

SITE DATA

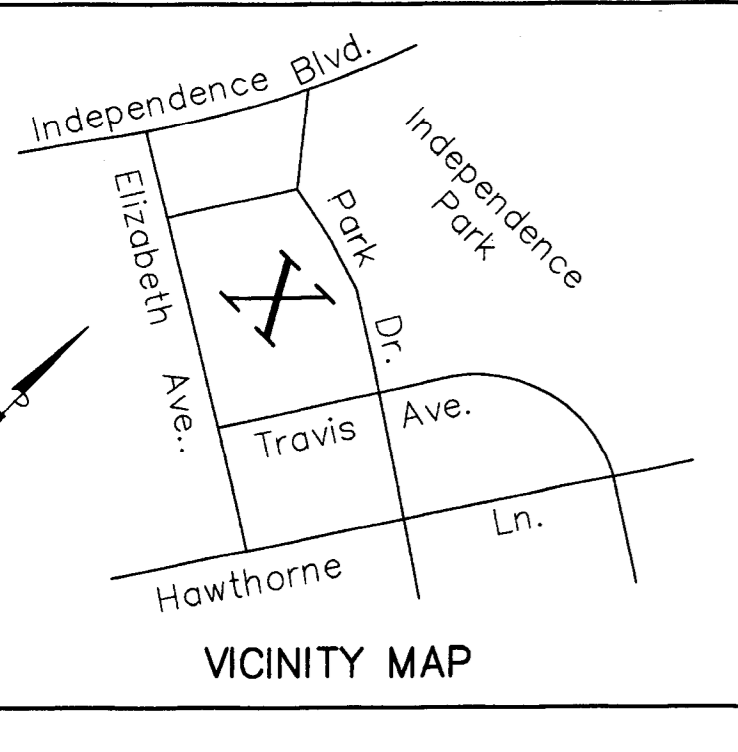
SITE AREA: 3.45 ACRES +/-
 EXISTING ZONING: B-1, B-2, O-2
 PROPOSED ZONING: MUDD-O

AREA ONE: PROPOSED UNITS: 300 INCLUDING RESIDENTIAL AND NONRESIDENTIAL UNITS
 PARKING: REQUIRED - 300, PROPOSED - 300 MINIMUM
 BUILDING AREA: 300,000 SF IN DWELLING UNITS
 190,000 SF IN GARAGE
 OPEN SPACE: REQUIRED 1 SF PER 100 SF BUILDING AREA
 300,000 SF / 100 SF = 3,000 SF
 PROPOSED: 5,000 SF
 BUILDING HEIGHT: NOT TO EXCEED 120'
 STREETSCAPE: ONE LARGE-MATURING TREE PER 35 LF OR ONE SMALL-MATURING TREE PER 24 LF

AREA TWO: PROPOSED UNITS: 150 INCLUDING RESIDENTIAL AND NONRESIDENTIAL UNITS
 PARKING: REQUIRED - 150, PROPOSED - 150 MINIMUM
 BUILDING AREA: 150,000 SF IN DWELLING UNITS
 90,000 SF IN GARAGE
 OPEN SPACE: REQUIRED 1 SF PER 100 SF BUILDING AREA
 150,000 SF / 100 SF = 1,500 SF
 PROPOSED: 3,000 SF
 BUILDING HEIGHT: NOT TO EXCEED 120'
 STREETSCAPE: ONE LARGE-MATURING TREE PER 35 LF OR ONE SMALL-MATURING TREE PER 24 LF

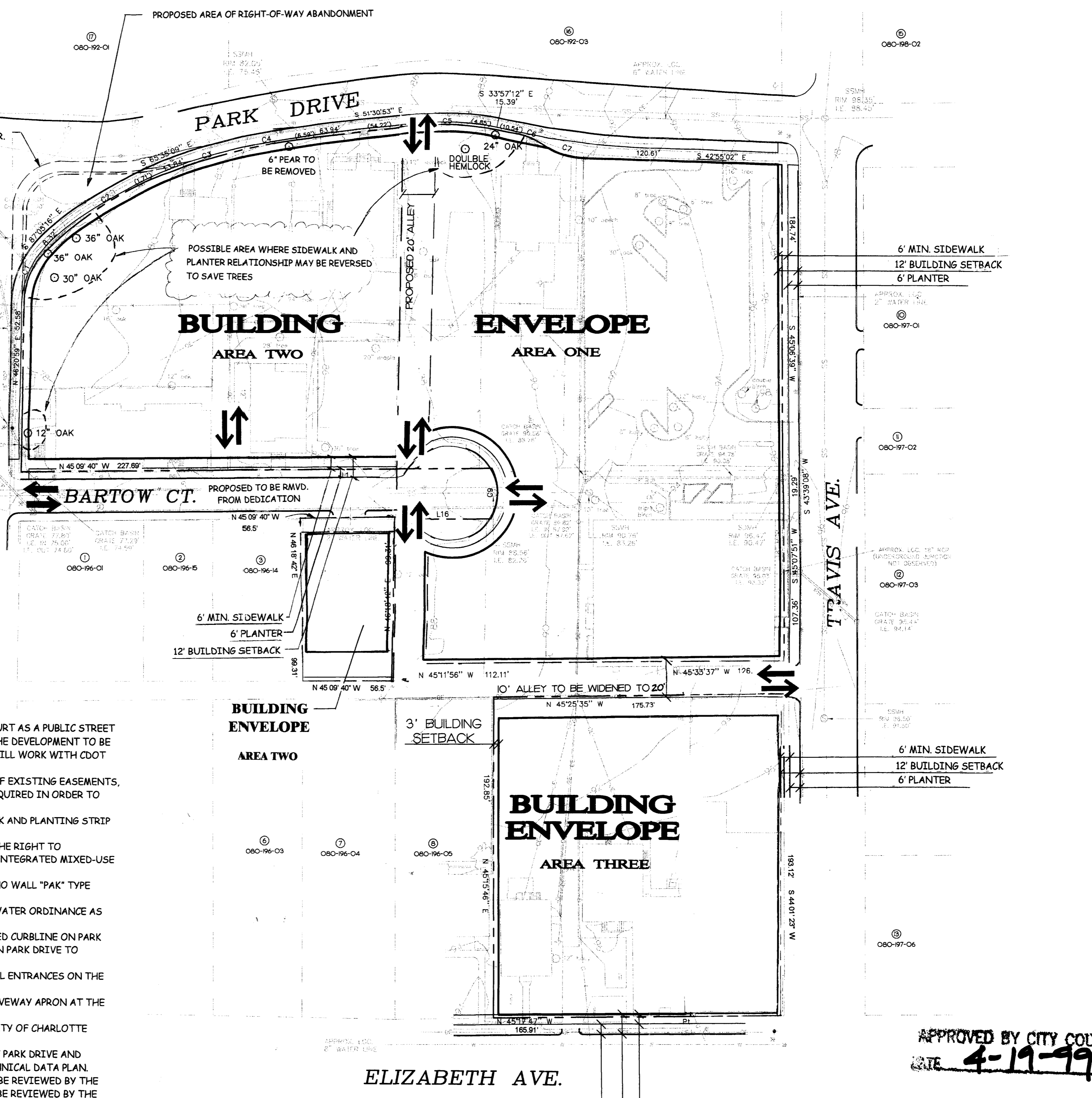
AREA THREE: PROPOSED: 15,000 SF - RETAIL
 75,000 SF - OFFICE OR 75 RESIDENTIAL UNITS
 PARKING: REQUIRED - 150, PROPOSED - 150 MINIMUM
 BUILDING AREA: 90,000 SF IN DWELLING UNITS / RETAIL / OFFICE
 70,000 SF IN GARAGE AND SURFACE
 OPEN SPACE: REQUIRED 1 SF / 100 SF BUILDING AREA
 90,000 SF / 100 SF = 900 SF
 PROPOSED: 1,000 SF
 BUILDING HEIGHT: NOT TO EXCEED 120'
 STREETSCAPE: ONE LARGE-MATURING TREE PER 35 LF OR ONE SMALL-MATURING TREE PER 24 LF

- DEVELOPMENT NOTES**
- DEVELOPMENT OF THE SITE WILL BE CONTROLLED BY THE STANDARDS DEPICTED ON THIS SITE PLAN AND BY THE STANDARDS OF THE MIXED-USE DEVELOPMENT DISTRICT. THE DEVELOPMENT DEPICTED ON THIS PLAN IS INTENDED TO REFLECT THE ARRANGEMENT OF PROPOSED USES ON THE SITE, BUT THE EXACT CONFIGURATION, PLACEMENT, AND SIZE OF INDIVIDUAL SITE ELEMENTS MAY BE ALTERED OR MODIFIED WITHIN THE LIMITS PRESCRIBED BY THE ORDINANCE DURING THE DESIGN DEVELOPMENT AND CONSTRUCTION PHASES.
 - STORMWATER DETENTION FACILITIES, IF REQUIRED, WILL BE DESIGNED TO MEET THE APPLICABLE STANDARDS OF CHARLOTTE / MECKLENBURG STORMWATER SERVICES. NO ABOVE-GROUND DETENTION WILL BE LOCATED BETWEEN THE BUILDINGS AND THE STREET. STORMWATER WILL BE PERMITTED IN ACCORDANCE WITH APPLICABLE ZONING STANDARDS.
 - PARKING WILL BE PROVIDED WHICH WILL MEET OR EXCEED THE STANDARDS OF THE ZONING ORDINANCE.
 - SCREENING WALLS WILL CONFORM TO THE APPLICABLE STANDARDS OF SECTION 12.303 OF THE ZONING ORDINANCE.
 - THE USE OF THE SITE WILL BE FOR THE CONSTRUCTION OF A MIXED-USE RESIDENTIAL DEVELOPMENT. USES IN AREAS 1 & 2 MAY INCLUDE RESIDENTIAL UNITS, LOFTS, LIVE / WORK UNITS, SALES AND LEASING OFFICES, OFFICES ON THE FIRST LEVEL ADDRESSING THE STREET, SMALL RETAIL UNITS ON THE FIRST LEVEL ADDRESSING THE STREET, AND OTHER USES SIMILAR IN SCALE TO THE USES LISTED ABOVE. ALL WITH THE INTENT OF CREATING A UNIQUE URBAN RESIDENTIAL COMPLEX. USES IN AREA 3 MAY INCLUDE RETAIL ON THE FIRST LEVEL ADDRESSING THE STREET, OFFICES, INSTITUTIONAL, HOTEL, INN, OR BED & BREAKFASTS, RESIDENTIAL UNITS, LOFTS, LIVE / WORK UNITS, SALES AND LEASING OFFICES, AND OTHER USES SIMILAR IN SCALE TO THE USES LISTED ABOVE. ALL WITH THE INTENT OF CREATING A UNIQUE URBAN MIXED-USE COMPLEX.
 - NON-RESIDENTIAL USES WITHIN AREAS 1 & 2 OF THE DEVELOPMENT WILL BE LIMITED TO THE STREET LEVEL SPACES, EXCEPT THAT THE CORNER SPACES MAY UTILIZE THE STREET LEVEL AND THE LEVEL IMMEDIATELY ABOVE THE STREET LEVEL.
 - ALL DUMPSTERS, IF NOT LOCATED WITHIN THE STRUCTURE, WILL BE SCREENED WITH A SOLID ENCLOSURE WITH GATES.
 - THE PETITIONER WILL GRANT PUBLIC EASEMENTS FOR THE SIDEWALKS CONSTRUCTED ON THE SITE.
 - THE PETITIONER / PLAN WILL COMPLY WITH THE UPTOWN STREETSCAPE GUIDELINES FOR THE STREETS UPON WHICH IT FRONTS, IF APPLICABLE. REQUIRED STREETSCAPE IMPROVEMENTS WILL BE DETERMINED AT THE TIME OF BUILDING PERMIT APPLICATION BY THE MUDD REVIEW TEAM.
 - ALL NEW AND EXISTING UTILITIES ON THE SITE TO BE LOCATED OR RELOCATED UNDERGROUND.
 - THE PETITIONER RESERVES THE RIGHT TO ABANDON BARTOW COURT AS A PUBLIC STREET IF ADDITIONAL PARCELS ARE ACQUIRED, AND TO RECONFIGURE THE DEVELOPMENT TO BE COMPATIBLE. IF BARTOW COURT REMAINS PUBLIC, PETITIONER WILL WORK WITH CDOT
 - THE PETITIONER RESERVES THE RIGHT TO ABANDON BARTOW COURT AS A PUBLIC STREET IF ADDITIONAL PARCELS ARE ACQUIRED, AND TO RECONFIGURE THE DEVELOPMENT TO BE COMPATIBLE. IF BARTOW COURT REMAINS PUBLIC, PETITIONER WILL WORK WITH CDOT TO DESIGN ACCEPTABLE ALTERNATIVE CUL-DE-SAC.
 - THE PETITIONER RESERVES THE RIGHT TO SEEK ABANDONMENT OF EXISTING EASEMENTS, ALLEYS, ETC., WHOLLY CONTAINED WITHIN THE SITE, AS REQUIRED IN ORDER TO CREATE A COMPATIBLE AND INTEGRATED URBAN DEVELOPMENT.
 - PETITIONER RESERVES THE RIGHT TO REVERSE OR VARY SIDEWALK AND PLANTING STRIP LOCATIONS FOR PRESERVATION OF EXISTING TREES.
 - IF ADDITIONAL PARCELS ARE ACQUIRED, PETITIONER RESERVES THE RIGHT TO RECONFIGURE THE DEVELOPMENT TO CREATE A COMPATIBLE AND INTEGRATED MIXED-USE URBAN COMPLEX.
 - DETACHED POLE LIGHTING WILL BE LIMITED TO 20' HEIGHT AND NO WALL "YAK" TYPE LIGHTING WILL BE PERMITTED.
 - THE PETITIONER WILL MEET ALL REQUIREMENTS OF THE STORMWATER ORDINANCE AS REQUIRED BY CITY ENGINEERING.
 - THE PETITIONER WILL WORK WITH CDOT TO DETERMINE PROPOSED CURBLINE ON PARK DRIVE AND ELIZABETH AVENUE, AND ANY PROPOSED WIDENING ON PARK DRIVE TO FACILITATE SCHOOL PICKUP / DROPOFF FUNCTIONS.
 - THE PETITIONER WILL MAINTAIN 35' x 35' SIGHT TRIANGLE AT ALL ENTRANCES ON THE PLAN PER CDOT REQUIREMENTS.
 - ALL NEW DRIVEWAYS / ALLEYS WILL USE A MODIFIED TYPE II DRIVEWAY APRON AT THE R/W.
 - PARKING SPACE SIZES AND QUANTITIES WILL MEET OR EXCEED CITY OF CHARLOTTE REQUIREMENTS.
 - PETITIONER MAY ABANDON A PORTION OF THE INTERSECTION OF PARK DRIVE AND TORRENCE STREET, IF APPROVED, AND AS INDICATED ON THE TECHNICAL DATA PLAN.
 - ANY PROPOSAL FOR A STRUCTURE OVER 90 FEET IN HEIGHT MUST BE REVIEWED BY THE ZONING COMMITTEE. THE ELEVATIONS FOR THE BUILDINGS WILL BE REVIEWED BY THE ZONING COMMITTEE PRIOR TO THE MUDD PRELIMINARY PLAN PROCESS AND CONSIDERATION SHALL BE GIVEN TO MASSING, SCALE, AND PENETRATION / ARTICULATION.
 - THE PETITIONER / DEVELOPER SHALL PRESENT DESIGNS TO THE ELIZABETH COMMUNITY ASSOCIATION AND OTHER INTERESTED MEMBERS OF THE COMMUNITY DURING THE DESIGN PHASE FOR THEIR REVIEW AND COMMENTS.
 - OUTDOOR AMUSEMENT, ARMORIES, AUCTION SALES, AUTOMOTIVE SERVICE AND / OR REPAIR STATIONS, AND BUS PASSENGER STATIONS WILL BE PROHIBITED ON THE SITE.



LINE NUMBER	DIRECTION	DISTANCE
L1	N 45°06'17" W	161.49'
L2	N 46°11'18" E	69.99'
L3	S 88°37'17" E	14.30'
L4	S 45°14'01" E	41.78'
L5	S 45°07'20" E	102.00'
L6	S 45°07'31" E	41.62'
L7	S 00°56'05" W	14.00'
L8	S 46°21'30" W	65.03'
L9	N 44°52'58" W	107.47'
L10	N 44°56'05" W	53.92'
L11	N 45°25'21" W	53.79'
L12	N 46°29'19" E	10.19'
L13	N 45°22'06" W	10.00'
L14	S 46°21'56" W	20.29'
L15	S 45°59'28" W	23.82'
L16	S 44°57'40" E	58.74'
L17	S 45°06'17" E	14.88'

CURVE NUMBER	RADIUS	LENGTH	CH. BEARING	CH. DISTANCE
C1	45.00	36.57	N 69°37'01" E	35.57
C2	208.00	75.06	S 76°20'13" E	74.82
C3	365.00	30.76	S 61°28'54" E	30.75
C4	365.00	48.11	S 55°17'28" E	48.08
C5	150.00	45.98	S 42°44'03" E	45.90
C6	50.00	20.16	S 22°24'18" E	20.02
C7	45.00	25.18	S 26°53'13" E	24.85
C8	5.00	7.73	N 89°22'24" W	6.98
C9	33.00	31.93	N 46°16'58" E	30.70



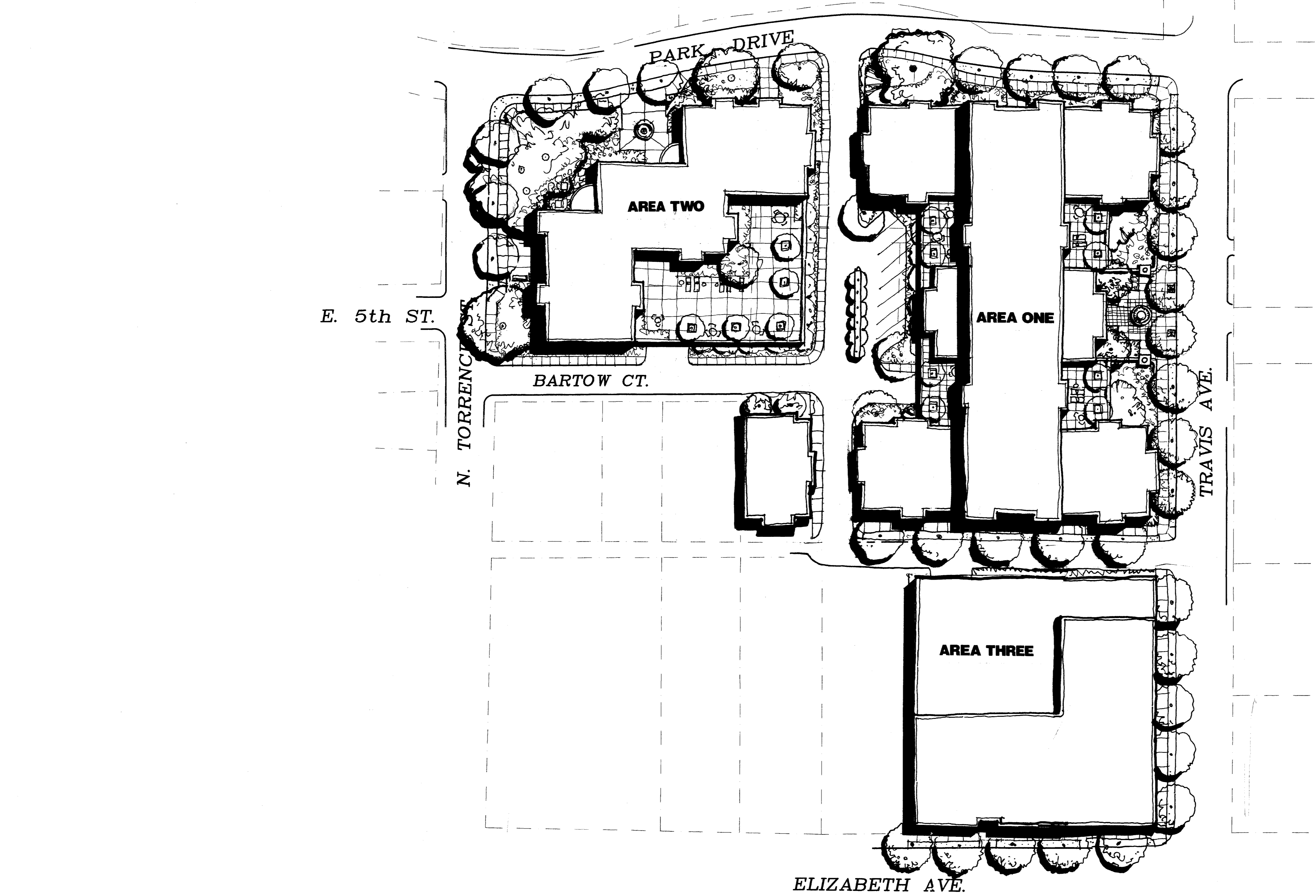
APPROVED BY CITY COUNCIL
 DATE 4-19-99
 OBO 19666, 09, 17, 16
 18, 08, 13

PROPOSED REZONING
 CHARLOTTE, NORTH CAROLINA
 FOR
 EAST END DEVELOPEMENT, LLC
 437 SOUTH TRYON ST.
 CHARLOTTE, NORTH CAROLINA, 28202
 (704) 358-3093

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 Landscape Architecture • Civil Engineering
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 500 East Boulevard
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FOR PUBLIC HEARING
 PETITION #99-30
 TECHNICAL DATA PLAN

Scale: 1" = 40'
 Date: 19 NOV 98
 Revisions: 16 FEB 98
 - PER P.C. COMMENTS
 H APPEL '98 PER. ZONING-COMMIT.
 Sheet 1 of 2



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 FOR
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 437 SOUTH TRYON ST.
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SCHEMATIC SITE PLAN

FOR PUBLIC HEARING
 PETITION #99-30
 Scale: 1" = 40'
 Date: 19 NOVEMBER '98
 Revisions: 16 FEB. 1999 PER P.C. COMMENTS
 Sheet 2 of 2