

DEVELOPMENT STANDARDS

A. Permitted Uses
 1. Up to 348 attached garden style dwelling units (for sale) may be constructed on the Site, together with any incidental or accessory uses associated therewith which are permitted under the Mecklenburg County Zoning Ordinance (the "Ordinance") by right or under permitted conditions in a R-3M Zoning District. The buildings are 2 and 3-story with a 42 foot height maximum (measured from the finished floor to the ridgepole of the roof). The entry buildings are based on the Schematic Site Plan (Sheet L-02).

B. Development Requirements
 1. General Provisions
 (a) At a minimum, all applicable development standards established under the Ordinance for the R-3M District shall be applied in connection with development taking place on the Site.
 (b) In addition, development of the Site shall be governed by these Development Standards and the Technical Data Sheet.
 (c) The building configurations, placements and uses as well as the location of streets and parking areas shown on the Schematic Site Plan (Sheet L-02), are schematic in nature and may be altered or modified during design development and construction documents phases within the maximum building limit lines established on the Technical Data Sheet and/or other applicable documents.
 (d) Landscaped areas and sidewalks within the Site will be planned and installed in accordance with any applicable development standards.
 (e) Buildings #1 and #2 must be located at least 100 feet from the south property line with John Winstead Homes.

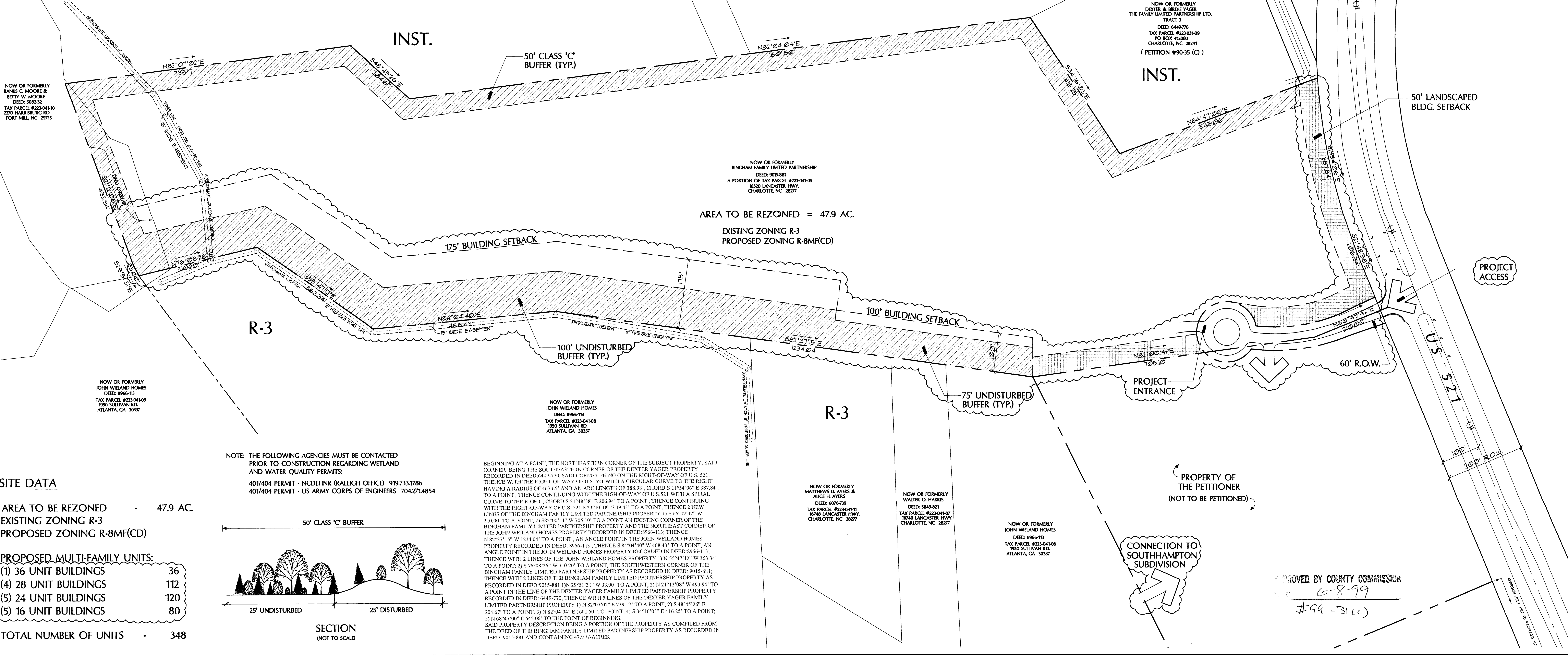
2. Setbacks, Side Yards and Rear Yards
 (a) All buildings constructed within the Site shall satisfy or exceed the setback, rear yard and side yard requirements established under the Ordinance for the R-3M Zoning District.
 (b) A 50 foot landscaped area and building setback line will be established along New U.S. 521 and the proposed collector street, at all more particularly, shown on the Technical Data Sheet.
 (c) All trees located on the Site or adjacent to the Site shall be preserved, except those trees which are damaged or diseased and require removal.
 (d) Building #1 must be located at least 175 feet north of the south property line with John Winstead Homes.
 (e) Buildings #2 and #3 must be located at least 100 feet from the south property line with John Winstead Homes.

3. Buffer Areas
 (a) Buffer areas established on the Technical Data Sheet shall conform to the standards in Section 12.30 of the Ordinance.
 (b) Buffer areas shall remain an open space and subject to the provisions of paragraphs (c), (d), and (e) below, and will remain undisturbed.
 (c) The Petitioner reserves the right to clear, grade and fill within the first 25 foot feet of the buffer area established along the wetland and wetland property line.
 (d) A uniform lighting system will be employed throughout the Site. All lighting within the Site except street lighting shall be installed along the wetland and wetland property line of the Site. Consideration will be given to the impact of lighting both within and without the perimeter of the Site. Items for consideration will include intensity, cutoff angle, color, energy efficiency and shielding of sources of light, the amount, to eliminate glare towards adjacent streets and properties.
 (e) Lighting fixtures will not exceed 20 feet in height, except for street lights along public streets.

4. Landscaped Areas and Screening
 Screening shall conform with the standards and treatments specified in Section 12.303 of the Ordinance.
 5. Trash Collection
 (a) The Petitioner presents covenants that trash will be collected from each individual unit from separate trash containers located at each unit.
 (b) If the form of collection is collected, pick up or handled by private hauler under local and governmental policy would provide for the public pick up of trash.
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6. Storm Drainage
 (a) Storm water runoff from the Site will be managed through proven techniques which satisfy the standards imposed by the Mecklenburg County Engineering Department.
 (b) No storm water facilities may be placed within buffer areas or wet back areas.
 7. Sidewalks
 (a) Internal sidewalks will be provided as shown on the Schematic Site Plan (Sheet L-02).
 (b) Pavement materials to be used shall be as specified on the Schematic Site Plan (Sheet L-02).
 (c) The work on the John Winstead Homes site of buildings #1, #2, and #3 will occur within an 8-foot planning area within the 50-foot setback along New U.S. 521.
 (d) No flood lights will be installed on the rear facade of buildings #1, #2, and #3.
 (e) The exterior facade of buildings #1, #2, and #3 may not exceed 2 stories in height.
 (f) The work on the John Winstead Homes site of buildings #1, #2, and #3 will occur within an 8-foot planning area within the 50-foot setback along New U.S. 521.
 (g) The site on the back of building #1, #2, and #3 must be mirror reflection of the site on the front of these buildings and setbacks.
 8. Signs
 (a) Uniform signage and graphics system will be employed throughout the Site which will comply with the provisions of Section 13 of the Ordinance.
 9. Fire Protection
 (a) Adequate fire protection in the form of fire hydrants will be provided to the Mecklenburg County Fire Marshal's specifications.
 (b) Extension of water service and fire protection to the development will be constructed such that no fire hydrant shall be further than 75 feet from the most remote point of building as noted above.
 10. Storm Drainage
 (a) Storm water runoff from the Site will be managed through proven techniques which satisfy the standards imposed by the Mecklenburg County Engineering Department.
 (b) No storm water facilities may be placed within buffer areas or wet back areas.
 11. Sidewalks
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 (g) The site on the back of building #1, #2, and #3 must be mirror reflection of the site on the front of these buildings and setbacks.

C. Streets and Driveways
 1. Roadway improvements at the intersection of New U.S. 521 with the proposed public collector street leading to the Site and the adjacent Southhampton Subdivision will be made in accordance with the requirements of the Mecklenburg County Engineering Department and the North Carolina Department of Transportation. The petitioner will construct at its own expense a full width lane providing 32 feet of clearing with a 1:1 lay taper on New U.S. 521 in accordance with N.C. DOT and Mecklenburg County Engineering Department Standards.
 2. A 60-foot wide right-of-way to accommodate the public collector street providing access from New U.S. 521 to the Site along the alignment depicted on the Technical Data Sheet will be dedicated to the public to the Petitioner's property line, for right-of-way purposes prior to the issuance of any building permit for development taking place on the Site.
 3. The public collector street will be constructed at Petitioner's expense in accordance with the standards established by the Mecklenburg County Engineering Department and will be designed and constructed to its jurisdiction under the Southhampton Subdivision and U.S. 521. Construction of the Petitioner's property line will occur prior to issuance of a Certificate of Occupancy.
 4. Public areas will be submitted for subdivision approval.
 5. The Petitioner agrees that if the development of the property being retained by the Bingham Family, it will not connect the road to the John Winstead Homes subdivision to the road in the Hill Communities Bingham property unless the connection is required by other Mecklenburg County or the City of Charlotte. Hill Communities, Inc. will also agree that if the connection is required, it is required to provide the connection, it will work closely with John Winstead Homes with respect to the alignment so as to make it as close as possible to the alignment depicted on the enclosure with the letter from Bingham Family, Inc. dated May 24, 1999.
 6. Amendments to Technical Data Sheet
 Future amendments to the Technical Data Sheet and these Development Standards may be applied for by the then owner or owners of the parcel or parcels involved in accordance with the provisions of Chapter 6 of the Ordinance.
 7. Finding Effect of the Rezoning Application
 1. If the Petitioner's Rezoning Petition is approved, the development program established under these Development Standards, the Technical Data Sheet and other appropriate documents shall remain in effect in the manner provided under the Ordinance, including upon and after the expiration of the term of the Petitioner and subsequent owners of the Site, and their respective heirs, devisees, personal representatives, successors in interest and assigns.
 2. Throughout this Rezoning Petition, the terms "Petitioner," and "owner" or "owners," shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of the Petitioner and the current and subsequent owners of the Site who, from time to time, may be involved in any future development of the Site.
 3. If Hill Communities should seek amendments to these Development Standards or Technical Data Sheet that do not require public notice, Hill Communities will provide at least 15 days prior notice to John Winstead Homes for review and comment on the proposed amendments.
 4. Should anyone thereafter seek amendments to these Development Standards or Technical Data Sheet that do not require public notice, Hill Communities will provide at least 15 days prior notice to John Winstead Homes for review and comment on the proposed amendments.



SITE DATA

AREA TO BE REZONED 47.9 AC.
 EXISTING ZONING R-3
 PROPOSED ZONING R-8M(CD)

PROPOSED MULTI-FAMILY UNITS:

(1) 36 UNIT BUILDINGS	36
(4) 28 UNIT BUILDINGS	112
(5) 24 UNIT BUILDINGS	120
(5) 16 UNIT BUILDINGS	80
TOTAL NUMBER OF UNITS	348

NOTE: THE FOLLOWING AGENCIES MUST BE CONTACTED PRIOR TO CONSTRUCTION REGARDING WETLAND AND WATER QUALITY PERMITS:
 401/404 PERMIT - NCCD/NR BALDWIN OFFICE: 970.233.6786
 401/404 PERMIT - US ARMY CORPS OF ENGINEERS: 704.274.1454

SECTION (NOT TO SCALE)

Copper Ridge
 Pineville, North Carolina

PREPARED FOR:
HILL COMMUNITIES, INC.
 2420 MONTGOMERY ROAD
 CINCINNATI, OHIO 45236
 513-984-0300

PREPARED BY:
Haden-Stanziale
 Planners & Landscape Architects
 1919 South Boulevard, Suite 102
 Charlotte, North Carolina 28203
 Ph: (704) 373-0534 Fax: (704) 342-0251

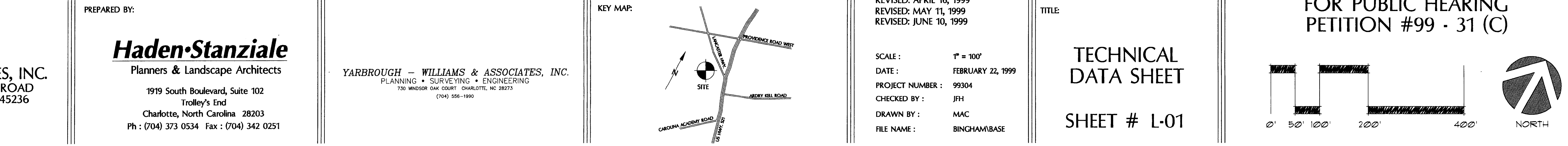
KEY MAP:

REVISED: APRIL 16, 1999
 REVISED: MAY 11, 1999
 REVISED: JUNE 10, 1999

SCALE: 1" = 100'
 DATE: FEBRUARY 22, 1999
 PROJECT NUMBER: 99304
 CHECKED BY: JHW
 DRAWN BY: MAC
 FILE NAME: BINGHAMBASE

TITLE:
TECHNICAL DATA SHEET
 SHEET # L-01

FOR PUBLIC HEARING
 PETITION #99 - 31 (C)



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 Pineville, North Carolina

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 Ph: (704) 373-0534 Fax: (704) 342-0251

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 DATE: FEBRUARY 22, 1999
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 FILE NAME: BINGHAMBASE

TITLE:
SCHEMATIC SITE PLAN
 SHEET # L-02

FOR PUBLIC HEARING
 PETITION #99 - 31 (C)

SITE DATA

QTY.	TYPE	TOTAL
1	36 UNIT BUILDINGS	36
4	28 UNIT BUILDINGS	112
5	24 UNIT BUILDINGS	120
5	16 UNIT BUILDINGS	80
TOTAL # OF UNITS		348