroachment agreement is required for non-standard improvements proposed within the public street right-of-way including irrigation and specialty paving.
- Proposed lighting detached from the building shall be limited to ten feet in height, excluding perimeter street lights. Wall mounted, pack type lighting shall not be permitted on the building.
- Two loading spaces shall be provided on site and one curb side space shall be provided on Fillmore Street.
- The site shall comply with the City Zoning Code, Section 12.303 pertaining to screening requirements. Dumpsters shall be screened with solid walled enclosures and gates.
- All building side yard and rear yard requirements shall comply with City Zoning Code Section 9.815.
- As part of the development plan, existing alleysways on site are proposed to be abandoned. Alleysways must be abandoned prior to the issuance of building and driveway permits. Contact Ms. Linda Poissant, CDOT, 336-2562.
- The proposed project shall comply with all City Storm Water Management Code Requirements.
- The Petitioner/Developer shall dedicate right-of-way, measuring 32.5 feet from centerline of existing pavement width of East Boulevard, to accommodate the future curbline and required planting strip. The amount requested for dedication varies from 2.5 to 6 feet.
- Should substantial congestion or accidents increase as a direct result of left turn movement at the East Boulevard driveway, CDOT reserves the right to restrict or prohibit the left turn movement.



BUILDING TABULATIONS

Residential Square Footage Shown:	274,832 sf
Residential Circulation Square Footage Shown:	50,264 sf
Total Residential Square Footage Shown:	325,096 sf
Approximate Number of Residential Units Based on 1,050 sf per Unit:	260
Maximum Retail/Office Square Footage:	50,000
Maximum Retail Retail Removed From Site:	20,000 sf
Maximum Building Height: (Measured from mid-block on East Blvd. & on Fillmore St.)	72 feet
Residential Parking Required/Minimum Provided: (1 Space/Unit)	260 Spaces 260 Spaces
Commercial Parking Required/Minimum Provided: (1 Space/600 sf)	84 Spaces 84 Spaces
Total Parking Provided:	344 Spaces

0 40 80 120

SCALE: 1" = 40'

TECHNICAL DATA SHEET

PETITION No. 98-104
FOR PUBLIC HEARING

Land Design

DATE: MARCH 8, 1999
PROJECT NO: 19010

REVISIONS:
3-8-99 ZONING RE-SUBMISSION
4-16-99 ZONING RE-SUBMISSION
8-30-99 REVISED PER APP'VD PLAN (6-21-99)

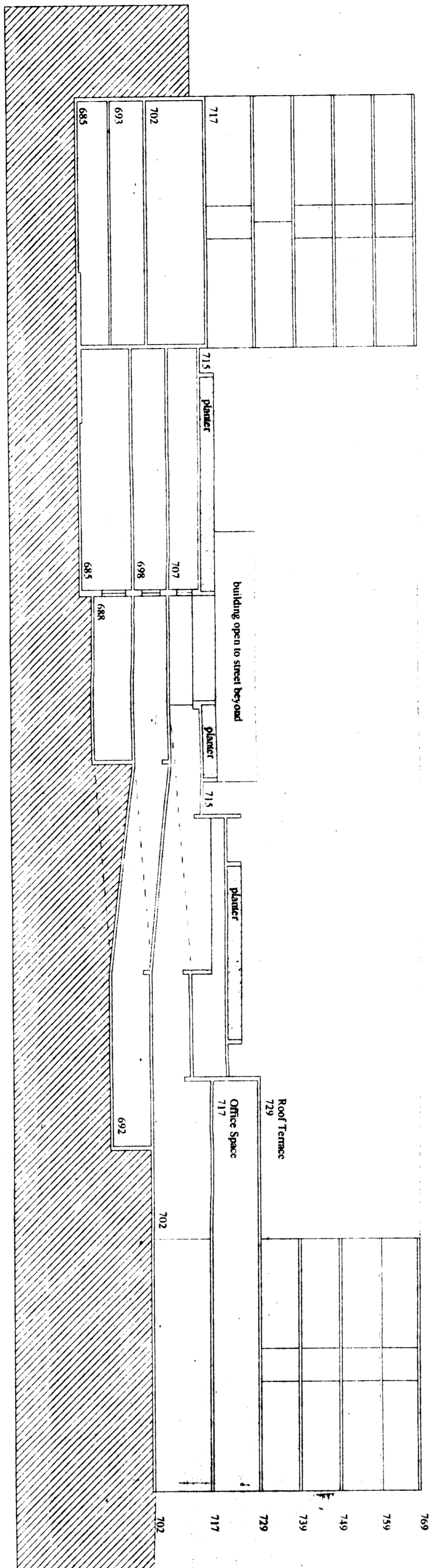
© 1701 East Boulevard, Charlotte, NC 28203 704/333-0395
© 1414 Prince Street, Alexandria, VA 22314 703/549-7784
© 164 NW Broad St., Southern Pines, NC 28387 910/692-2788
© 135 2nd Ave. Ste 201, Franklin, TN 37060 615/591-1164

LandDesign, Inc.
Landscape Architecture Urban Design Land Planning

SHEET NO: 1 OF 7
FILE NAME: g:\19010\dwg\rezone\TDS.dwg

NOTE: SURVEY INFORMATION PROVIDED BY CLONINGER SURVEYING AND MAPPING, DATED OCTOBER, 1998

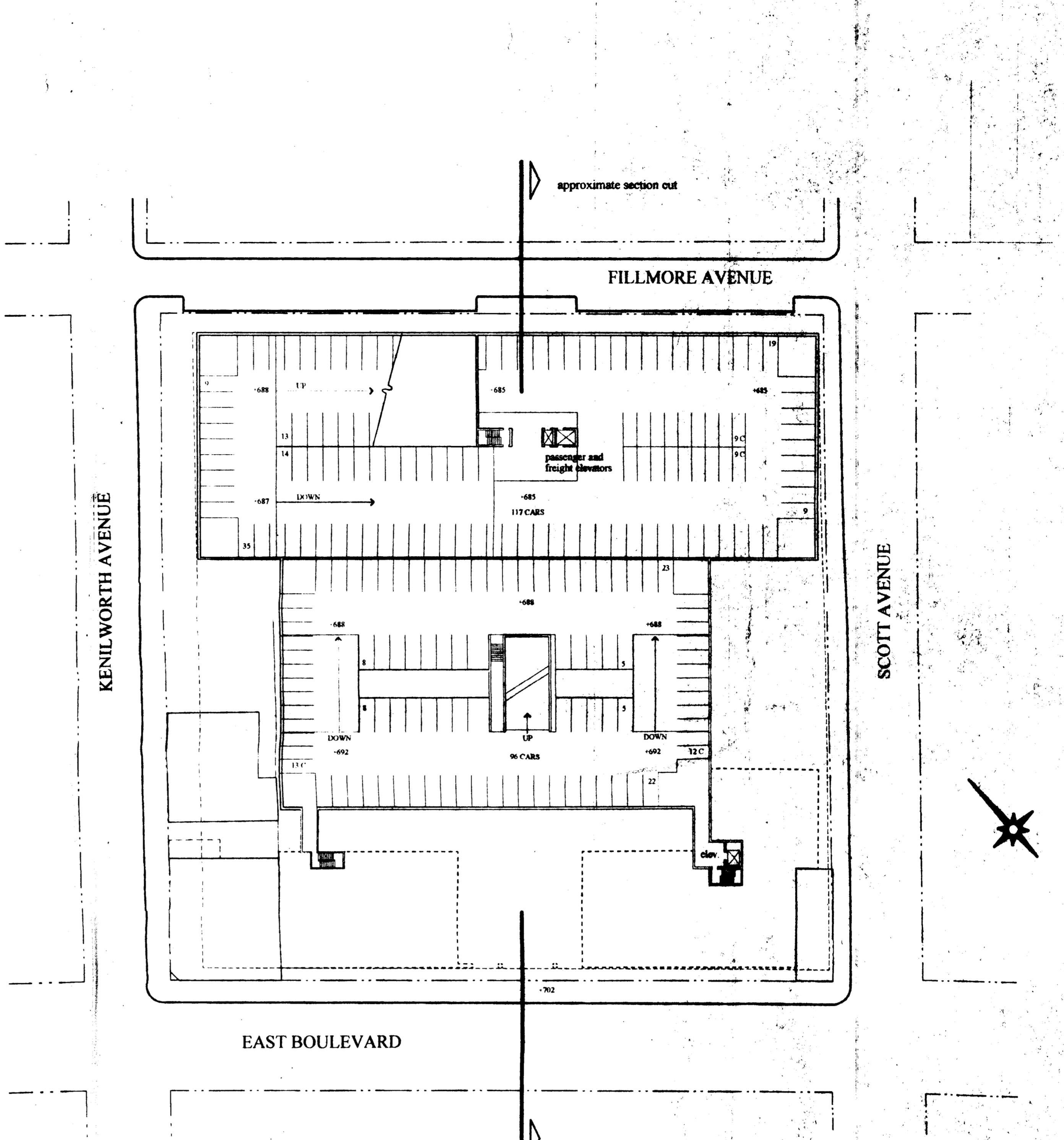
BUILDING SECTION
Scale: 1" = 20'



Building Tabulations

Residential Square Footage Shown:	274,832 sf
Residential Circulation Square Footage Shown:	50,264 sf
Total Residential Square Footage Shown:	325,096 sf
Approximate Number of Residential Units Based on 1,050 sf per Unit:	260
Maximum Retail / Office Square Footage:	50,000 sf
Existing Retail Removed From Site:	20,000 sf
Residential Parking Required / Minimum Provided:	1 space per unit
Commercial Parking Required / Minimum Provided:	1 space per 600 sf

Level -1
GARAGE LEVEL



FISHER
MCGUIRE
KRUEGER

ARCHITECTS

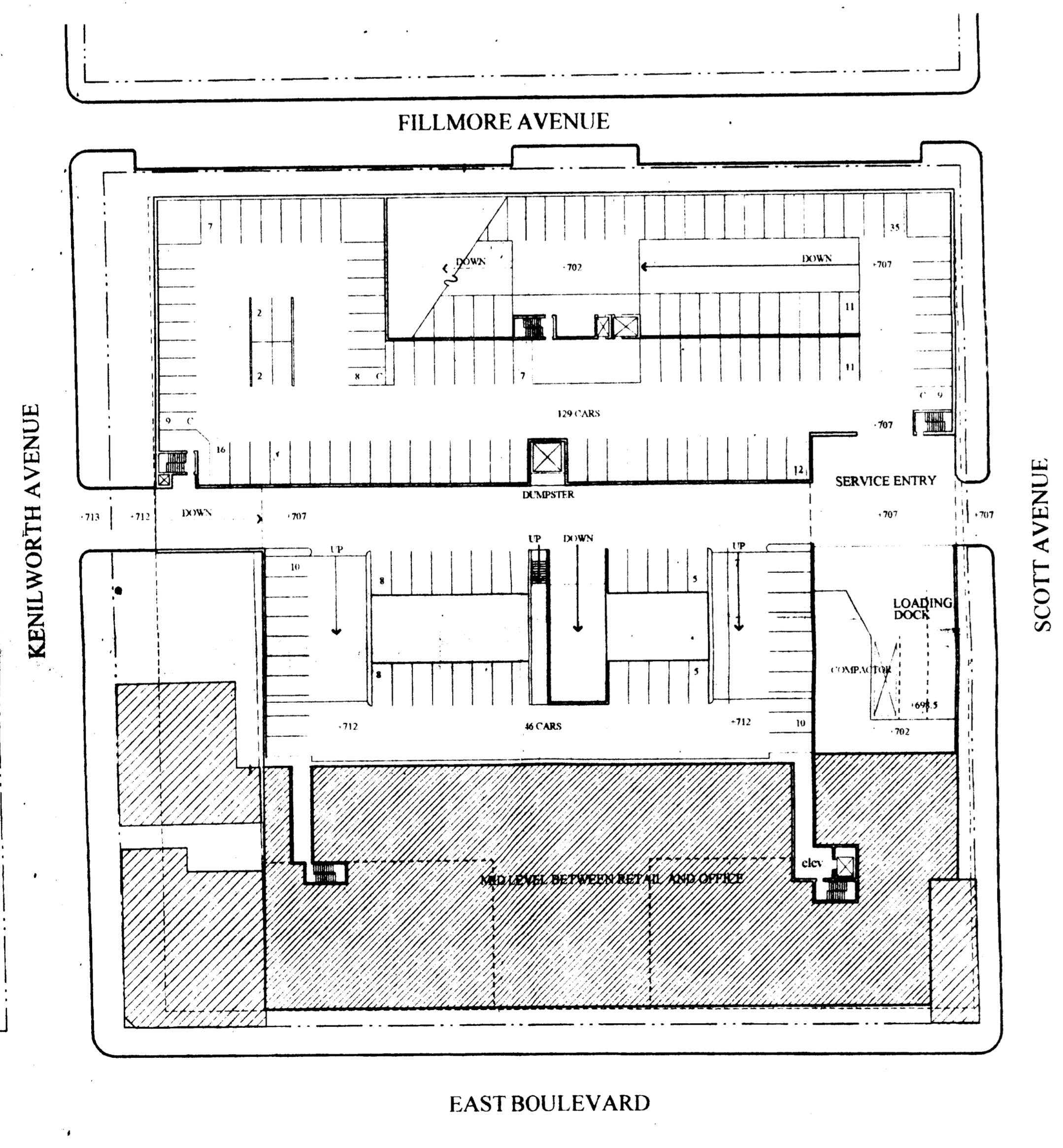
220 N. Tryon Street, Suite 200
Charlotte, North Carolina 28202
704-375-0222 Fax: 704-375-0223

East Boulevard
Mixed Use Development
for
Richner & Associates and Summit Properties
Charlotte, North Carolina

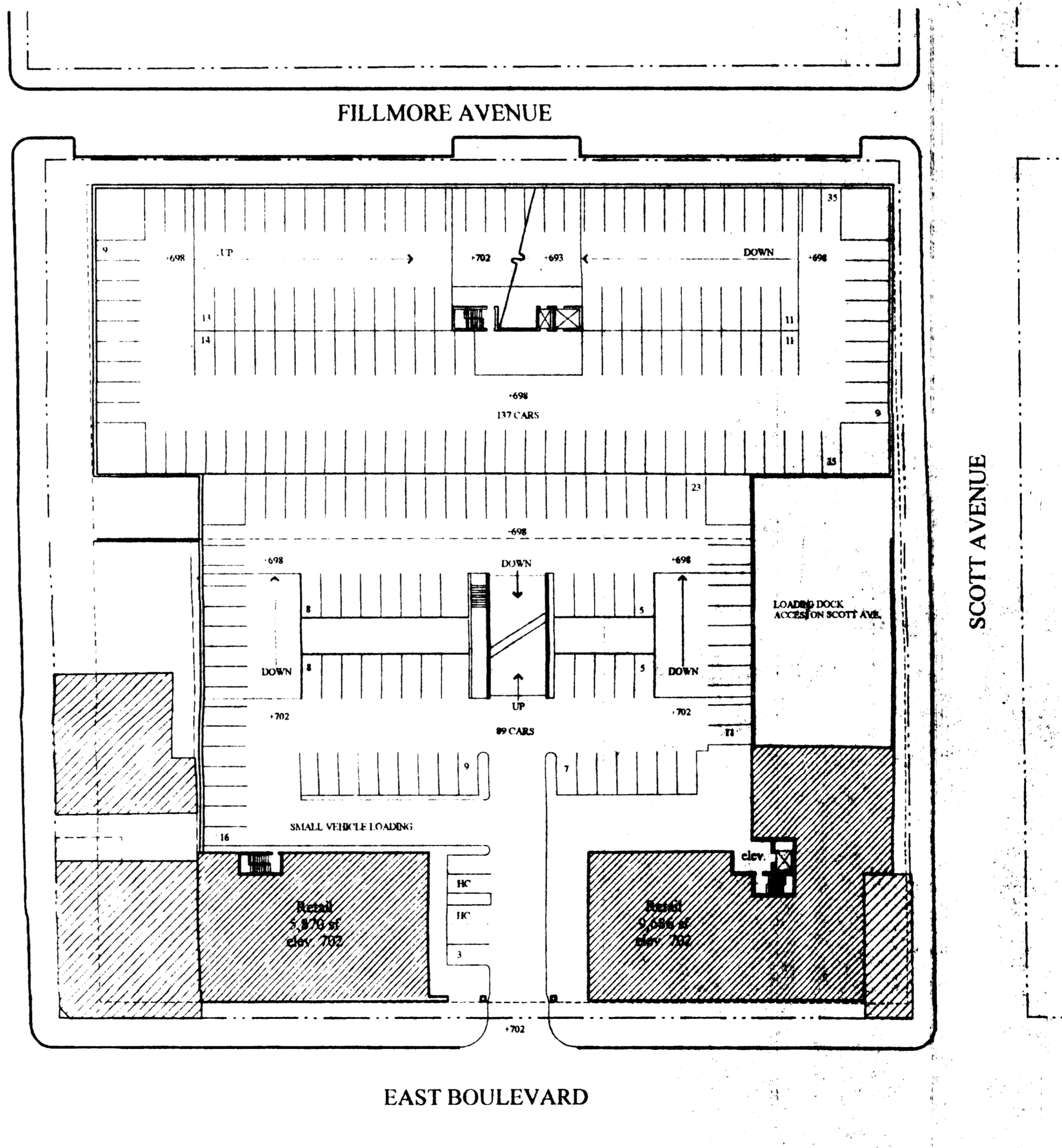
16 April 1999

7 - 40 FOOT FACTOR IS
THE SHOWN IS AN APPROXIMATE OF APPROX. THE
SHOWN AND IS NOT TO BE USED FOR THE PROPERTY
OR CONSTRUCTION. THESE ARE NOT TO BE USED FOR
THE PURPOSES OF RECORD, WHICH ARE THE PROPERTY
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Level 1
GARAGE LEVEL (Entry From Scott and Kenilworth)



Level +0
GARAGE LEVEL (Entry From East Boulevard)



FISHER
MCGUIRE
KRUEGER

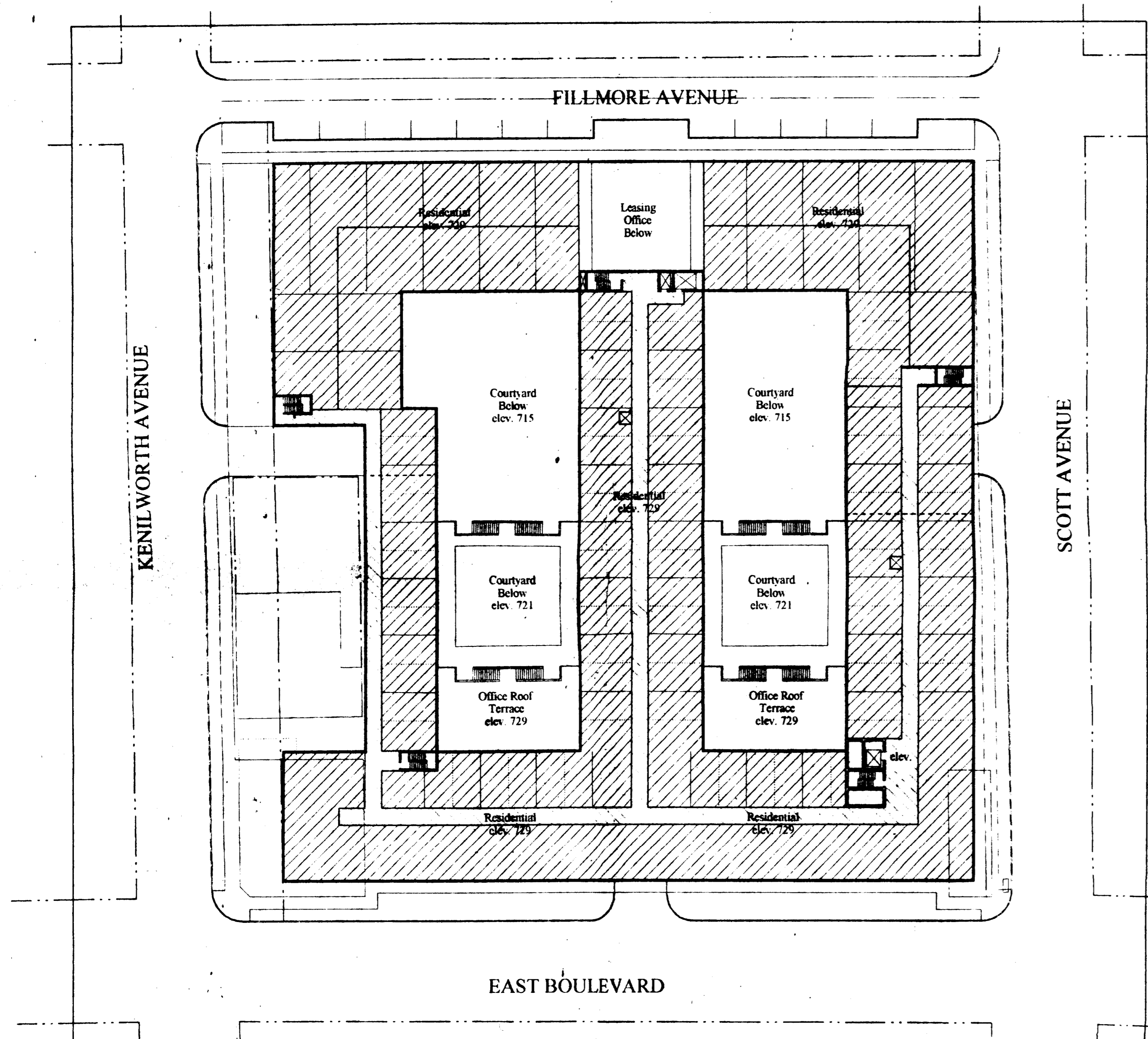
ARCHITECTS

220 N. Tryon Street, Suite 200
Charlotte, North Carolina 28202
704-375-0222 Fax: 704-375-0223

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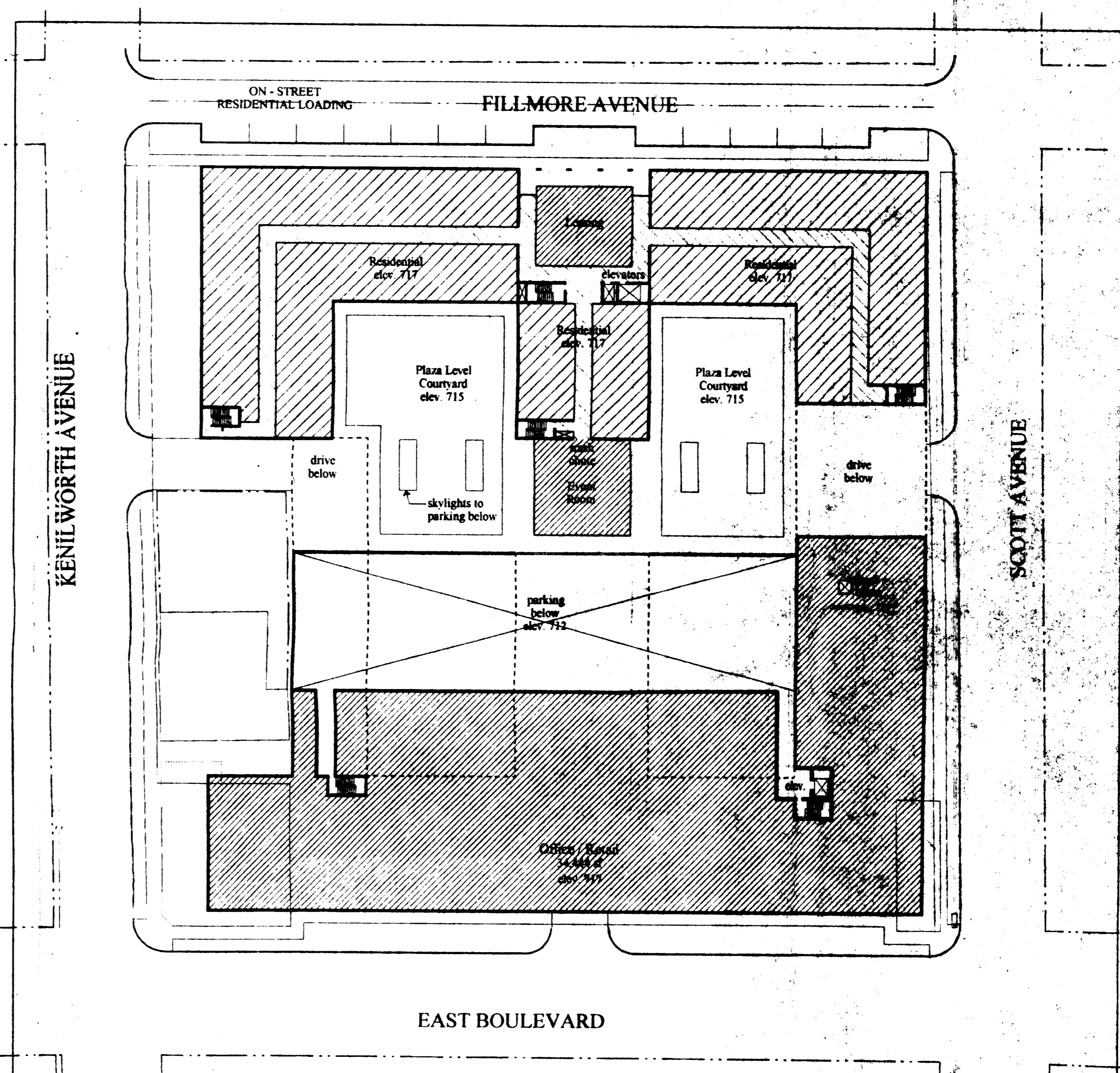
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Level 3

Residential: 63,738 sf
 Residential Circulation: 8,254 sf
 Courtyard: 9,669 sf
 Roof Terrace: 5,466 sf



Level 2

Residential: 22,781 sf
 Residential Circulation: 4,990 sf
 Leasing Office: 1,638 sf
 Dress Room: 1,936 sf
 Credit Office: 34,444 sf
 Courtyard: 16,800 sf



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220 N. Tryon Street, Suite 400
 Charlotte, North Carolina 28202
 704-375-0000 for Project Office

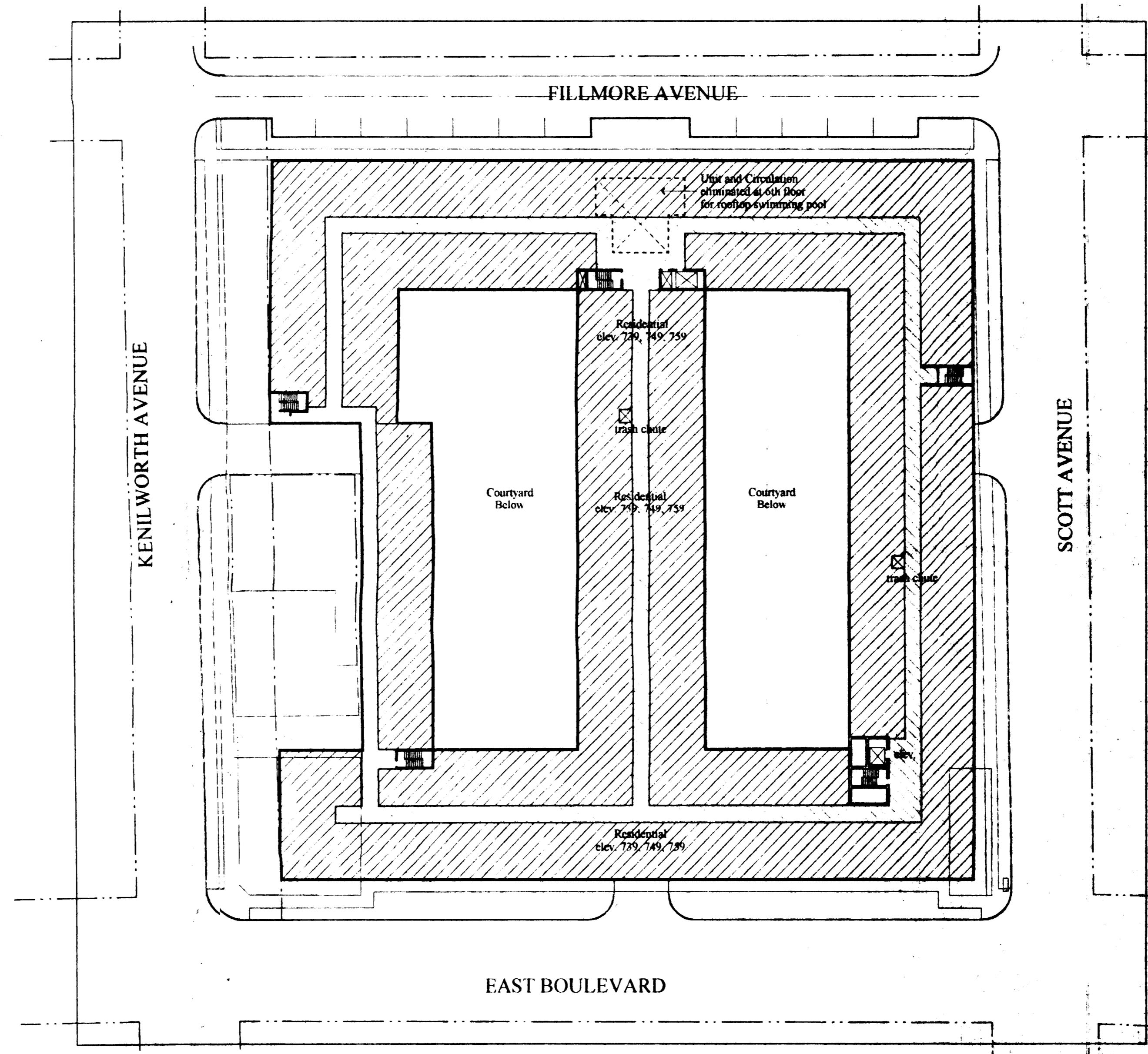
East Boulevard
 Mixed Use Development

for
 Richter & Associates and Summit Properties
 Charlotte, North Carolina

16 April 1999

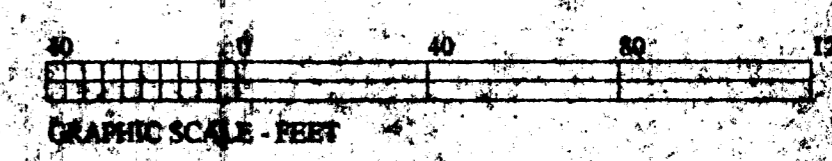
4 of 7

7 - 40 ASH FACTOR 03
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Levels 4, 5, 6

Residential (per floor): 62,771 sf
 Residential Circulation (per floor): 12,340 sf



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 MCGUIRE
 KRUEGER

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220 N. Tryon Street, Suite 400
 Charlotte, North Carolina 28202

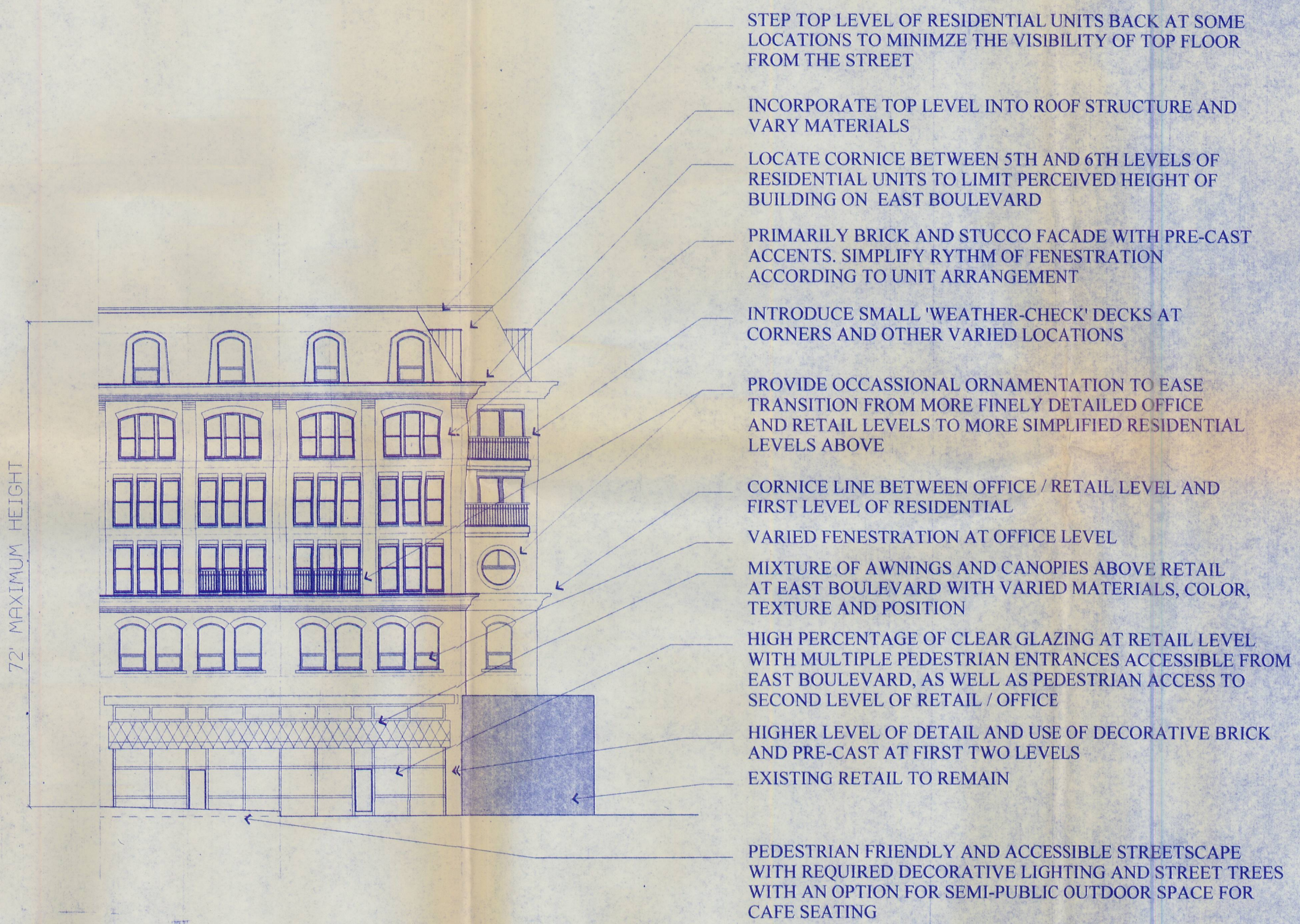
East Boulevard
 Mixed Use Development

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5 of 7

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STEP TOP LEVEL OF RESIDENTIAL UNITS BACK AT SOME LOCATIONS TO MINIMIZE THE VISIBILITY OF TOP FLOOR FROM THE STREET

INCORPORATE TOP LEVEL INTO ROOF STRUCTURE AND VARY MATERIALS

LOCATE CORNICE BETWEEN 5TH AND 6TH LEVELS OF RESIDENTIAL UNITS TO LIMIT PERCEIVED HEIGHT OF BUILDING ON EAST BOULEVARD

PRIMARILY BRICK AND STUCCO FACADE WITH PRE-CAST ACCENTS. SIMPLIFY RYTHM OF FENESTRATION ACCORDING TO UNIT ARRANGEMENT

INTRODUCE SMALL 'WEATHER-CHECK' DECKS AT CORNERS AND OTHER VARIED LOCATIONS

PROVIDE OCCASSIONAL ORNAMENTATION TO EASE TRANSITION FROM MORE FINELY DETAILED OFFICE AND RETAIL LEVELS TO MORE SIMPLIFIED RESIDENTIAL LEVELS ABOVE

CORNICE LINE BETWEEN OFFICE / RETAIL LEVEL AND FIRST LEVEL OF RESIDENTIAL

VARIED FENESTRATION AT OFFICE LEVEL

MIXTURE OF AWNINGS AND CANOPIES ABOVE RETAIL AT EAST BOULEVARD WITH VARIED MATERIALS, COLOR, TEXTURE AND POSITION

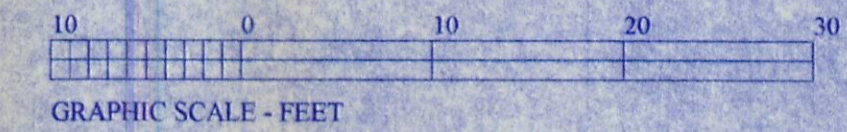
HIGH PERCENTAGE OF CLEAR GLAZING AT RETAIL LEVEL WITH MULTIPLE PEDESTRIAN ENTRANCES ACCESSIBLE FROM EAST BOULEVARD, AS WELL AS PEDESTRIAN ACCESS TO SECOND LEVEL OF RETAIL / OFFICE

HIGHER LEVEL OF DETAIL AND USE OF DECORATIVE BRICK AND PRE-CAST AT FIRST TWO LEVELS

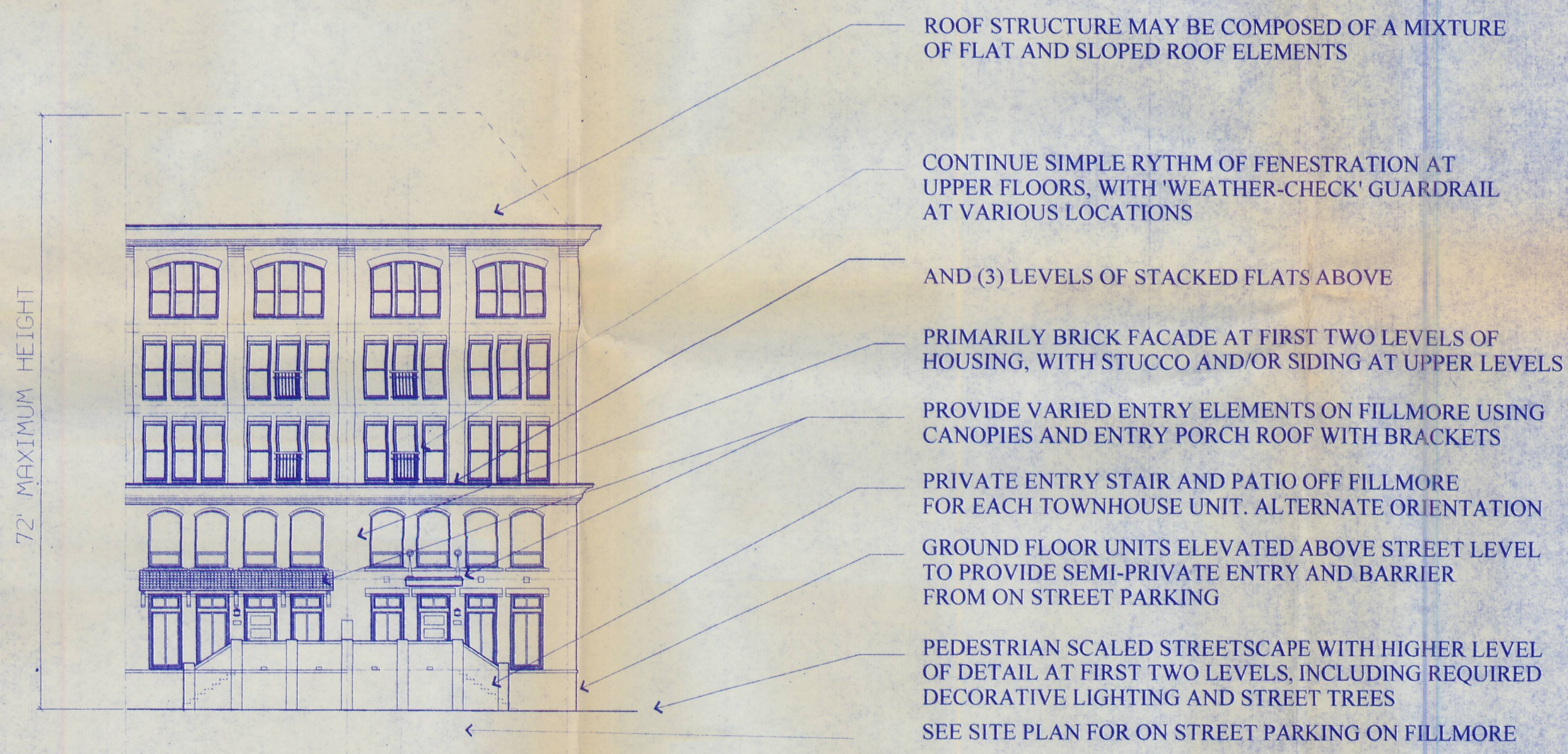
EXISTING RETAIL TO REMAIN

PEDESTRIAN FRIENDLY AND ACCESSIBLE STREETScape WITH REQUIRED DECORATIVE LIGHTING AND STREET TREES WITH AN OPTION FOR SEMI-PUBLIC OUTDOOR SPACE FOR CAFE SEATING

EAST BOULEVARD - PARTIAL ILLUSTRATIVE ELEVATION



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ROOF STRUCTURE MAY BE COMPOSED OF A MIXTURE OF FLAT AND SLOPED ROOF ELEMENTS

CONTINUE SIMPLE RYTHM OF FENESTRATION AT UPPER FLOORS, WITH 'WEATHER-CHECK' GUARDRAIL AT VARIOUS LOCATIONS

AND (3) LEVELS OF STACKED FLATS ABOVE

PRIMARILY BRICK FACADE AT FIRST TWO LEVELS OF HOUSING, WITH STUCCO AND/OR SIDING AT UPPER LEVELS

PROVIDE VARIED ENTRY ELEMENTS ON FILLMORE USING CANOPIES AND ENTRY PORCH ROOF WITH BRACKETS

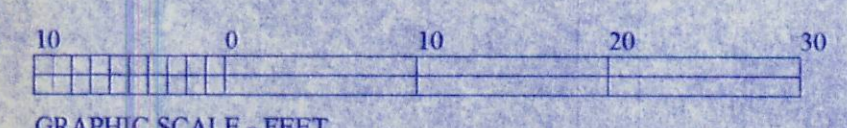
PRIVATE ENTRY STAIR AND PATIO OFF FILLMORE FOR EACH TOWNHOUSE UNIT. ALTERNATE ORIENTATION

GROUND FLOOR UNITS ELEVATED ABOVE STREET LEVEL TO PROVIDE SEMI-PRIVATE ENTRY AND BARRIER FROM ON STREET PARKING

PEDESTRIAN SCALED STREETScape WITH HIGHER LEVEL OF DETAIL AT FIRST TWO LEVELS, INCLUDING REQUIRED DECORATIVE LIGHTING AND STREET TREES

SEE SITE PLAN FOR ON STREET PARKING ON FILLMORE

FILLMORE AVENUE - PARTIAL ILLUSTRATIVE ELEVATION



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