

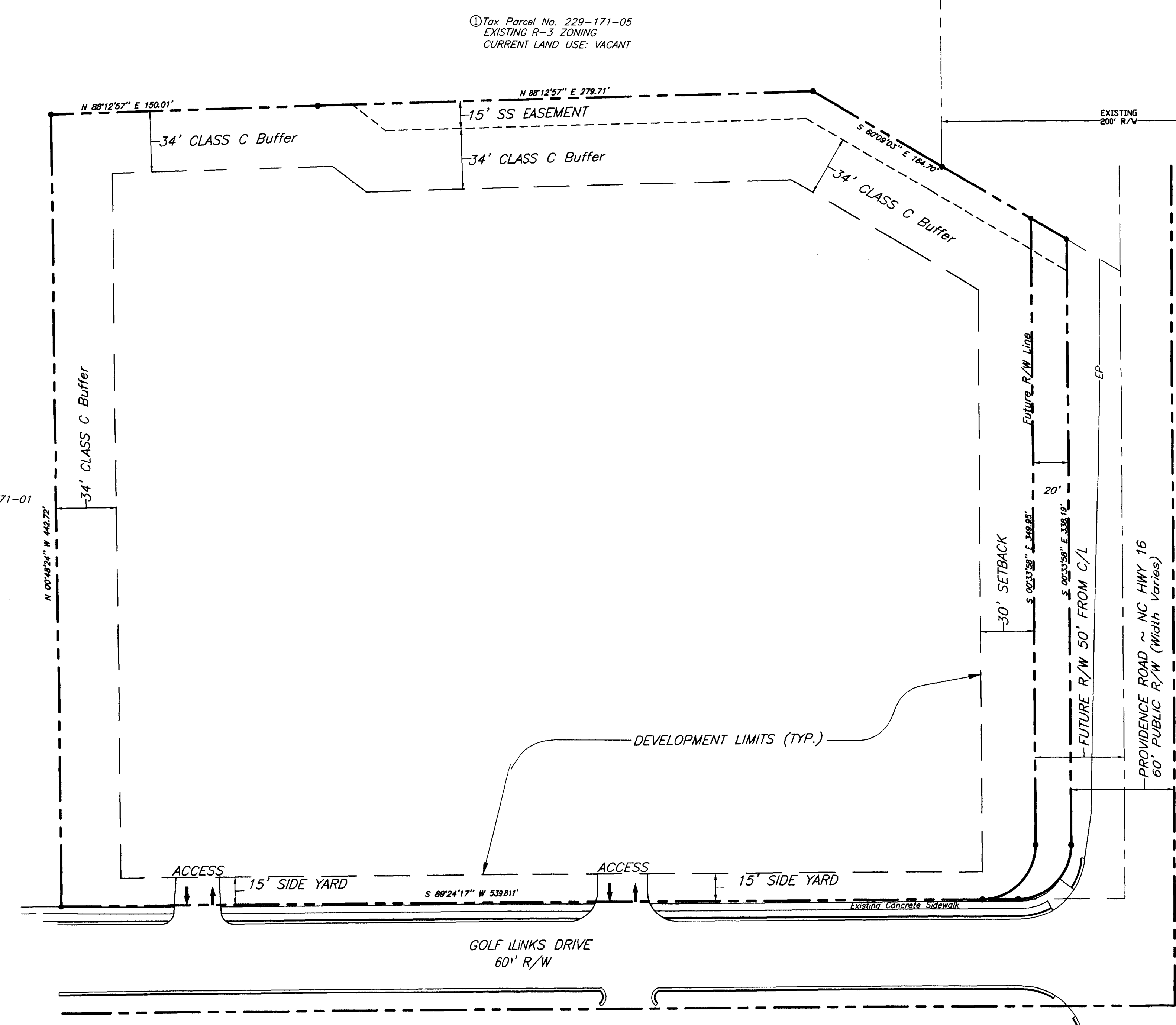
**CONDITIONAL NOTES:**

- TAX PARCEL # 229-171-03
- 5.73 ACRES
- EXISTING R-3
- PROPOSED ZONING: O-1 (CD)
- PROPOSED USES: ALL USES ALLOWED IN THE O-1 DISTRICT (INCLUDING THOSE ALLOWED UNDER PRESCRIBED CONDITIONS), EXCEPT HOTELS, MOTELS, RESTAURANTS, AND MEDICAL OFFICES EXCEEDING 31,000 SF (SEE NOTE 18)
- MAX. SQUARE FOOTAGE: 42,000 SF

THIS DRAWING IS THE PROPERTY OF JAMES MCGOVERN & ASSOCIATES CONSULTING ENGINEERS AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. IF IT IS NOT TO BE USED IN ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

**JMA**  
 600 Town Center Blvd. Suite 100  
 Charlotte, North Carolina 28134  
 (704) 888-8000  
 James McGovern & Associates  
 Consulting Engineers

- CONDITIONAL NOTES:**
1. THE SITE PLAN CONSISTS OF THE TECHNICAL DATA SHEET AND THE ILLUSTRATIVE PLAN. THE TECHNICAL DATA SHEET CONTAINS ALL DEVELOPMENT NOTES AND CONDITIONS REGARDING SUCH THINGS AS VEHICULAR ACCESS POINTS, BUFFERS, SETBACK/YARD DIMENSIONS, GENERALIZED BUILDING/PARKING/CIRCULATION AREAS, DEVELOPMENT INTENSITY, ETC. THE ILLUSTRATIVE PLAN DEPICTS A DEVELOPMENT SCENARIO BASED UPON THE CONDITIONS IMPOSED BY THE TECHNICAL DATA SHEET. HOWEVER, OTHER DEVELOPMENT SCENARIOS ARE PERMITTED AS A MATTER OF RIGHT, WHICH ALLOWS ALTERNATIVES TO THE ARRANGEMENT OF BUILDING/PARKING/CIRCULATION AREAS, BUILDING FOOTPRINTS AND SHAPES, ETC. SUCH CHANGES SHALL STILL REFLECT THE "NEO-TRADITIONAL" STYLE LAYOUT OF THE SITE AS GENERALLY DEPICTED ON THE PLAN.
  2. THE PROPOSED DEVELOPMENT SHALL COMPLY WITH ALL APPLICABLE CITY OF CHARLOTTE REGULATIONS PERTAINING TO OFF-STREET PARKING, SIGNAGE, BUFFERS/LANDSCAPING, SCREENING, DRAINAGE, TREE ORDINANCE, ETC.
  3. THE NUMBER OF VEHICULAR ACCESS TO THE SITE SHALL BE LIMITED TO THE POINTS OF INGRESS/EGRESS AS SHOWN ON THE SITE PLAN. HOWEVER, THE LOCATIONS MAY VARY SOMEWHAT FROM THAT DEPICTED. THE LOCATION AND DESIGN SHALL COMPLY WITH ALL APPLICABLE STANDARDS AND REQUIREMENTS OF THE CHARLOTTE DEPARTMENT OF TRANSPORTATION.
  4. MAXIMUM BUILDING HEIGHTS SHALL BE TWO STORIES (MAY INCLUDE ATTIC AND/OR FINISHED SPACE WITHIN THE AREA HEIGHT OF THE ROOF).
  5. A CLASS "C" BUFFER SHALL BE ESTABLISHED WHERE THERE IS INSUFFICIENT NATURAL VEGETATION TO COMPLY WITH MINIMUM BUFFER STANDARDS. THE BUFFER SHALL BE IMPROVED WITH NEW LANDSCAPING IN ACCORDANCE WITH APPLICABLE STANDARDS.
  6. A 30 FOOT SETBACK MEASURED FROM THE FUTURE R/W LINE SHALL BE ESTABLISHED ALONG THE SITE'S PROVIDENCE ROAD FRONTAGE. A FUTURE R/W MEASURING 50 FEET FROM THE CL OF PROVIDENCE ROAD SHALL BE ESTABLISHED AS SHOWN. PETITIONER SHALL DEDICATE THE NEW R/W AREA PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT ASSOCIATED WITH THE PROPOSED DEVELOPMENT.
  7. STORM WATER DETENTION SHALL NOT BE LOCATED IN THE SETBACK AREAS OR THE BUFFER AREAS.
  8. MAXIMUM HEIGHT OF BUILDING LIGHTING SHALL BE 30 FEET. LIGHTING SHALL BE DESIGNED IN A MANNER TO SHIELD/DIRECT LIGHTING GLARE AWAY FROM RESIDENTIAL AREAS.
  9. BUFFERS AREAS SHALL NOT BE REDUCED IN DEPTH FROM THAT DEPICTED ON THE PLAN.
  10. SCREENING SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 12.303 OF THE CITY OF CHARLOTTE ZONING ORDINANCE.
  11. BUFFERS SHALL REMAIN UNDISTURBED EXCEPT THAT ANY AREA WHICH ARE SPARSELY VEGETATED (VEGETATION LESS THAN 2" INCHES IN CALIPER) MAY BE CLEARED IF NECESSARY TO PROVIDE FOR THE DEVELOPMENT OF THE SITE, AND TO ACCOMMODATE UTILITY EXTENSIONS ASSOCIATED WITH DEVELOPMENT. ANY CLEARED AREAS SHALL BE REPLANTED IN ACCORDANCE WITH APPLICABLE BUFFER REQUIREMENTS.
  12. TREES LOCATED WITHIN THE FRONT SETBACK AREA WHICH ARE 6 INCHES OR GREATER IN CALIPER SHALL BE PRESERVED OR MITIGATED PER CITY OF CHARLOTTE TREE ORDINANCE.
  13. THE MAXIMUM HEIGHT OF DETACHED POLE LIGHTS SHALL BE RESTRICTED TO 20 FEET.
  14. WALL PACK TYPE LIGHTING SHALL NOT BE ALLOWED.
  15. ALL DUMPSITE'S SHALL BE LOCATED WITHIN A SOLID ENCLOSURE WITH GATES.
  16. BUILDINGS ON THE SITE WILL BE CONSTRUCTED WITH BRICK AND/OR OTHER MASONRY FINISHING MATERIALS ON BOX OF THE EXTERIOR WALLS OF ANY BUILDING.
  17. THE PETITIONER/DEVELOPER SHALL INSTALL OR PAY THE CITY OF CHARLOTTE FOR FUTURE INSTALLATION DURING PROVIDENCE ROAD WIDENING OF A 5 FOOT SIDEWALK WITH AN 8 FOOT PLANTING STRIP ALONG THE SITE'S PROVIDENCE ROAD FRONTAGE. THIS SIDEWALK SHALL LINK TO OTHER INTERNAL SIDEWALKS ON THE SITE.
  18. PROPOSED USES FOR THE SITE SHALL INCLUDE THOSE ALLOWED IN THE O-1 DISTRICT, EXCEPT THAT HOTELS OR MOTELS, AND RESTAURANTS ALLOWED SHALL NOT BE PERMITTED. FURTHERMORE, ANY MEDICAL OFFICE USE (S) SHALL BE RESTRICTED TO A MAXIMUM OF 31,000 SQUARE FEET.
  19. BUILDINGS CONSTRUCTED ON THE SITE SHALL BE DESIGNED IN A MANNER WHICH REFLECTS A RESIDENTIAL STYLE AND SCALE. SPECIFICALLY UTILIZING RESIDENTIAL STYLE DOORS AND WINDOWS, MITIGATED WITH ETC.
  20. THE PETITIONER/DEVELOPER SHALL INSTALL A FIRE HYDRANT WITHIN 750 FEET OF THE MOST REMOTE BUILDING AS A FIRE TRUCK TRAVELS IF SUCH HYDRANT DOES NOT EXIST. FURTHERMORE, IF REQUIRED BY FIRE DEPARTMENT REGULATIONS, 4-HOUR FIRE WALLS AND/OR SPRINKLER SYSTEMS SHALL BE INSTALLED IN EACH BUILDING TO OFFSET ANY POTENTIAL MARGINAL WATER SUPPLY IN THE AREA.
  21. NO BUILDING ON THE SITE SHALL BE ISSUED A CERTIFICATE OF OCCUPANCY UNTIL THE PROPOSED PUBLIC STREET ALONG THE SITE'S SOUTHERLY BOUNDARY HAS BEEN CONSTRUCTED AND RECORDED AS A PUBLIC STREET WITH THE REGISTER OF DEEDS OFFICE.



① Tax Parcel No. 229-171-05  
 EXISTING R-3 ZONING  
 CURRENT LAND USE: VACANT

② Tax Parcel No. 229-171-01  
 (PORTION OF)  
 EXISTING R-3 ZONING  
 CURRENT LAND USE: CAROLINA GOLF LINKS

③ Tax Parcel No. 229-171-01  
 (PORTION OF)  
 EXISTING B-2 (CD) ZONING  
 AREA VILLAGE SHOPPING CENTER

④ Tax Parcel No. 231-131-05  
 EXISTING ZONING: R-3  
 CURRENT LAND USE: SINGLE FAMILY RESIDENTIAL

⑤ Tax Parcel No. 231-131-06  
 EXISTING ZONING: R-3  
 CURRENT LAND USE: SINGLE FAMILY RESIDENTIAL

ATTACHED TO ADMINISTRATIVE REVIEW

February 6, 2004

APPROVED BY: *[Signature]*

APPROVED BY: *[Signature]*

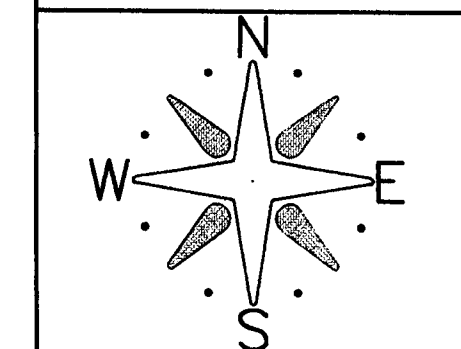
DEBRA CAMPBELL, JMA

98-116

PETITION #98-116 FOR PUBLIC HEARING

TECHNICAL DATA SHEET  
 PROVIDENCE ROAD NC HWY 16  
 PROJECT SHEET TITLE

PETITIONER: HARGETT, L.L.C.  
 CHARLOTTE, NC



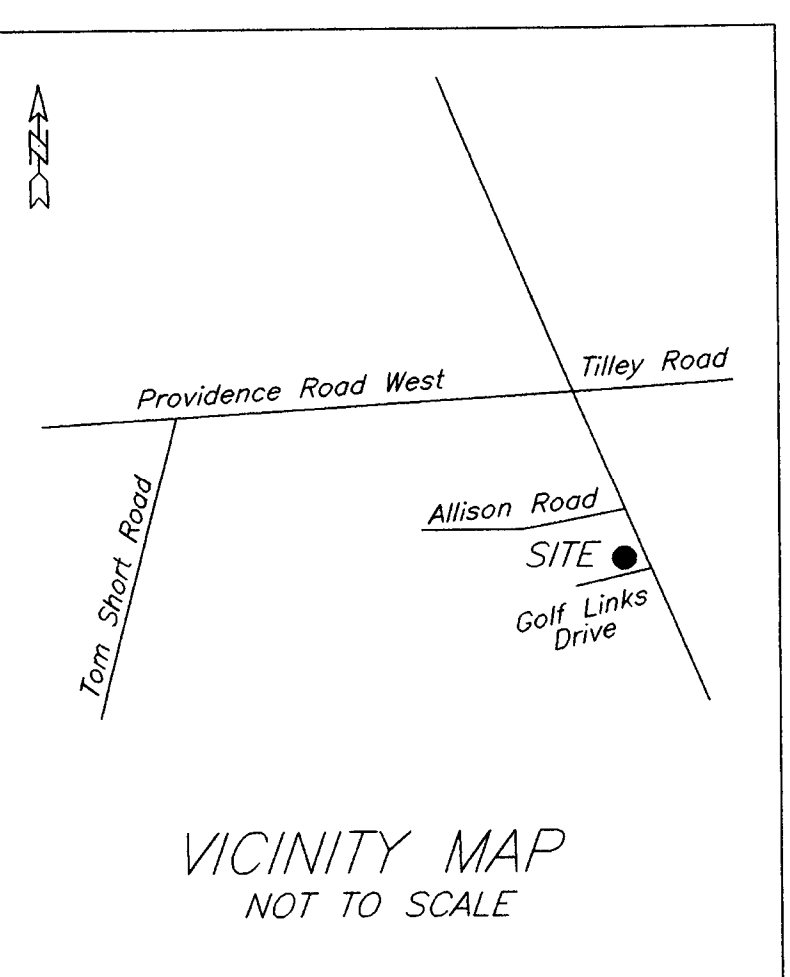
Graphic Scale:  
 0 20 40 80  
 ( IN FEET )  
 Scale: (1"=40')

Engineer  
 James J. McGovern  
 Senior Designer  
 Date: 2.5.2004

Revisions

No.	Date

Dwg. No. *[Blank]*  
 Project Number  
 440,001  
 Sheet No. No. of Sheet  
 C 1 2



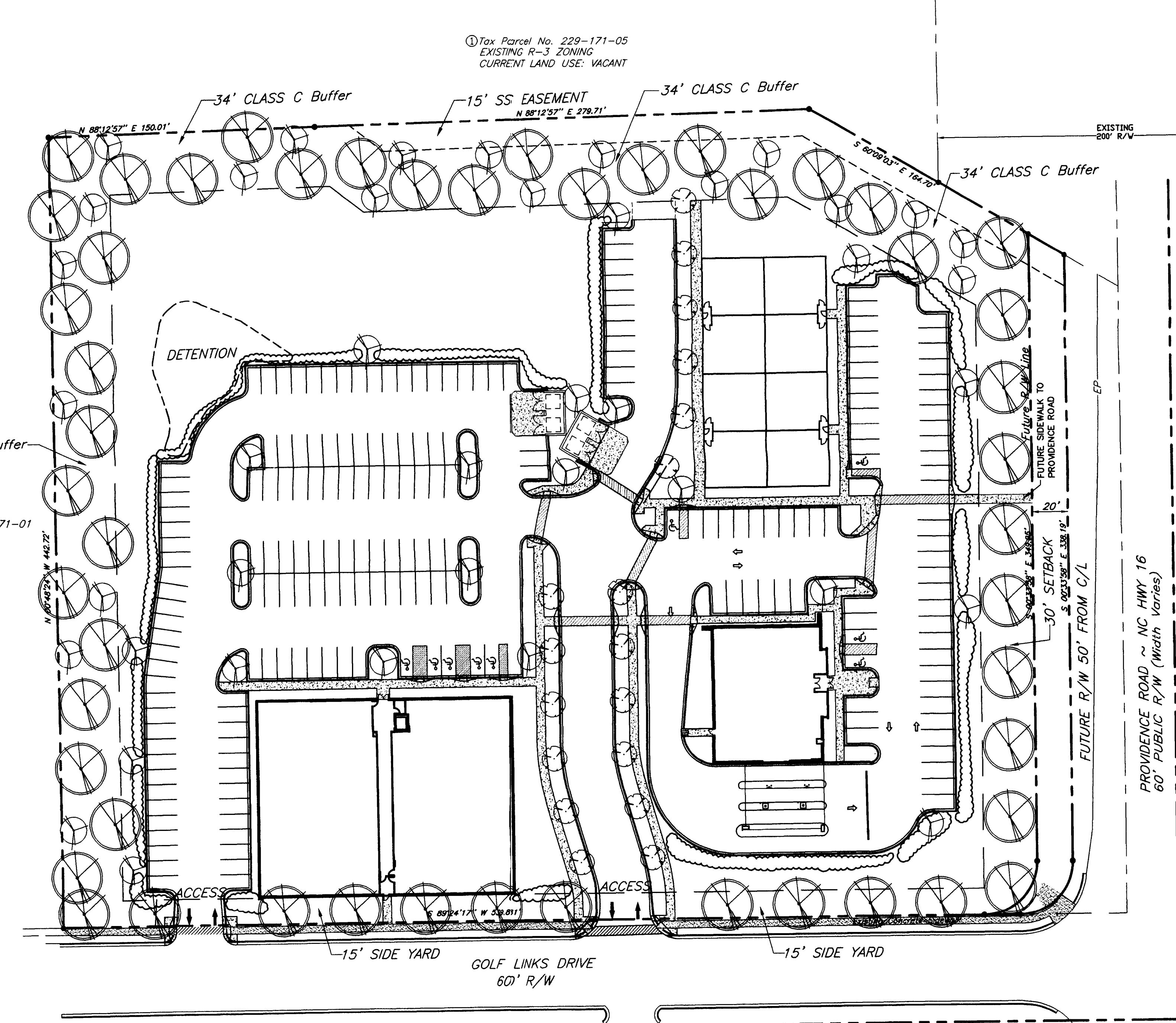
**CONDITIONAL NOTES:**

- TAX PARCEL # 229-171-03
- 5.73 ACRES
- EXISTING R-3
- PROPOSED ZONING: O-1 (CD)
- PROPOSED USES: ALL USES ALLOWED IN THE O-1 DISTRICT (INCLUDING THOSE ALLOWED UNDER PRESCRIBED CONDITIONS), EXCEPT HOTELS, MOTELS, RESTAURANTS, AND MEDICAL OFFICES EXCEEDING 31,000 SF (SEE NOTE 18)
- MAX. SQUARE FOOTAGE: 42,000 SF

THIS DRAWING IS THE PROPERTY OF JAMES MCGOVERN & ASSOCIATES CONSULTING ENGINEERS AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. IF IT IS NOT TO BE USED IN ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

**JMA**  
 600 Town Center Blvd. Suite 100  
 Charlotte, North Carolina 28134  
 (704) 888-8000  
 James McGovern & Associates  
 Consulting Engineers

- CONDITIONAL NOTES:**
1. THE SITE PLAN CONSISTS OF THE TECHNICAL DATA SHEET AND THE ILLUSTRATIVE PLAN. THE TECHNICAL DATA SHEET CONTAINS ALL DEVELOPMENT NOTES AND CONDITIONS REGARDING SUCH THINGS AS VEHICULAR ACCESS POINTS, BUFFERS, SETBACK/YARD DIMENSIONS, GENERALIZED BUILDING/PARKING/CIRCULATION AREAS, DEVELOPMENT INTENSITY, ETC. THE ILLUSTRATIVE PLAN DEPICTS A DEVELOPMENT SCENARIO BASED UPON THE CONDITIONS IMPOSED BY THE TECHNICAL DATA SHEET. HOWEVER, OTHER DEVELOPMENT SCENARIOS ARE PERMITTED AS A MATTER OF RIGHT, WHICH ALLOWS ALTERNATIVES TO THE ARRANGEMENT OF BUILDING/PARKING/CIRCULATION AREAS, BUILDING FOOTPRINTS AND SHAPES, ETC. SUCH CHANGES SHALL STILL REFLECT THE "NEO-TRADITIONAL" STYLE LAYOUT OF THE SITE AS GENERALLY DEPICTED ON THE PLAN.
  2. THE PROPOSED DEVELOPMENT SHALL COMPLY WITH ALL APPLICABLE CITY OF CHARLOTTE REGULATIONS PERTAINING TO OFF-STREET PARKING, SIGNAGE, BUFFERS/LANDSCAPING, SCREENING, DRAINAGE, TREE ORDINANCE, ETC.
  3. THE NUMBER OF VEHICULAR ACCESS TO THE SITE SHALL BE LIMITED TO THE POINTS OF INGRESS/EGRESS AS SHOWN ON THE SITE PLAN. HOWEVER, THE LOCATIONS MAY VARY SOMEWHAT FROM THAT DEPICTED. THE LOCATION AND DESIGN SHALL COMPLY WITH ALL APPLICABLE STANDARDS AND REQUIREMENTS OF THE CHARLOTTE DEPARTMENT OF TRANSPORTATION.
  4. MAXIMUM BUILDING HEIGHTS SHALL BE TWO STORIES (MAY INCLUDE ATTIC AND/OR FINISHED SPACE WITHIN THE AREA HEIGHT OF THE ROOF).
  5. A CLASS "C" BUFFER SHALL BE ESTABLISHED WHERE THERE IS INSUFFICIENT NATURAL VEGETATION TO COMPLY WITH MINIMUM BUFFER STANDARDS. THE BUFFER SHALL BE IMPROVED WITH NEW LANDSCAPING IN ACCORDANCE WITH APPLICABLE STANDARDS.
  6. A 30 FOOT SETBACK MEASURED FROM THE FUTURE R/W LINE SHALL BE ESTABLISHED ALONG THE SITE'S PROVIDENCE ROAD FRONTAGE. A FUTURE R/W MEASURING 50 FEET FROM THE CL OF PROVIDENCE ROAD SHALL BE ESTABLISHED AS SHOWN. PETITIONER SHALL DEDICATE THE NEW R/W AREA PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT ASSOCIATED WITH THE PROPOSED DEVELOPMENT.
  7. STORM WATER DETENTION SHALL NOT BE LOCATED IN THE SETBACK AREAS OR THE BUFFER AREAS.
  8. MAXIMUM HEIGHT OF BUILDING LIGHTING SHALL BE 30 FEET. LIGHTING SHALL BE DESIGNED IN A MANNER TO SHIELD/DIRECT LIGHTING GLARE AWAY FROM RESIDENTIAL AREAS.
  9. BUFFERS AREAS SHALL NOT BE REDUCED IN DEPTH FROM THAT DEPICTED ON THE PLAN.
  10. SCREENING SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 12.303 OF THE CITY OF CHARLOTTE ZONING ORDINANCE.
  11. BUFFERS SHALL REMAIN UNDISTURBED EXCEPT THAT ANY AREA WHICH ARE SPARSELY VEGETATED (VEGETATION LESS THAN 2" INCHES IN CALIPER) MAY BE CLEARED IF NECESSARY TO PROVIDE FOR THE DEVELOPMENT OF THE SITE, AND TO ACCOMMODATE UTILITY EXTENSIONS ASSOCIATED WITH DEVELOPMENT. ANY CLEARED AREAS SHALL BE REPLANTED IN ACCORDANCE WITH APPLICABLE BUFFER REQUIREMENTS.
  12. TREES LOCATED WITHIN THE FRONT SETBACK AREA WHICH ARE 6 INCHES OR GREATER IN CALIPER SHALL BE PRESERVED OR MITIGATED PER CITY OF CHARLOTTE TREE ORDINANCE.
  13. THE MAXIMUM HEIGHT OF DETACHED POLE LIGHTS SHALL BE RESTRICTED TO 20 FEET.
  14. WALL PACK TYPE LIGHTING SHALL NOT BE ALLOWED.
  15. ALL DUMPSITE'S SHALL BE LOCATED WITHIN A SOLID ENCLOSURE WITH GATES.
  16. BUILDINGS ON THE SITE WILL BE CONSTRUCTED WITH BRICK AND/OR OTHER MASONRY FINISHING MATERIALS ON BOX OF THE EXTERIOR WALLS OF ANY BUILDING.
  17. THE PETITIONER/DEVELOPER SHALL INSTALL OR PAY THE CITY OF CHARLOTTE FOR FUTURE INSTALLATION DURING PROVIDENCE ROAD WIDENING OF A 5 FOOT SIDEWALK WITH AN 8 FOOT PLANTING STRIP ALONG THE SITE'S PROVIDENCE ROAD FRONTAGE. THIS SIDEWALK SHALL LINK TO OTHER INTERNAL SIDEWALKS ON THE SITE.
  18. PROPOSED USES FOR THE SITE SHALL INCLUDE THOSE ALLOWED IN THE O-1 DISTRICT, EXCEPT THAT HOTELS OR MOTELS, AND RESTAURANTS ALLOWED SHALL NOT BE PERMITTED. FURTHERMORE, ANY MEDICAL OFFICE USE (S) SHALL BE RESTRICTED TO A MAXIMUM OF 31,000 SQUARE FEET.
  19. BUILDINGS CONSTRUCTED ON THE SITE SHALL BE DESIGNED IN A MANNER WHICH REFLECTS A RESIDENTIAL STYLE AND SCALE. SPECIFICALLY UTILIZING RESIDENTIAL STYLE DOORS AND WINDOWS, MITIGATED WITH ETC.
  20. THE PETITIONER/DEVELOPER SHALL INSTALL A FIRE HYDRANT WITHIN 750 FEET OF THE MOST REMOTE BUILDING AS A FIRE TRUCK TRAVELS IF SUCH HYDRANT DOES NOT EXIST. FURTHERMORE, IF REQUIRED BY FIRE DEPARTMENT REGULATIONS, 4-HOUR FIRE WALLS AND/OR SPRINKLER SYSTEMS SHALL BE INSTALLED IN EACH BUILDING TO OFFSET ANY POTENTIAL MARGINAL WATER SUPPLY IN THE AREA.
  21. NO BUILDING ON THE SITE SHALL BE ISSUED A CERTIFICATE OF OCCUPANCY UNTIL THE PROPOSED PUBLIC STREET ALONG THE SITE'S SOUTHERLY BOUNDARY HAS BEEN CONSTRUCTED AND RECORDED AS A PUBLIC STREET WITH THE REGISTER OF DEEDS OFFICE.



① Tax Parcel No. 229-171-05  
 EXISTING R-3 ZONING  
 CURRENT LAND USE: VACANT

② Tax Parcel No. 229-171-01  
 (PORTION OF)  
 EXISTING R-3 ZONING  
 CURRENT LAND USE: CAROLINA GOLF LINKS

③ Tax Parcel No. 229-171-01  
 (PORTION OF)  
 EXISTING B-2 (CD) ZONING  
 AREA VILLAGE SHOPPING CENTER

④ Tax Parcel No. 231-131-05  
 EXISTING ZONING: R-3  
 CURRENT LAND USE: SINGLE FAMILY RESIDENTIAL

⑤ Tax Parcel No. 231-131-06  
 EXISTING ZONING: R-3  
 CURRENT LAND USE: SINGLE FAMILY RESIDENTIAL

ATTACHED TO ADMINISTRATIVE REVIEW

February 6, 2004

APPROVED BY: *[Signature]*

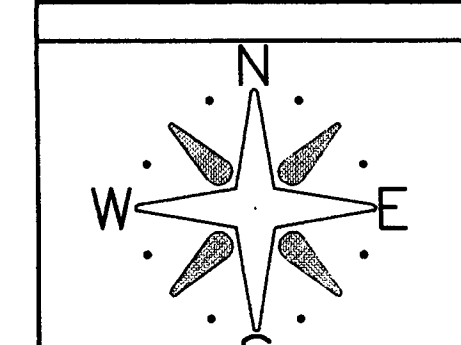
APPROVED BY: *[Signature]*

DEBRA CAMPBELL, JMA

PETITION #98-116 FOR PUBLIC HEARING

ILLUSTRATIVE SITE PLAN  
 PROVIDENCE ROAD NC HWY 16  
 PROJECT SHEET TITLE

PETITIONER: HARGETT, L.L.C.  
 CHARLOTTE, NC



Graphic Scale:  
 0 20 40 80  
 ( IN FEET )  
 Scale: (1"=40')

Engineer  
 James J. McGovern  
 Senior Designer  
 Date: 2.5.2004

Revisions

No.	Date

Dwg. No. *[Blank]*  
 Project Number  
 440,001  
 Sheet No. No. of Sheet  
 C 1 2

**CHARLOTTE-MECKLENBURG PLANNING COMMISSION**  
 INTER-OFFICE COMMUNICATION

DATE: February 6, 2004

FROM: *[Signature]*  
 Debra Campbell  
 Interim Planning Director

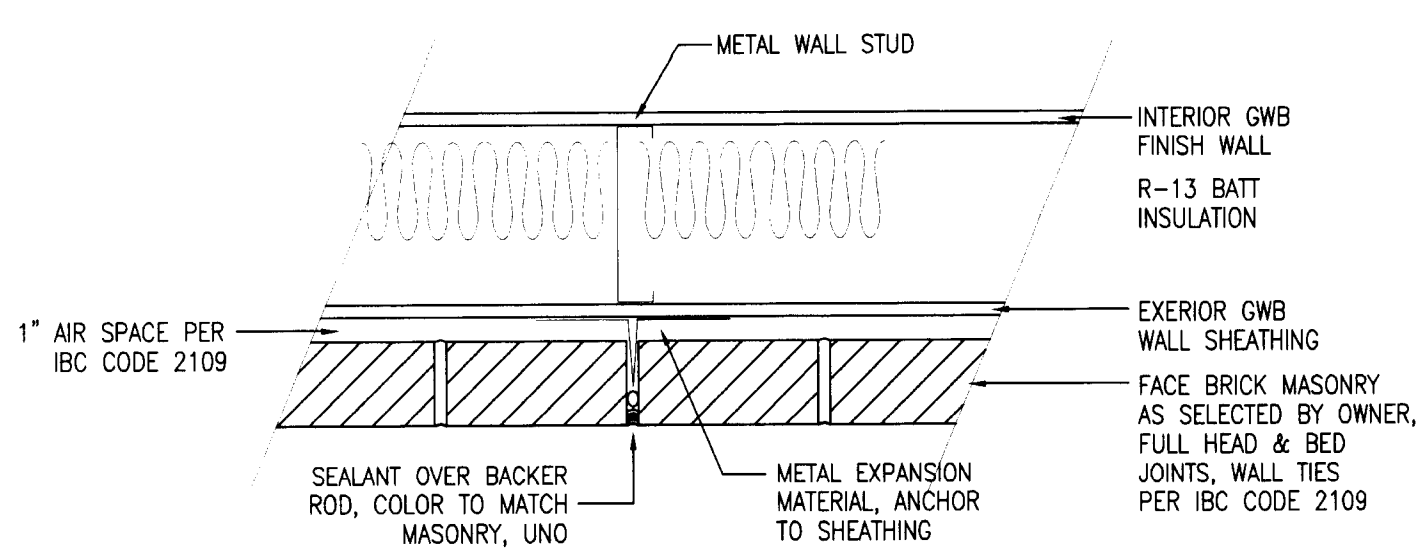
TO: Robert Brando  
 Zoning Administrator

SUBJECT: Administrative Approval for Petition No. 98-116 by Hargett, LLC.

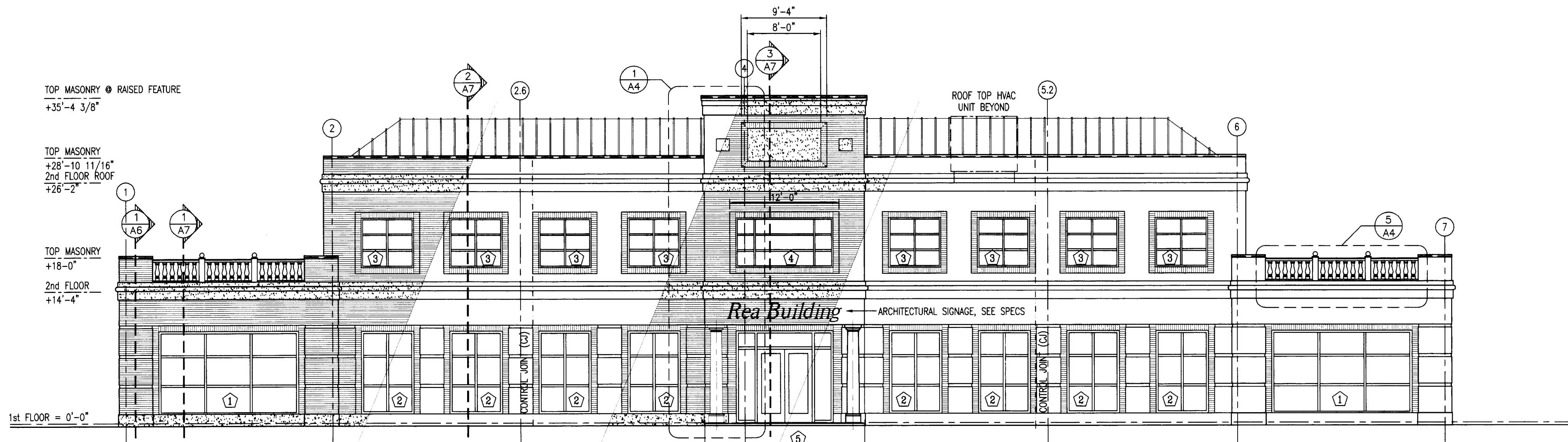
Attached are revised plans for the above rezoning petition. The plans have been revised to show a change in the site layout, re-allocate square footage and to add an access point from the internal roadway. These changes will not increase the allowable square footage. Since these changes are minor and do not alter the intent of the original site plans, I am administratively approving these revised plans. Please use these revised plans when evaluating requests for building permits and certificates of occupancy.

**Note that this site must still meet all other ordinance requirements.**

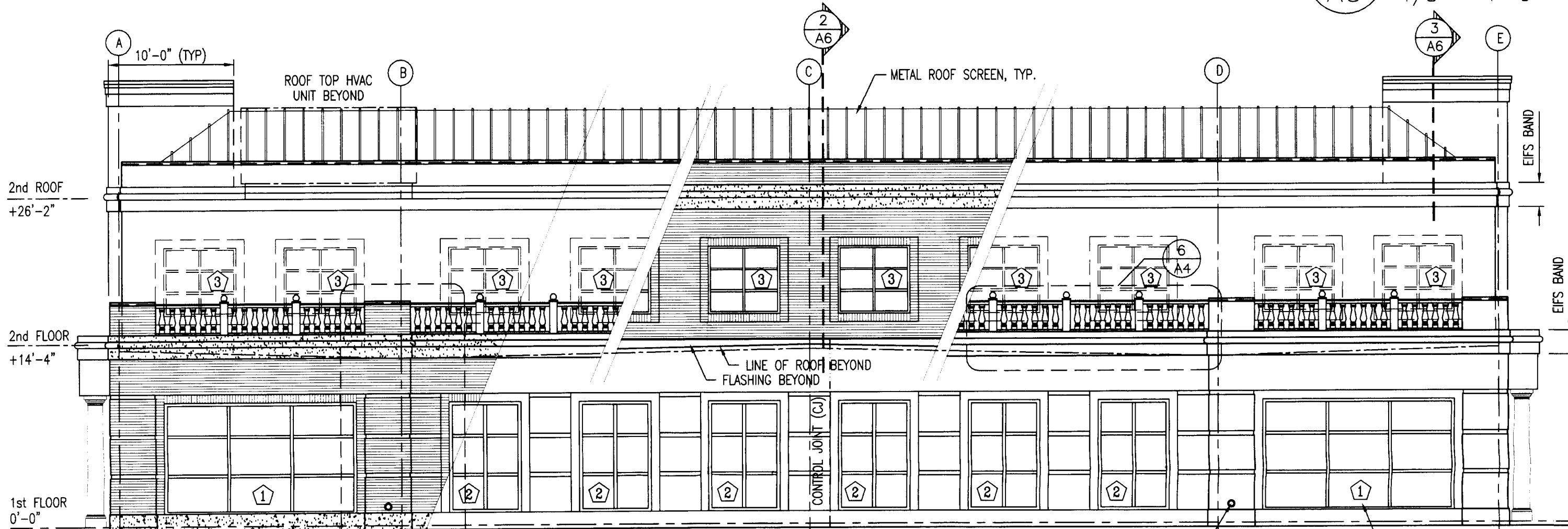




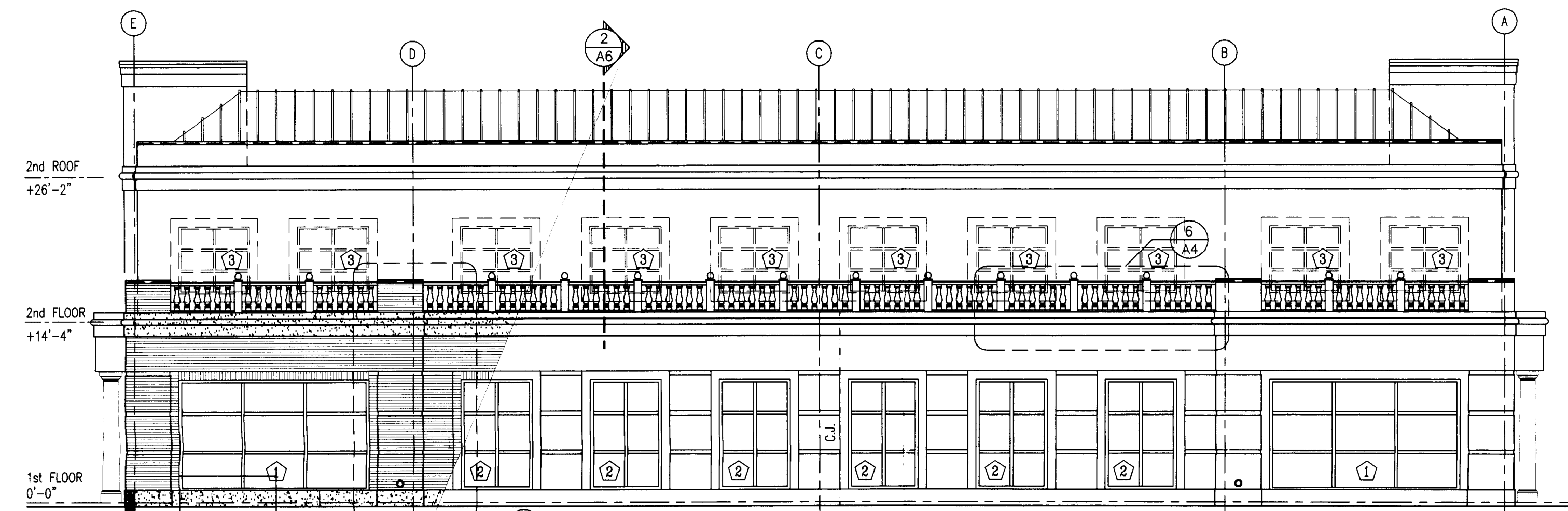
7 CONTROL JOINT DTL.  
A3 1/4 FULL SCALE



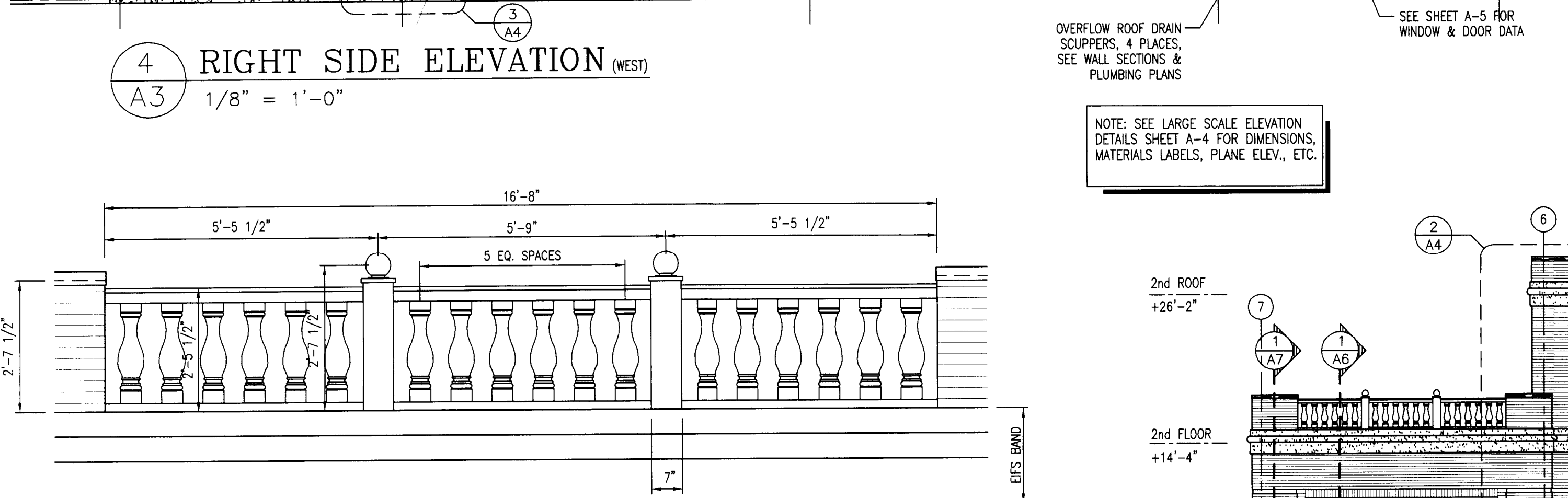
1 NORTH ELEVATION (PARKING LOT) (NORTH)  
A3 1/8" = 1'-0"



4 RIGHT SIDE ELEVATION (WEST)  
A3 1/8" = 1'-0"



2 LEFT SIDE ELEVATION (EAST)  
A3 1/8" = 1'-0"

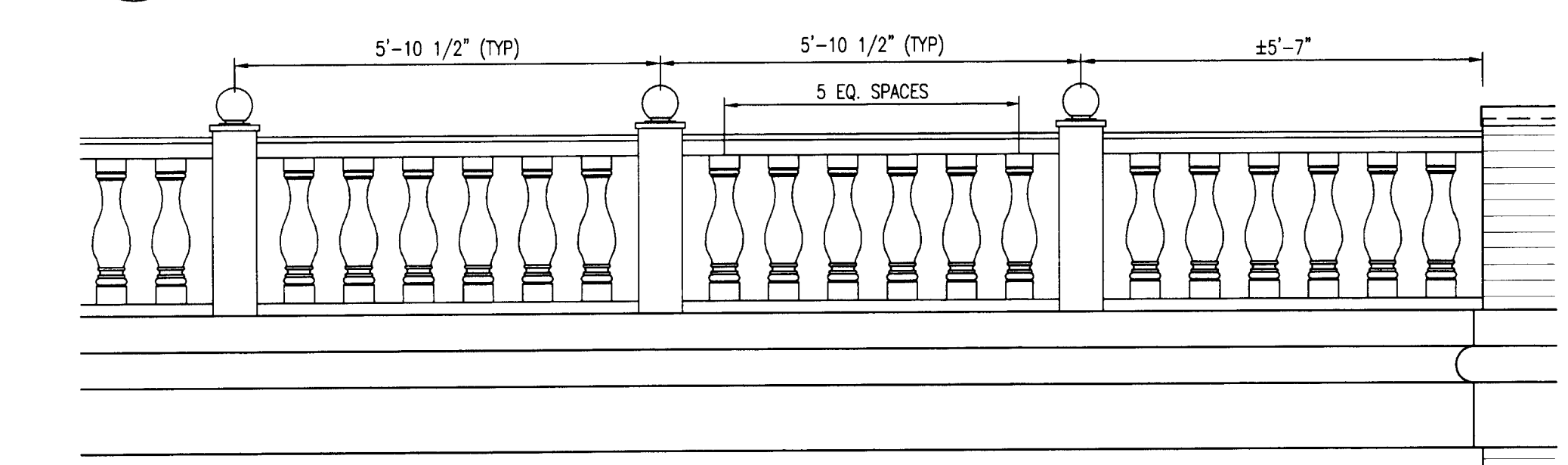


5 BALLUSTER RAIL DTL.  
A3 1/2" = 1'-0"

NOTE: SEE LARGE SCALE ELEVATION DETAILS SHEET A-4 FOR DIMENSIONS, MATERIALS LABELS, PLANE ELEV., ETC.



3 GOLF LINKS DRIVE ELEVATION (SOUTH)  
A3 1/8" = 1'-0"



6 BALLUSTER RAIL DTL.  
A3 1/2" = 1'-0"

NOTE: RAILING SYSTEM SHOWN IS FYPON 129322 BALLUSTER, 124200 NEWEL POST, 123701 TOP RAIL, 124100 BOTTOM RAIL, OR EQUAL

ATTACHED TO ADMINISTRATIVE APPROVAL  
DATED: May 21, 2004  
BY: DEBRA D. CAMPBELL

98-116

Revision	Date	Description	By
<b>Rea Office Building</b> for: HR Providence Road LLC 11030 Golf Links Drive Charlotte, North Carolina			
Date: 04-30-04	ELEVATIONS		Sheet
Job No: 04-003	Bruce A. Brodt, Architect		A-3
Drawn By:	Charlotte, NC 28204-3978		of 14

CHARLOTTE-MECKLENBURG  
PLANNING COMMISSION  
INTER-OFFICE COMMUNICATION

DATE: May 21, 2004

TO: Robert Brandon  
Zoning Administrator

FROM: Debra Campbell  
Planning Director

SUBJECT: Administrative Approval for Petition No. 98-116 by Hargett, LLC.

Attached are elevations for the office building that will be located at this site. The elevations reflect a minor change in the character of the buildings to be located on this site. Since this change is minor and does not alter the intent of the original site plans, I am administratively approving this elevation. Please use this elevation when evaluating requests for building permits and certificates of occupancy.  
Note that this site must still meet all other ordinance requirements.

# Bank of America Rea Village New Store

11020 Golf Links Drive  
Charlotte, North Carolina

SERIAL NUMBER: NC0015  
NRSP VERSION: 2.5  
BULLETIN: 5

ARCHITECT:  
Smallwood, Reynolds,  
Stewart, Stewart  
& Associates, Inc.

One Piedmont Center  
2565 Piedmont Road, Suite 303  
Atlanta, Georgia 30305  
Ph: (404) 233-5453  
F: (404) 264-0929  
AA 0002800

## KEY NOTES

- 1 SIGNAGE BY OWNER - COORDINATE SUPPORT POSTS ABOVE CANOPY PER PLAN - SEE STRUCT.
- 2 ATM BY OWNER - TRIM KIT W/ ENVELOPE DISPENSER-FUTURE DRIVE-UP ATM BY OWNER
- 3 NIGHT DEPOSITORY - BY OWNER
- 4 VACUUM AIR TUBE (VAT) BY OWNER
- 5 ENTRANCE CANOPY
- 6 NOT USED
- 7 FLAG POLE: SEE DETAIL 3A/A09.11
- 8 DRIVE THRU TELLER WINDOW BY OWNER
- 9 SCUPPER: SEE 13/A09.24
- 10 NOT USED
- 11 NOT USED
- 12 NOT USED
- 13 CONTROL JOINT @ VERTICAL STUCCO SURFACE SEE 6/A09.23
- 14 CONTROL JOINT @ BRICK (CU) SEE 05/A09.25
- 15 LED LANE LIGHTS PROVIDED BY EQUIPMENT VENDOR. C OF SIGN=C OF LANE.
- 16 MONIGLE SIGNAGE PROVIDED BY OWNER. C OF SIGN=C OF ISLAND.
- 17 MONIGLE SIGNAGE PROVIDED BY OWNER. C OF SIGN=C OF LANE.
- 18 WHITE VINYL LETTERS CENTERED 3" ABOVE MULLION ABOVE RIGHT LEAF OF ENTRANCE DOOR FOR STREET ADDRESS IDENTIFICATION
- 19 KNOCK OUT PANEL

## EXTERIOR FINISH SCHEDULE

### STUCCO / PLASTER (BASED ON PAREX STUCCO)

ST-1 STUCCO, SAND FINE FINISH. CUSTOM COLOR TO MATCH BR-1

### CAST STONE

CS-1 RENAISSANCE

### ALUMINUM COMPOSITE METAL PANEL

ACM-1 CONTACT MIKE CALDWELL @ (770) 985-0930 "BRITE RED" #UMC40021 BY ALPOUC

### GLAZING

GL-1 INSULATED GLAZING AS SPECIFIED  
GL-2 MONOLITHIC GLAZING AS SPECIFIED

### ALUMINUM GLAZING FRAMES

AF-1 CURTAINWALL SYSTEM AS SPECIFIED  
AF-2 STOREFRONT SYSTEM AS SPECIFIED

### METAL COPING

MC-1 PREFINISHED METAL COPING BERRIDGE/ZINC GREY

### METAL ROOFING

MR-1 METAL ROOFING BERRIDGE/MEDIUM GRAY

### EXTERIOR PAINT (BASED ON BENJAMIN MOORE)

EXPT-1 TO MATCH #2164-40 "SERENGETI SAND"  
EXPT-2 TO MATCH HC-76 "DAVENPORT TAN"  
EXPT-3 NOT USED

### BRICK

BR-1 STANDARD BRICK COURSING, RUNNING BOND, BRICK TRIANGLE KEYWEST  
BR-2 RECESSED BRICK REGION, RUNNING BOND, ACCENT BRICK TRIANGLE BESSEMER GREY

## 3 SHEET NOTES

1. CU : CONTROL JOINT

Seal/Signature

Project Name  
Bank of America- Rea Village

PROTOTYPE LAYOUT  
MEDIUM

Project Number  
209914.00

Description  
EXTERIOR ELEVATIONS

Scale

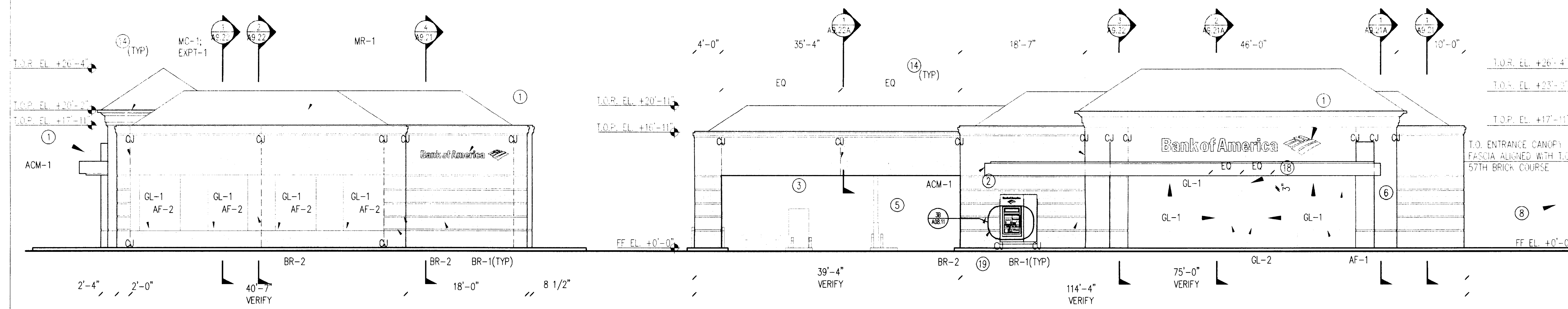
ATTACHED TO ADMINISTRATIVE APPROVAL

DAIED: July 7, 2004

BY: DEBRA D. CAMPBELL

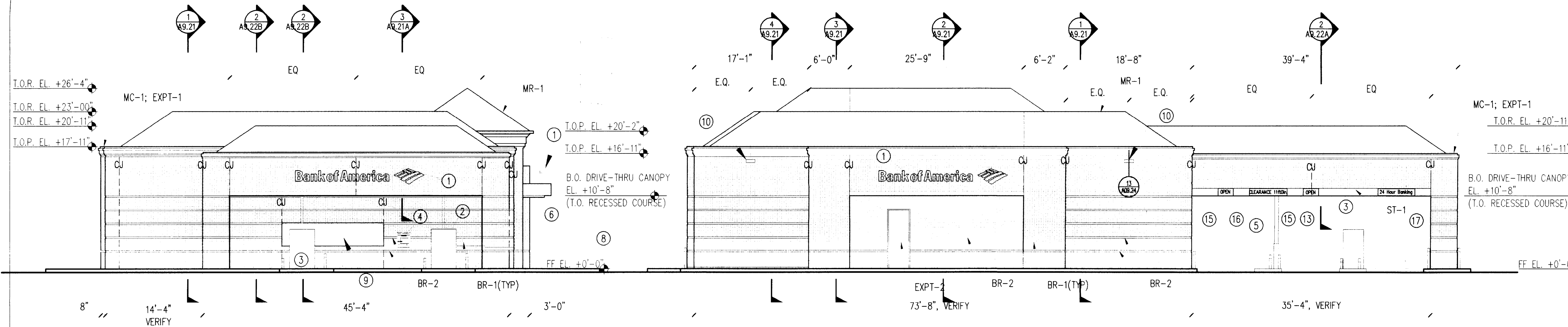
98-116

A09.11



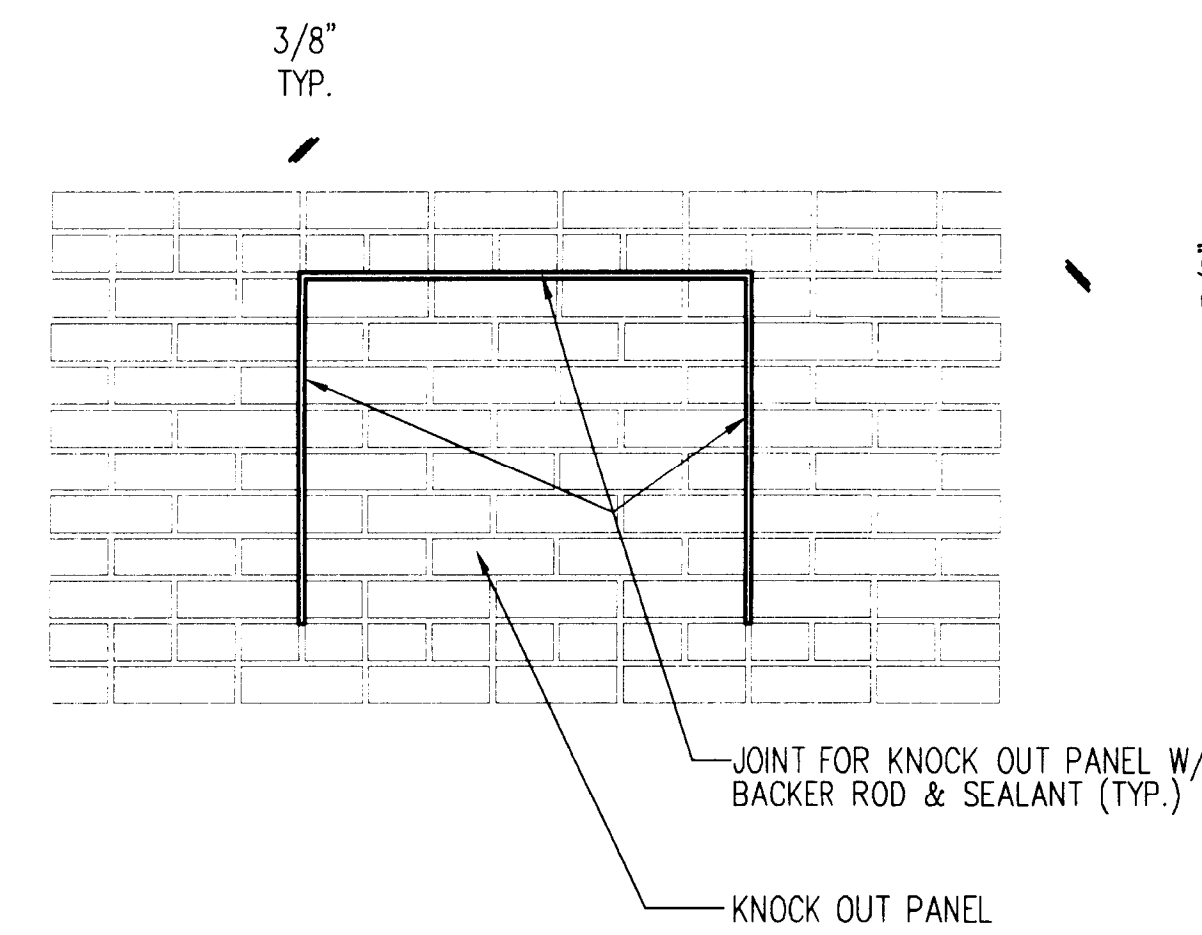
**B NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

**A EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

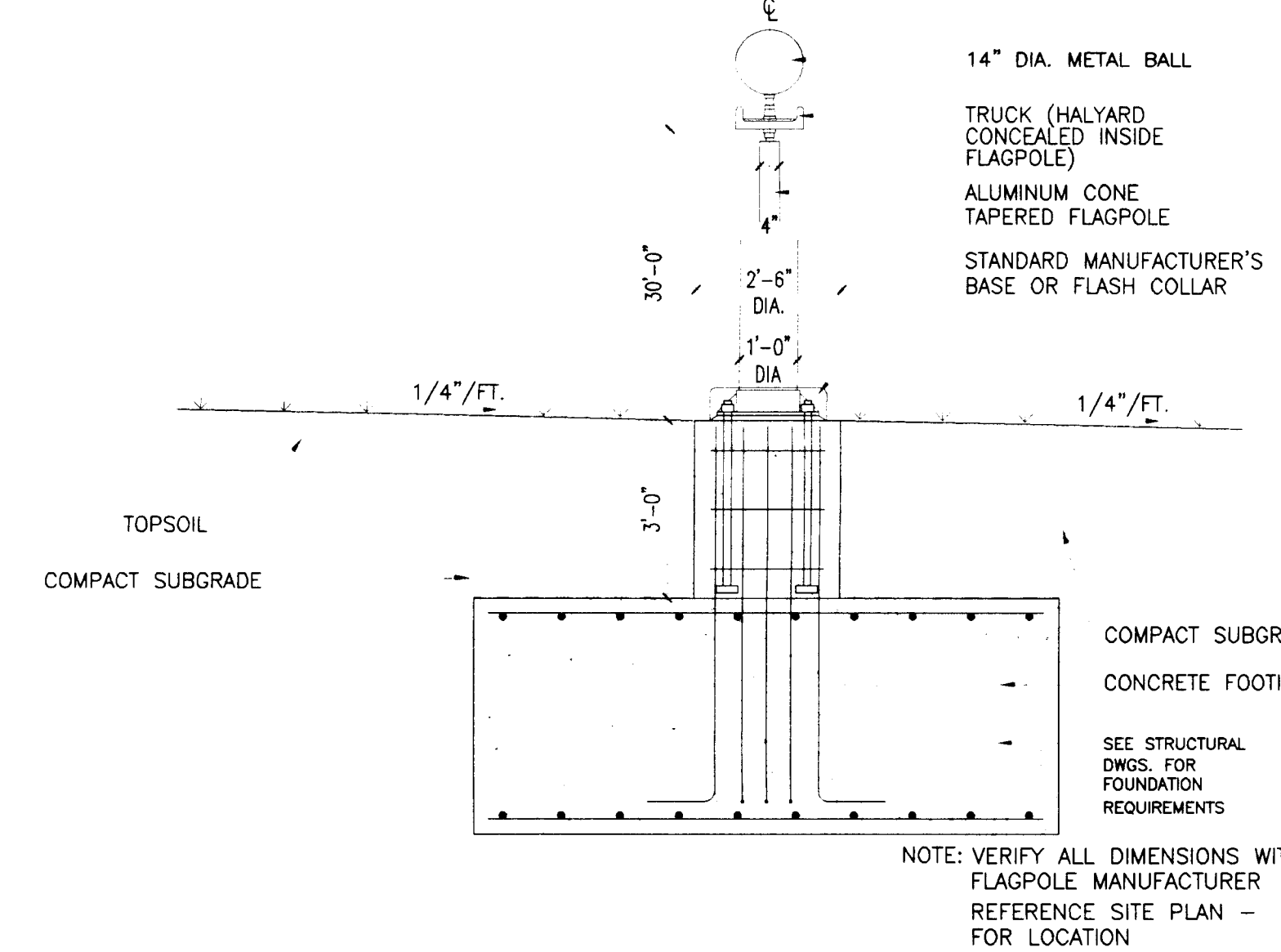


**B SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

**A WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**B ELEVATION DETAIL @ KNOCK OUT PANEL**  
SCALE: 1/2" = 1'-0"



**A FLAGPOLE ELEVATION**  
SCALE: 1" = 1'-0"

## CHARLOTTE-MECKLENBURG PLANNING COMMISSION INTER-OFFICE COMMUNICATION

DATE: July 7, 2004

TO: Robert Brandon  
Zoning Administrator

FROM: Debra Campbell  
Planning Director

SUBJECT: Administrative Approval for Petition No. 98-116 by Hargett, LLC.

Attached are elevations for the Bank of America that will be located at this site. The elevations reflect a minor change in the character of the buildings to be located on this site. Since this change is minor and does not alter the intent of the original site plans, I am administratively approving these elevations. Please use this elevation when evaluating requests for building permits and certificates of occupancy.  
Note that this site must still meet all other ordinance requirements.