



**Charlotte-Mecklenburg Planning, Design, & Development**

**DATE:** June 15, 2020

**TO:** Sonja Sanders  
Zoning Supervisor

**FROM:** Taiwo Jaiyeoba  
Planning Director

**SUBJECT:** Administrative Approval for Petition No. 2000-011C Dallas Merle king

Attached is the revised site plan for the petition above. This request allows the modification of the proposed site plan as listed below. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

- To allow the development of a proposed medical office
- Building elevations
- Landscaping Plan

Staff supports of the request because:

- The site plan complies with the conditional notes and still meets the intent of the original approval by the County Commissioners.

**Note: All other Zoning, Subdivision, Tree, PCSO Ordinances, conditional requirements and building codes still apply.**

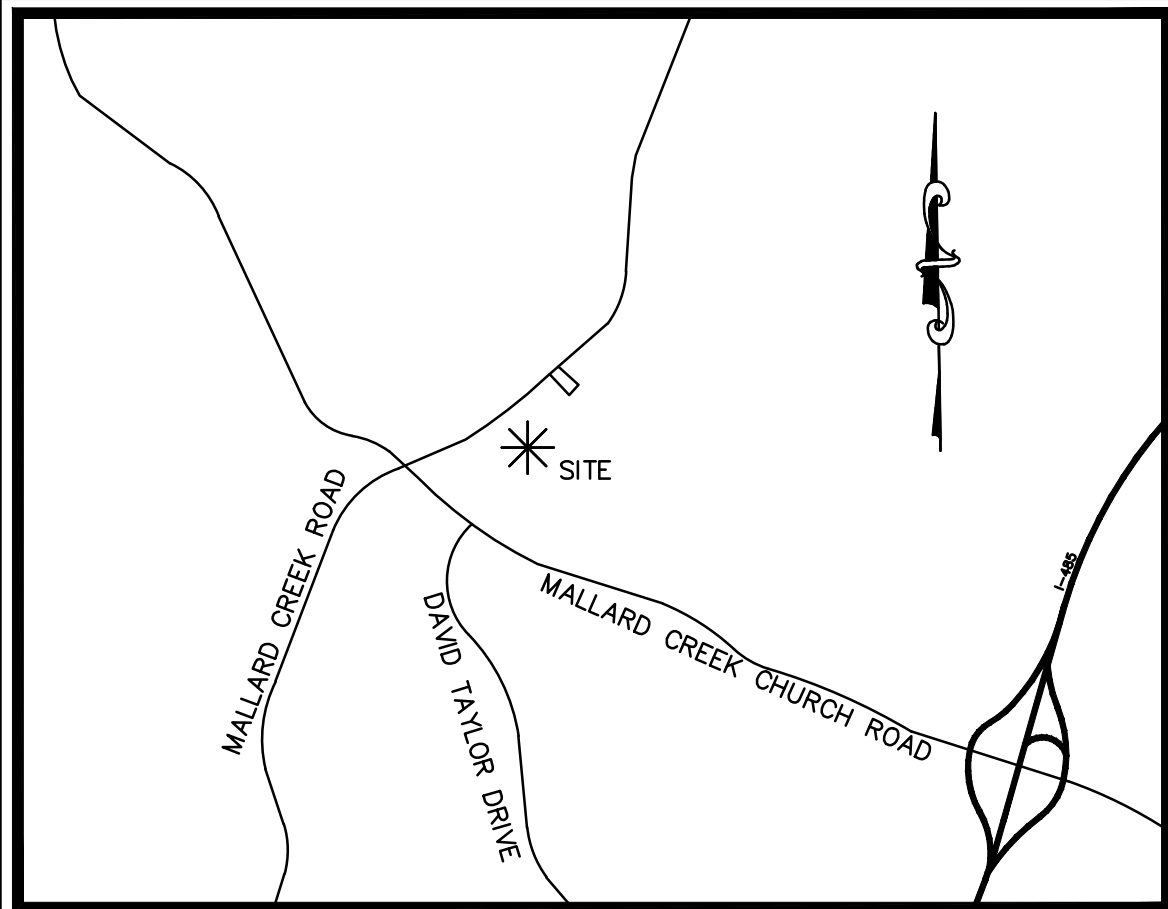
**Signage was not reviewed as part of this request.**



# KING'S CROSSING

LOT 4

MALLARD CREEK RD., CHARLOTTE, NC



VICINITY MAP  
NOT TO SCALE

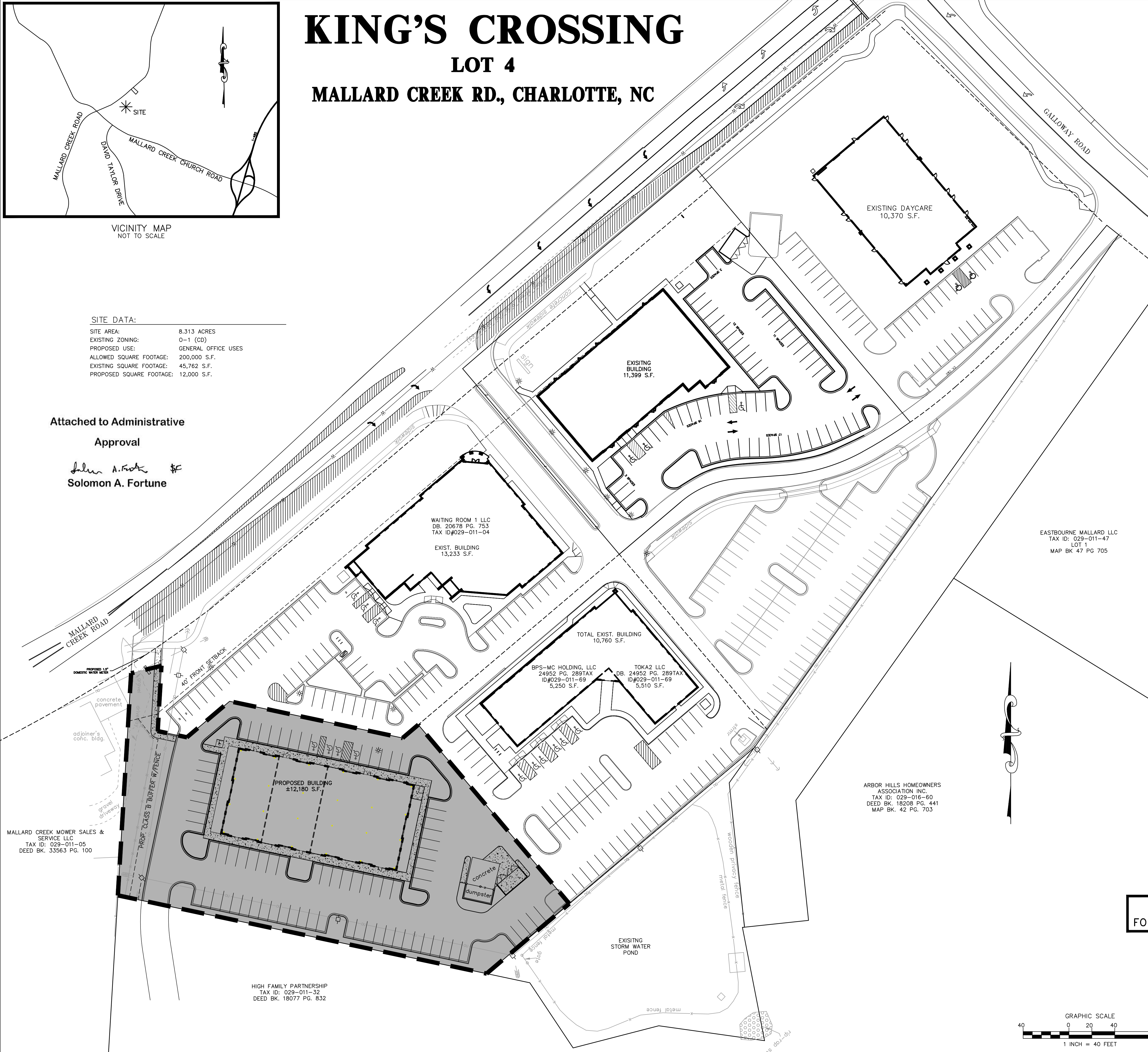
#### SITE DATA:

SITE AREA: 8.313 ACRES  
EXISTING ZONING: 0-1 (CD)  
PROPOSED USE: GENERAL OFFICE USES  
ALLOWED SQUARE FOOTAGE: 200,000 S.F.  
EXISTING SQUARE FOOTAGE: 45,762 S.F.  
PROPOSED SQUARE FOOTAGE: 12,000 S.F.

Attached to Administrative

Approval

*Solomon A. Fortune*  
Solomon A. Fortune



#### DEVELOPMENT CONDITIONS (PETITION #2000-011C):

**GENERAL PROVISIONS**  
UNLESS MORE STRINGENT STANDARDS ARE ESTABLISHED BY THE TECHNICAL DATA SHEET OR THESE DEVELOPMENT STANDARDS, ALL DEVELOPMENT STANDARDS ESTABLISHED UNDER THE MECKLENBURG COUNTY ZONING ORDINANCE (THE "ORDINANCE") 0-1 ZONING DISTRICT CLASSIFICATION SHALL BE FOLLOWED IN CONNECTION WITH DEVELOPMENT TAKING PLACE ON THE SITE.

#### DESIGN CONCEPT

IN KEEPING WITH THE DESIGN GUIDELINES OUTLINED IN THE DRAFT OF THE NORTHEASTERN PLAN, THE PLAN SHALL PROVIDE FOR AN INTERCONNECTED STREET NETWORK WITH CONNECTIONS TO OTHER PARCELS AND SHELL BE DESIGNED SO AS TO BE PEDESTRIAN AND TRANSIT FRIENDLY.

#### PERMITTED USES

THE SITE MAY BE DEVELOPED TO GENERAL OR MEDICAL, OR BANK USE (INCLUDING ANY ACCESSORY USE) WHICH IS PERMITTED UNDER PRESCRIBED CONDITIONS IN AN 0-1 ZONING DISTRICT.

#### SQUARE FOOTAGE RESTRICTIONS

THE GROSS FLOOR AREA OF ALL BUILDINGS CONSTRUCTED WITHIN THE SITE MAY NOT EXCEED, IN THE AGGREGATE, 249,000 SQUARE FEET.

#### BUFFERS

1. BUFFER AREAS ESTABLISHED ON THIS TECHNICAL DATA SHEET SHALL CONFORM TO THE STANDARDS OF SECTION 12.302 OF THE ORDINANCE; SUBJECT, HOWEVER, TO THE PROVISIONS OF SECTION 12.304 THEREOF.
2. BUFFER AREAS SHALL REMAIN AS OPEN SPACE AND, SUBJECT TO THE PROVISIONS OF PARAGRAPHS (3) BELOW, WILL BE LEFT UNDISTURBED. BUFFER AREAS WILL BE LEFT UNDISTURBED WHERE SIGNIFICANT EXISTING VEGETATION EXISTS.
3. NO BUILDINGS, PARKING SPACES, MANEUVERING AREAS OR STORM WATER DETENTION FACILITIES MAY BE LOCATED WITHIN BUFFER AREAS.
4. WHERE EXISTING TREES AND NATURAL VEGETATION HAVE BEEN CLEARED TO ACCOMMODATE PEDESTRIAN SIDEWALKS OR PATHWAYS OR THE INSTALLATION OF UTILITIES, THE CLEARED, UNIMPROVED AREAS WILL BE LANDSCAPED WITH TREES AND SHRUBS.
5. THE WIDTH OF THE BUFFER AREAS DEPICTED ON THE TECHNICAL DATA SHEET MAY BE REDUCED.
6. IN THE EVENT THE BUFFER REQUIREMENTS DEPICTED ON THIS TECHNICAL PLAN SHOULD CHANGE OR BE ELIMINATED THEN ANY SUCH BUFFER AREA DEPICTED ON THIS PLAN MAY BE REDUCED OR ELIMINATED ACCORDINGLY.
7. PETITIONER RESERVES THE RIGHT TO REDUCE BUFFER WIDTHS, PER ORDINANCE, WITH THE USE OF SCREENING OR BERMS.

#### SETBACKS, SIDE YARDS AND REAR YARDS

1. ALL BUILDINGS CONSTRUCTED WITHIN THE SITE SHALL OR EXCEED THE REAR YARD AND SIDE YARD REQUIREMENTS ESTABLISHED UNDER THE ORDINANCE FOR THE 0-1 ZONING DISTRICT.
2. A 40 FOOT BUILDING AND PARKING SETBACK WILL BE ESTABLISHED ALONG MALLARD CREEK ROAD, ALL AS DEPICTED ON THE TECHNICAL DATA SHEET.
3. STORM WATER DETENTION FACILITIES MAY NOT BE LOCATED WITHIN ANY SETBACK AREA.
4. TREES 6" CALIPER AND GREATER WITH IN GALLOWAY AND MALLARD CREEK ROAD SETBACKS SHALL BE PRESERVED AND TREE PROTECTION FENCES SHALL BE PROVIDED.

#### SCREENING AND LANDSCAPED AREAS

1. LANDSCAPED AREAS WILL BE PLANTED AND IMPROVED IN SEQUENCES, WHICH ARE KEYED TO EACH PHASE OF DEVELOPMENT TAKING PLACE ON THE SITE.
2. PLANTINGS WITHIN LANDSCAPED AREAS WILL MEET OR EXCEED THE REQUIREMENTS OF THE ORDINANCE.
3. SCREENING SHALL CONFORM WITH THE STANDARDS AND TREATMENTS SPECIFIED IN SECTION 12.303 OF THE ORDINANCE.
4. ALL TREES WITHIN THE SETBACK WHICH ARE 6 INCHES OR LARGER IN CALIPER WILL BE PRESERVED AND A 5- FOOT WIDE SIDEWALK WITH AN 8-FOOT PLANTING STRIP WILL BE PROVIDED ALONG MALLARD CREEK ROAD.

#### PARKING

OFF STREET PARKING SPACES WILL SATISFY THE MINIMUM STANDARDS ESTABLISHED UNDER THE ORDINANCE.

#### LIGHTING

1. ALL FREESTANDING LIGHTING FIXTURES INSTALLED WITHIN THE SITE WILL BE UNIFORM IN DESIGN.
2. THE MAXIMUM HEIGHT OF ANY FREESTANDING LIGHTING FIXTURE, INCLUDING ITS BASE, SHALL NOT EXCEED 20 FEET IN HEIGHT. NO WALL PACK TYPE LIGHTING FIXTURES WILL BE ALLOWED.
3. ALL DIRECT LIGHTING WITHIN THE SITE (EXCEPT STREETLIGHTS, WHICH MAY BE ERECTED ALONG MALLARD CREEK ROAD,) SHALL BE DESIGNED SUCH THAT DIRECT ILLUMINATION DOES NOT EXTEND PAST ANY PROPERTY LINE. CONSIDERATION WILL BE GIVEN TO THE IMPACT OF LIGHTING BOTH WITHIN AND WITHOUT THE PERIMETER OF THE SITE. ITEMS FOR CONSIDERATION WILL INCLUDE INTENSITY, CUTOFFS ANGLES, COLOR, ENERGY EFFICIENCY AND SHIELDING OF SOURCES OF LIGHT, THE INTENT BEING TO ELIMINATE GLEARE TOWARDS MALLARD CREEK ROAD AND ADJACENT PROPERTIES.

#### SIGNS

ALL SIGNS PLACED ON THE SITE WILL BE ERECTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ORDINANCE.

#### ACCESS POINTS (DRIVEWAYS)

1. THE NUMBER OF VEHICULAR ACCESS POINTS TO THE SITE SHALL BE LIMITED TO THE NUMBER DEPICTED ON THIS TECHNICAL DATA SHEET.
2. THE PLACEMENT AND CONFIGURATION OF EACH ACCESS POINT ARE SUBJECT TO ANY MINOR MODIFICATIONS REQUIRED TO ACCOMMODATE FINAL SITE AND ARCHITECTURAL CONSTRUCTION PLANS AND DESIGNS AND TO ANY ADJUSTMENTS REQUIRED FOR APPROVAL BY THE COUNTY ENGINEERING DEPARTMENT AND THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.

#### FIRE PROTECTION

ADEQUATE FIRE PROTECTION IN THE FORM OF FIRE HYDRANTS WILL BE PROVIDED TO THE MECKLENBURG COUNTY FIRE MARSHALL. SPECIFICATIONS, PLANS FOR EACH BUILDING WILL BE SUBMITTED TO THE FIRE MARSHALL'S OFFICE FOR APPROVAL BEFORE THE CONSTRUCTION OF THAT BUILDING COMMENCES.

#### ARCHITECTURAL CONTROLS

1. DUMPSTER AREAS WILL BE ENCLOSED ON ALL FOUR SIDES BY A BRICK WALL WITH ONE SIDE BEING A HINGED WOODEN GATE. IF ONE OR MORE SIDES OF A DUMPSTER AREA ADJOIN A REAR WALL, THE REAR WALL MAY SUBSTITUTED FOR A SIDE.
2. ALL MECHANICAL EQUIPMENT INCLUDING ROOF TOP EQUIPMENT SHALL BE SCREENED FROM VIEW FROM STREETS ADJOINING RESIDENTIAL PROPERTIES.
3. AT LEAST 80% OF ALL THE EXTERIOR OPAQUE VERTICAL SURFACES OF THE FRONT SIDE AND REAR ELEVATIONS OF BUILDING CONSTRUCTED ON THE SITE WILL CONSIST OF BRICK MATERIALS.

#### STORM WATER MANAGEMENT/SEWER

1. STORM WATER RUNOFF FROM THE SITE WILL BE MANAGED THROUGH PROVEN TECHNIQUES, WHICH SATISFY THE STANDARDS IMPOSED BY THE MECKLENBURG COUNTY ENGINEERING DEPARTMENT.
2. NO STORM WATER DETENTION SHALL BE WITHIN DESIGNATED BUFFER OR SETBACKS.

#### PUBLIC ROAD IMPROVEMENTS

1. PETITIONER SHALL INSTALL A 5-FOOT SIDEWALK AND AN 8-FOOT PLANTING STRIP ALONG MALLARD CREEK ROAD AND GALLOWAY ROAD.
2. STREET TREES SHALL BE PROVIDED ALONG MALLARD CREEK ROAD AND GALLOWAY ROAD AT 40-FOOT INTERVALS.
3. PETITIONER SHALL IMPROVE GALLOWAY ROAD TO COLLECTOR STREET STANDARDS ALONG HIS FRONTAGE.

#### INTERSECTION COMMITMENTS

THE PETITIONER MUST CONTRIBUTE THE SUM OF FIFTY THOUSAND DOLLARS (\$50,000.00) TO THE MECKLENBURG COUNTY ENGINEERING DEPARTMENT OR ITS DESIGNEE TO BE USED TO FUND A PORTION OF THE COSTS OF IMPROVING THE INTERSECTION BETWEEN MALLARD CREEK ROAD AND GALLOWAY ROAD AND THE INSTALLATION OF A TRAFFIC SIGNAL AT THAT INTERSECTION (WHEN WARRANTED) BEFORE ANY BUILDING PERMITS FOR DEVELOPMENT ON THE SITE MAY BE ISSUED.

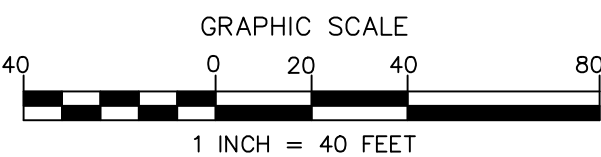
#### WETLANDS

THE WETLANDS AREA GENERALLY DEPICTED ON THE TECHNICAL PLAN WILL BE DELINEATED BY A WETLANDS CONSULTANT AND THEREAFTER THE LIMITS MUST BE APPROVED BY THE U.S. ARMY CORP OF ENGINEERS. THE AREA WITHIN THE EXACT LIMITS SO APPROVED WILL THEN BE LEFT IN ITS CURRENT CONDITION AS UNDISTURBED OPEN SPACE.

#### BUILDING HEIGHT LIMITATIONS

NO BUILDING IN EXCESS OF THREE STORIES IN HEIGHT MAY BE CONSTRUCTED ON THE SITE EXCEPT WITHIN THE AREA IDENTIFIED ON THE TECHNICAL PLAN AS AREA A, WHERE BUILDINGS MAY BE UP TO FOUR STORIES IN HEIGHT.

PRELIMINARY  
FOR REVIEW PURPOSES ONLY



NO.	BY	DATE	REVISION
1	CBH	5/4/2020	PER REVIEW COMMENTS
2	WDF	6/8/2020	PER REVIEW COMMENTS

**ISAACS GROUP**  
CIVIL ENGINEERING DESIGN AND SURVEYING

Project: **KING'S CROSSING LOT 4**  
MALLARD CREEK ROAD  
CHARLOTTE, NORTH CAROLINA

Title: **ADMINISTRATIVE AMENDMENT**

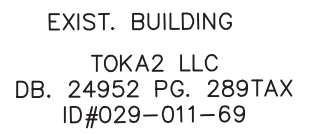
File #: 19261-AMEND.DWG Date: 04/09/2020 Project Egr: BTU

Design By: BTU  
Drawn By: CBH  
Scale: 1"=40'

8720 RED OAK BOULEVARD, SUITE 420  
CHARLOTTE, N.C. 28217  
PHONE (704) 527-3440 FAX (704) 527-8335

**C0.0**



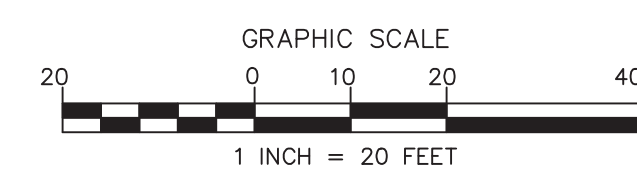


BUFFER REQUIREMENTS:  
PER REZONING PETITION 2000-11C 75' CLASS C BUFFER REQUIRED  
TREES=11/100' X 194'= 21 TREES  
SHRUBS=40/100' X 194= 78 SHRUB

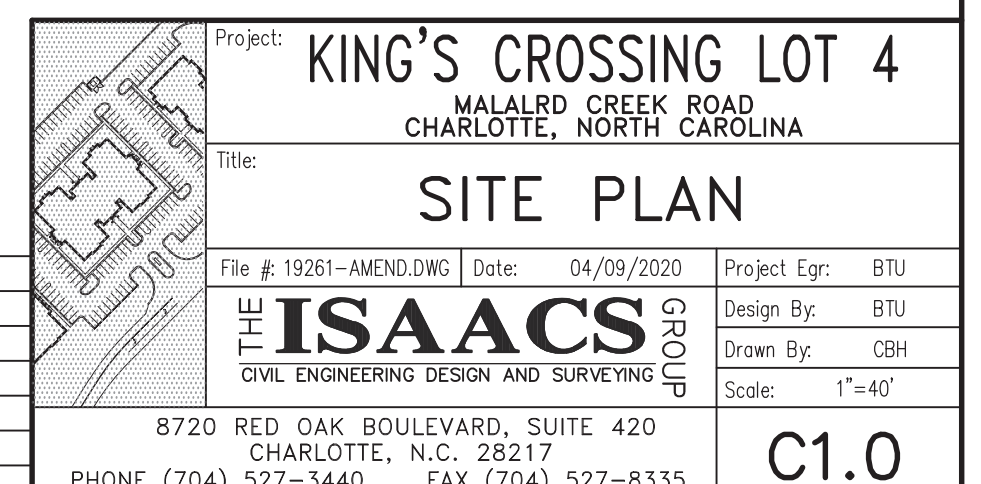
ALTERNATE BUFFER PROVIDED: (BUFFER WIDTH REDUCED W/6' TALL FENCE)  
MIN. WIDTH=10.2', MAX WIDTH= 26.9'  
TREES=11/100 X 194' = 21 TREES (16 LMT+5 SMT)  
SHURBS=40/100 X 194' = 78 SHRUBS

**Attached to Administrative  
Approval**

*Solomon A. Fortune* \$F\$  
Solomon A. Fortune

[illegible]

PRELIMINARY  
FOR REVIEW PURPOSES ONLY





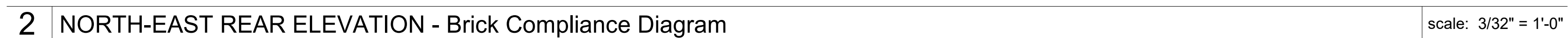
Solomon A. Fortune



SEAL: \_\_\_\_\_

CONSULTANT: \_\_\_\_\_

THE AREA INFORMATION PROVIDED IS FOR REVIEW AND APPROVAL PURPOSES. THE AREA CALCULATIONS PROVIDED HEREIN DO NOT, IN ANY WAY, RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITIES TO PERFORM THEIR OWN CALCULATIONS.



Charlotte, NC.

ODA Project No. 203479

FOR CONSTRUCTION

Issue Date

## BUILDING ELEVATIONS

Copyright 2020 ODA Architecture

5/8/2020 8:05:57 AM





BRICK AREA  
86.01 SF

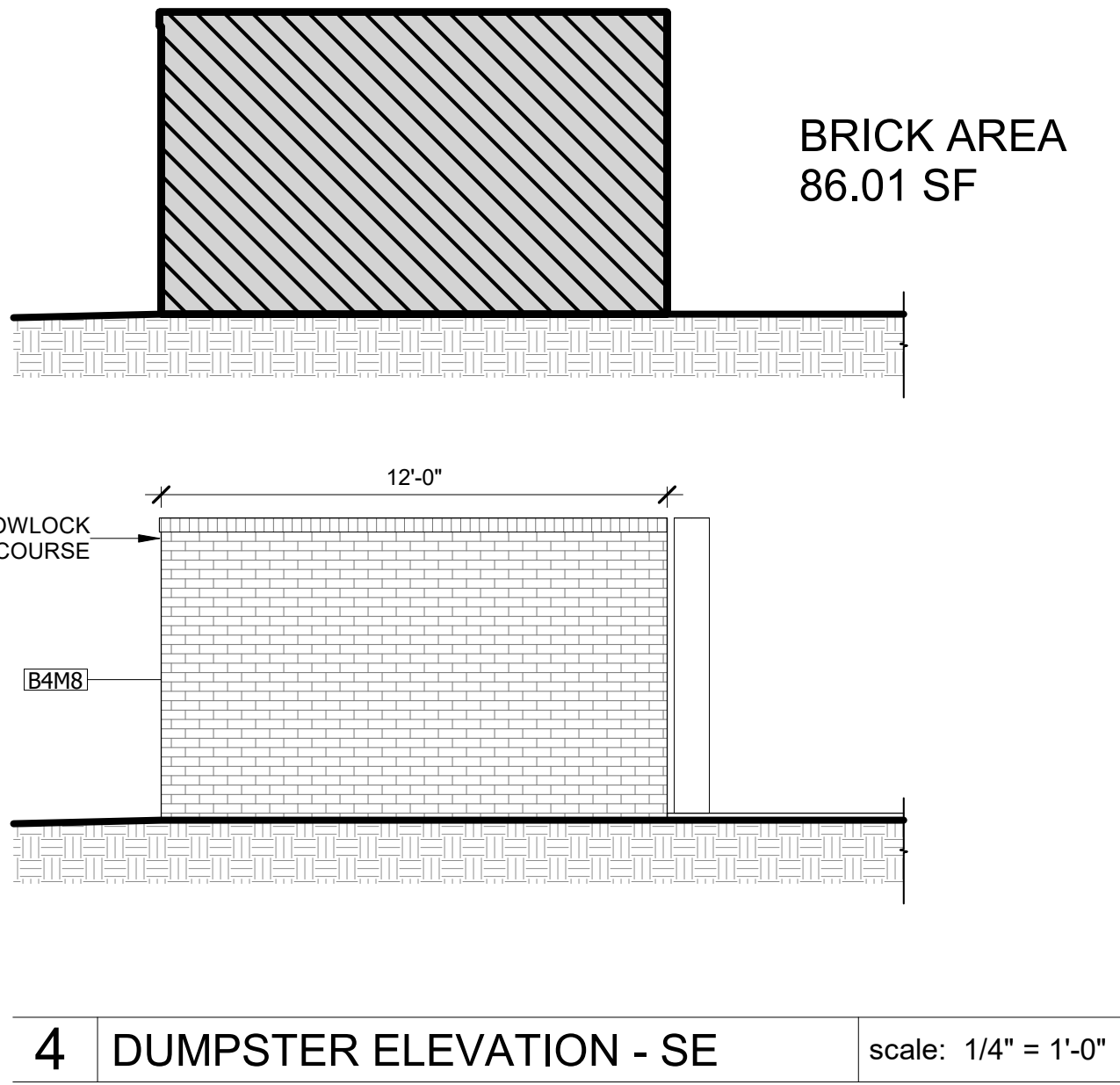
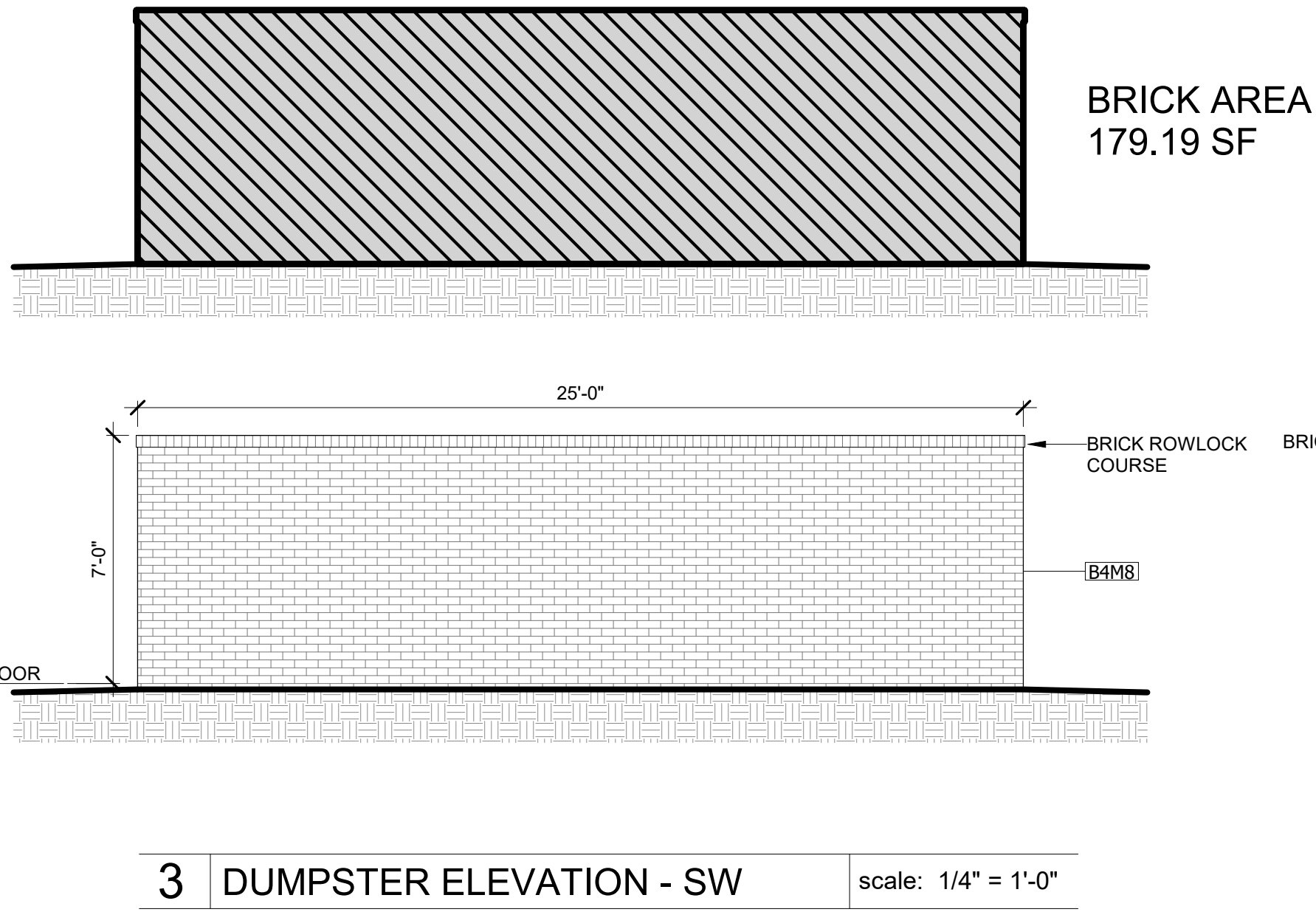
12'-0"

BRICK ROWLOCK COURSE

BRICK

1/4" = 1'-0"

2	DUMPSTER ELEVATION - NW	scale: 1/4" = 1'-0"
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**KINGS CROSSING  
MOB II**

Charlotte, NC.

ODA Project No. 203479

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**FOR CONSTRUCTION**

[illegible]

A-202

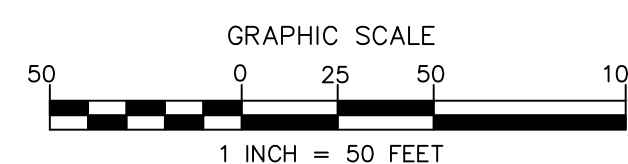
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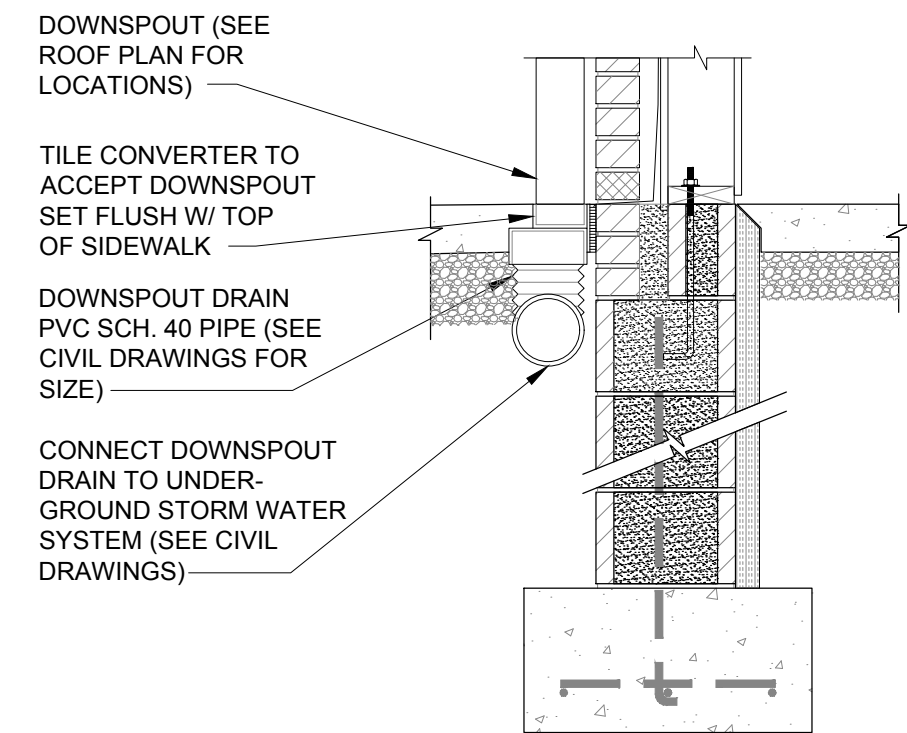






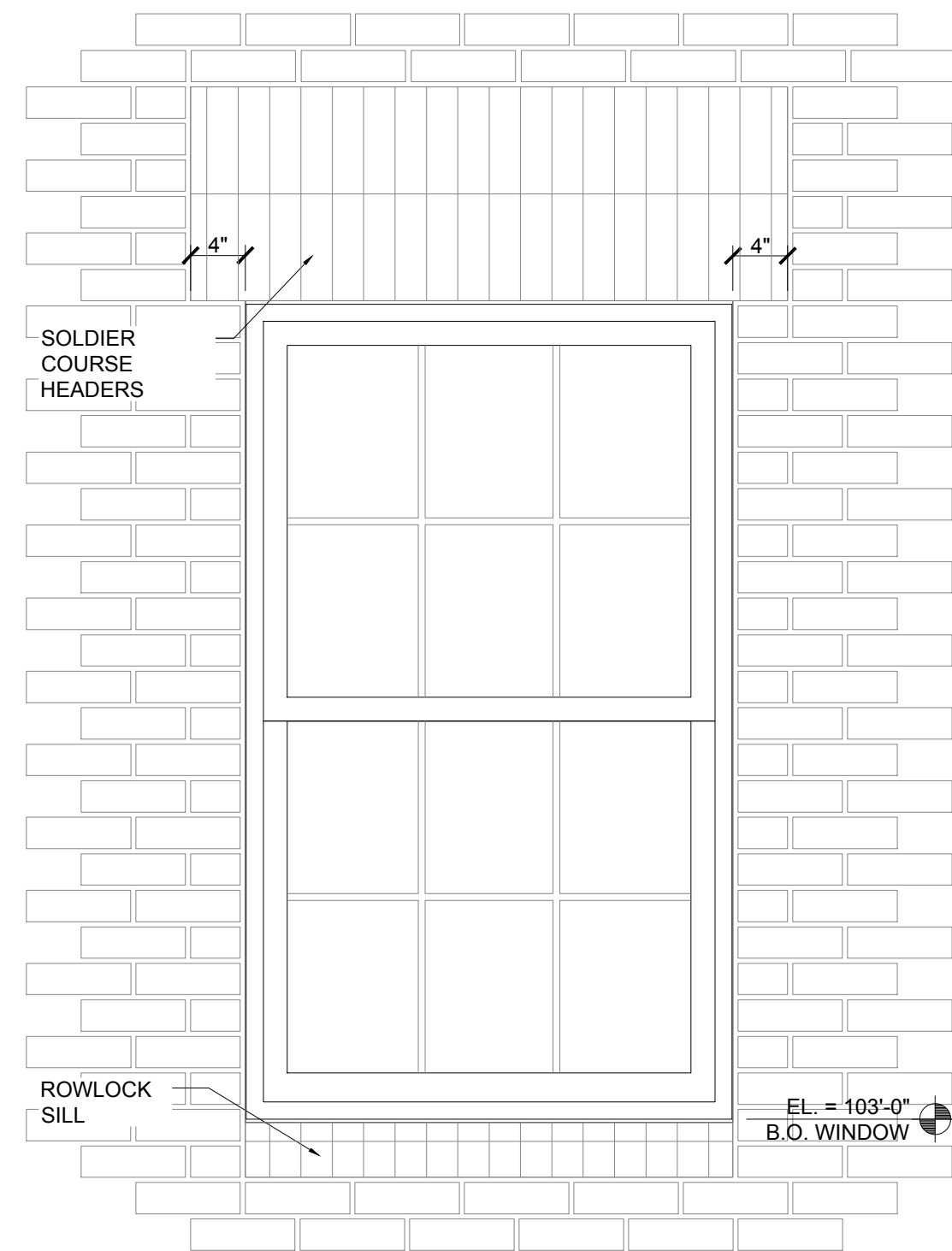






14 FOUNDATION SECTION @ DOWNSPOUTS

SCALE: 3/4" = 1'-0"



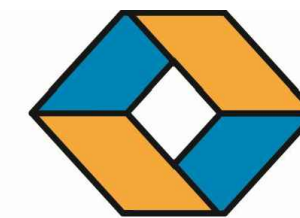
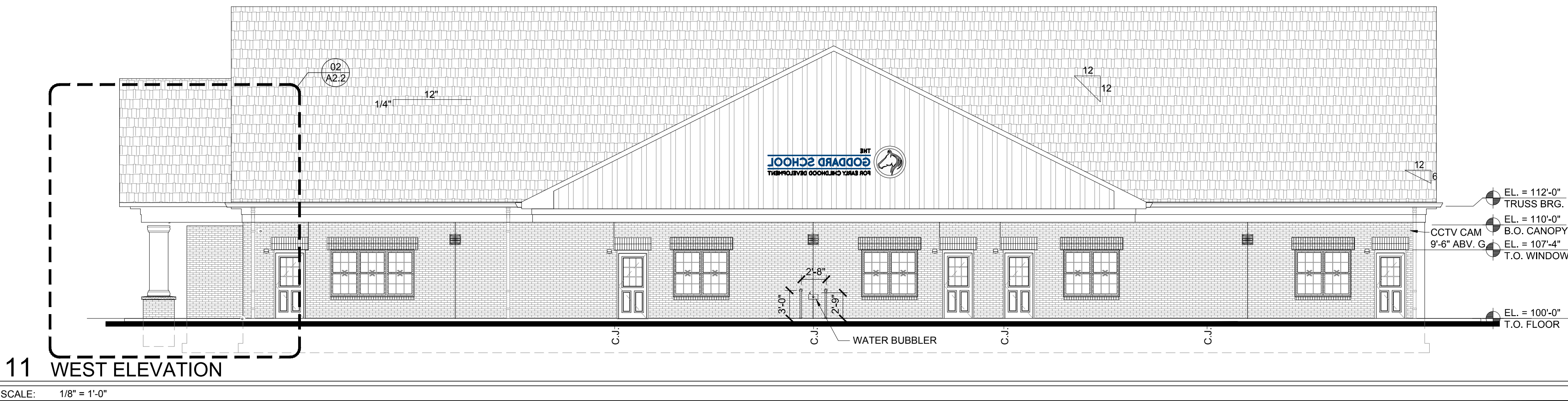
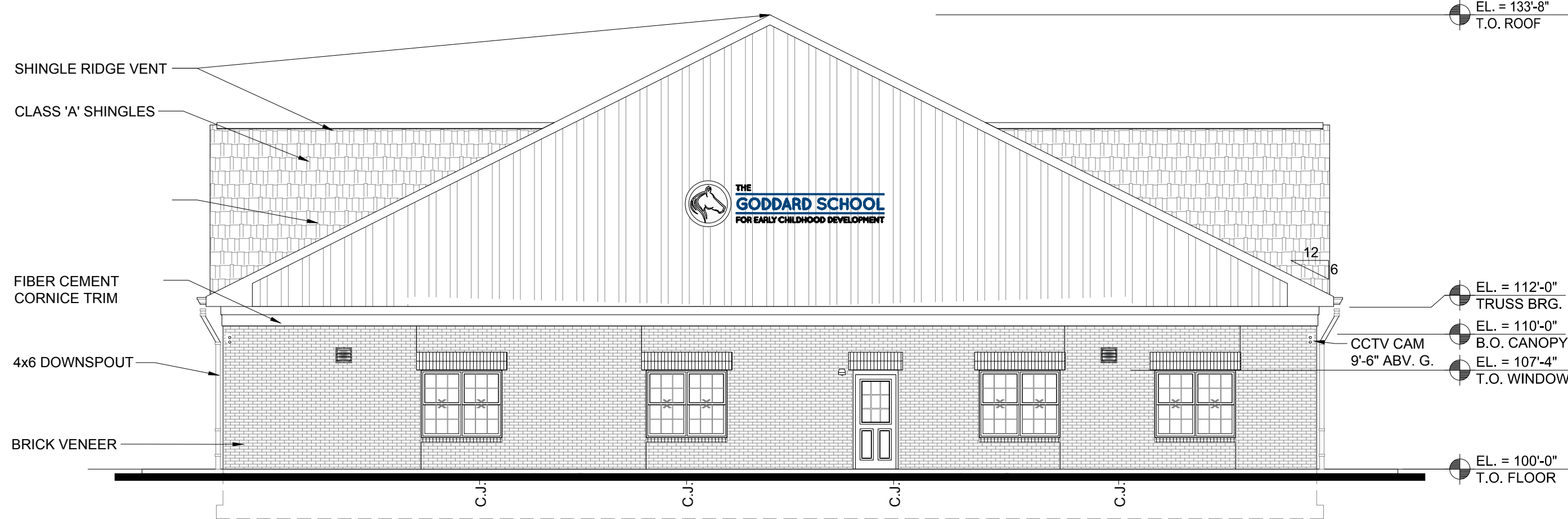
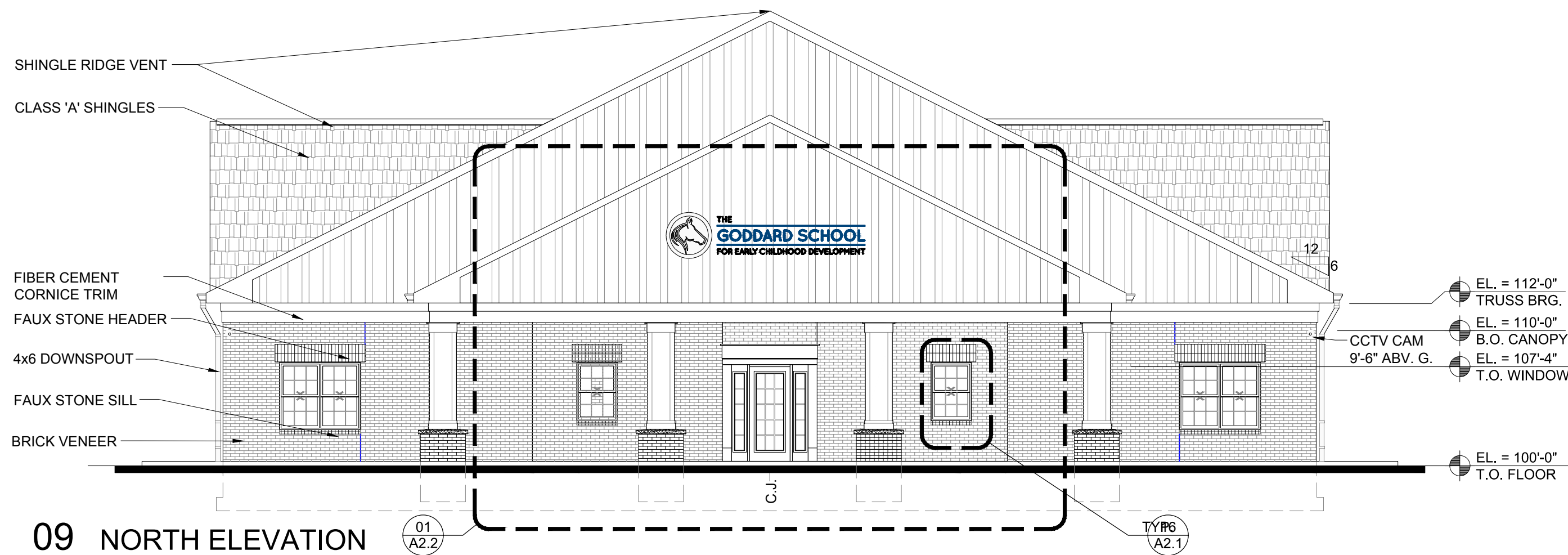
16 OFFICE WINDOW

SCALE: 1" = 1'-0"

Label building height for each elevation.

Provide calculations of the percentage of brick for each elevation per conditional note 3 Under Architectural Controls.

Provide Dumpster enclosure detail



SEAL

DATE 11.03.2016  
PROJECT NO. 16600260

REVISIONS

NO.	DATE	DESCRIPTION
1	11.03.2016	XXXXX



PROJECT TITLE

THE GODDARD SCHOOL  
FOR EARLY CHILDHOOD DEVELOPMENT  
KINGS CROSSING  
STREET ADDRESS  
CHARLOTTE, NC

SHEET TITLE

EXTERIOR  
ELEVATIONS

SHEET NUMBER

A2.1





## Charlotte-Mecklenburg Planning Department

**DATE:** February 2, 2017

**TO:** Donald Moore  
Zoning Supervisor

**FROM:** Ed McKinney  
Interim, Planning  
Director

**SUBJECT:** Administrative Approval for Petition No. 2000-011C Dallas Merle King

Attached is the revised site plan for the petition above. This request allows the modification of the proposed site plan as listed below. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

- To allow the development of a childcare center (Goddard School)
- Building elevations
- Landscaping Plan

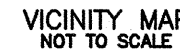
Reasons for Staff's support of the request:

- The site plan complies with the conditional notes and still meets the intent of the approved site plan by the County Commissioners.

**Note: All other Zoning, Subdivision, Tree Ordinances, Building Codes, and conditional requirements still apply.**

**Signage was not reviewed as part of this request.**



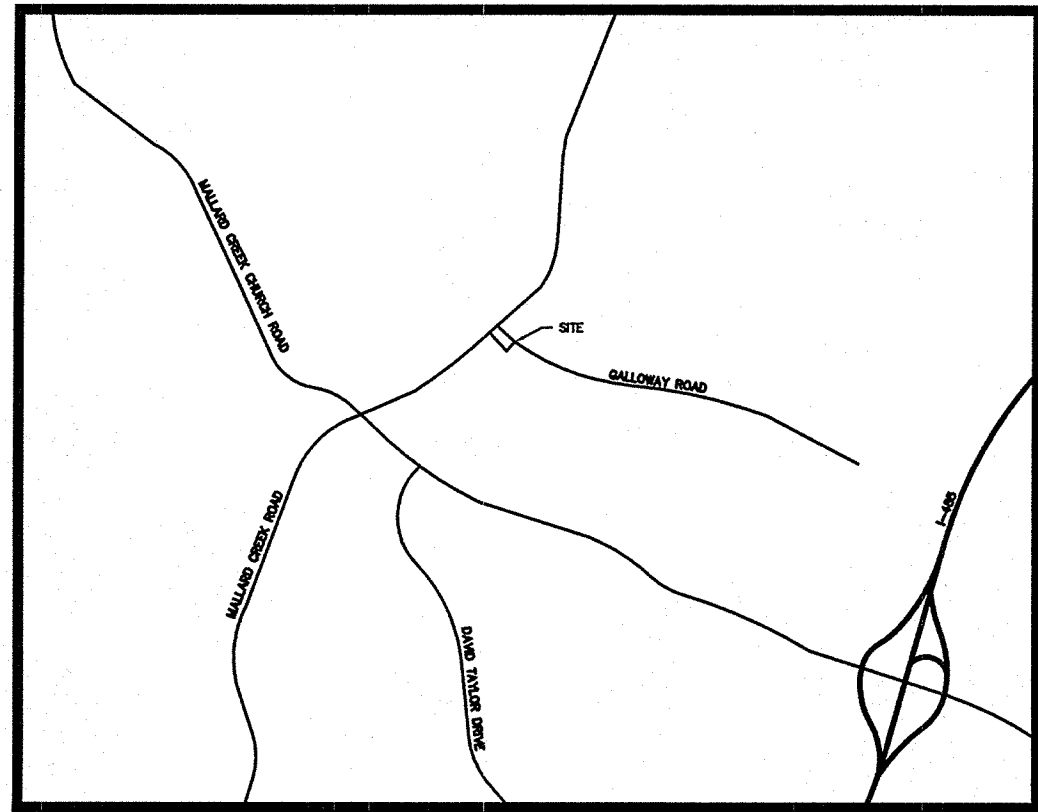


GRAPHIC SCALE

50 0 25 50 100

1 INCH = 50 FEET





VICINITY MAP  
NOT TO SCALE

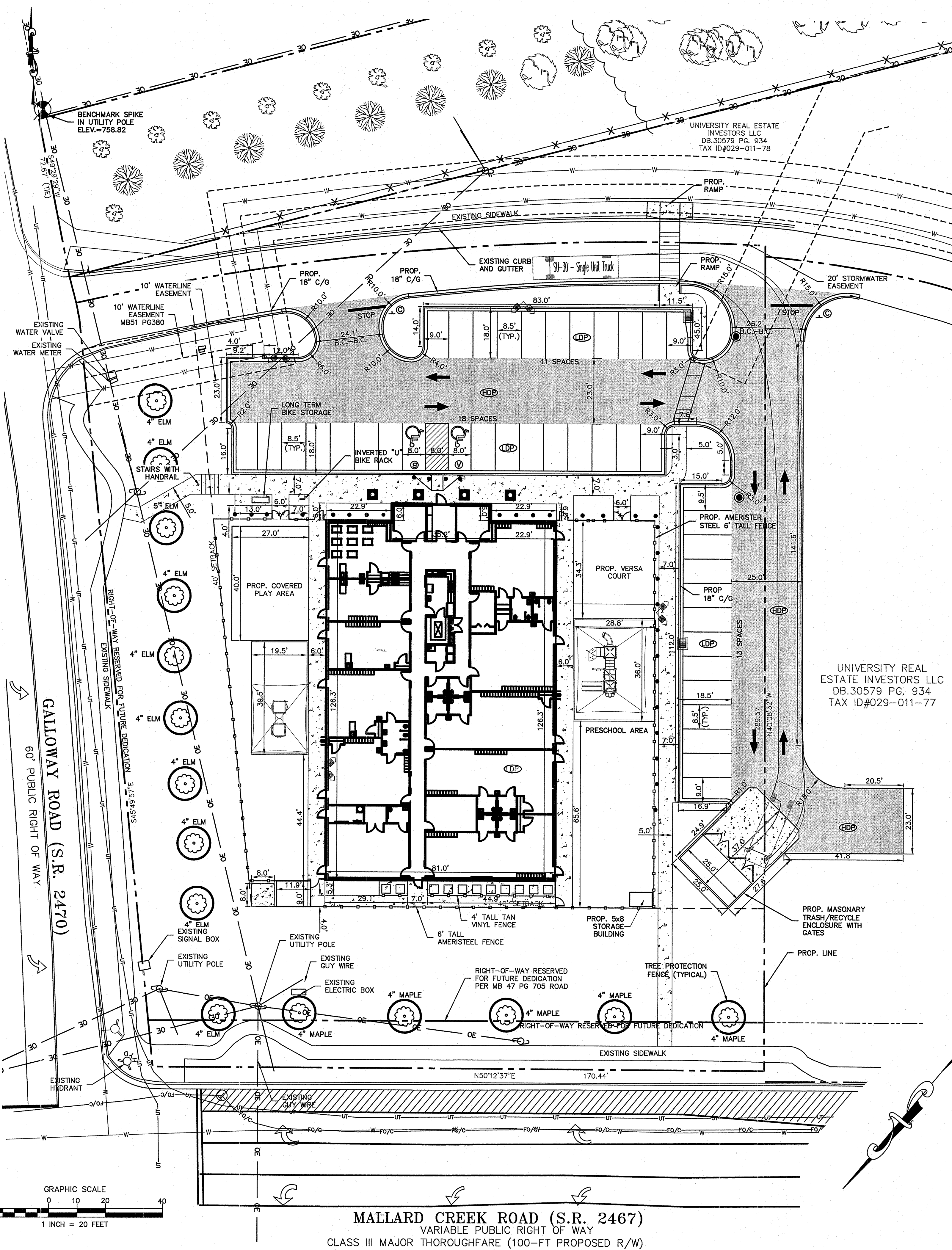
#### ZONING CODE SUMMARY

PROJECT NAME: THE GODDARD SCHOOL - KING'S CROSSING

ADDRESS: 2545 GALLOWAY ROAD  
PLANS PREPARED BY: THE ISAACS GROUP, P.C. PHONE #: 704-527-3440  
ZONING: Q-1 (CD) REZONING: 02/08/2000  
TAX PARCEL #: 02901181 JURISDICTION: CITY OF CHARLOTTE  
PROPOSED USE: DAYCARE BUILDING HEIGHT: 1  
LOT SIZE: 65,094/1.49 SQ. FEET/ACRES NUMBER OF UNITS/SUITES: 1  
GROSS FLOOR AREA: 10,444 SQ. FT.  
EXISTING IMPERVIOUS AREA TO BE REMOVED: 0/0 SQ. FT./ACRES  
TOTAL POST CONSTRUCTION IMPERVIOUS AREA: 35,606/0.82 SQ. FT./ACRES  
HWY/BUILDING SETBACK REQUIREMENTS:  
(MALLARD CREEK ROAD) FRONT: 40' SIDE: N/A  
(GALLOWAY ROAD) FRONT: 40' REAR YARD: N/A  
PROPOSED + FUTURE FLOOR AREA = 10,444 SQ. FT.  
REQUIRED PARKING = 1 SPACE PER EMPLOYEE + 1 SPACE PER 10 CHILDREN =  
25 EMPLOYEES + 152 CHILDREN = 25 + 152/10 = 41 SPACES  
PARKING SPACES PROVIDED = 43 SPACES  
SHORT TERM BICYCLE PARKING REQUIRED = 2 SPACES  
SHORT TERM BICYCLE PARKING PROVIDED = 2 SPACES  
LONG TERM BICYCLE PARKING REQUIRED = 2 SPACES  
LONG TERM BICYCLE PARKING PROVIDED = 2 SPACES (INSIDE BUILDING)

#### NOTES:

- THIS MAP IS NOT A CERTIFIED SURVEY. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY ISAACS GROUP, P.C.
- THE UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THIS PLAN. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED EXCAVATION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- PROVIDE MINIMUM OF 48 HOUR NOTICE TO OWNER OR REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY EXISTING UTILITY, IF BEING UTILIZED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR ALL UNDERGROUND AND OVERHEAD UTILITIES.
- HANDICAP SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH A.D.A. STANDARDS AT H/C PARKING SPACES SHOWN.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION. THESE PERMITS AND APPROVALS MAY INCLUDE BUT ARE NOT LIMITED TO GRADING, DEMOLITION, ZONING, BUILDING, DRIVEWAY, DETENTION, SUBDIVISION, SPECIAL USE, SEWER AND WATER.
- ALL FILL USED FOR RAISING SITE GRADES OR FOR REPLACEMENT OF MATERIAL THAT IS UNDERCUT SHOULD BE UNIFORMLY COMPACTED IN THIN LIFTS TO AT LEAST 95 PERCENT OF THE STANDARD PROCTOR MINIMUM DRY DENSITY (ASTM D 698). IN ADDITION, AT LEAST THE UPPER 18 INCHES OF SUBGRADE FILL BENEATH PAVEMENTS AND FLOOR SLABS AND 24 INCHES BELOW PAVEMENTS SUBJECT TO TRUCK TRAFFIC SHOULD BE COMPACTED TO 100 PERCENT OF THE SAME SPECIFICATION. THE ABOVE COMPACTION SPECIFICATION IS A RECOMMENDATION ONLY. SPECIFIC PAVEMENT OR FLOOR SLAB DESIGNS MAY REQUIRE A DIFFERENT COMPACTION STANDARD. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SITE WORK MEASURES IN STRICT ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS IN THE PROJECT SOILS REPORT AND/OR ON-SITE RECOMMENDATIONS PROVIDED BY A QUALIFIED GEOTECHNICAL ENGINEER DURING CONSTRUCTION.
- UNLESS SPECIFIED/DETAILED WITHIN THE CONTRACT DRAWINGS, CONTRACTOR SHALL PREPARE A CONCRETE JOINT LAYOUT PLAN IN ACCORDANCE WITH ACI 224.3R-95 OR ACI 330.1-03 FOR CONCRETE SURFACES AND PROVIDE TO ENGINEER, OWNER AND ARCHITECT FOR SHOP DRAWING APPROVAL PRIOR TO CONCRETE INSTALLATION.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY.
- CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
- ALL DISTURBED AREAS SHALL BE SEED OR SODDED AFTER FINISH GRADING IS COMPLETED UNLESS OTHERWISE NOTED. ALL NEW SEED OR SODDED AREAS SHALL HAVE A TOPSOIL LAYER OF 4" MINIMUM. TOP OF TOPSOIL LAYER SHALL BE PLACED 1" BELOW TOPS OF CURBS, WALKS, OR PAVEMENT ELEVATIONS WHERE TOPSOIL ADJUTS THOSE AREAS.
- CONTRACTOR SHALL SUPPLY AND PLACE STRAW MULCH WHEREVER GRASS SEED HAS BEEN PLACED.
- CONTRACTOR SHALL REPAIR, RESURFACE, RECONSTRUCT OR REFURBISH ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS SUBCONTRACTORS OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL COMPLETELY FILL ALL TRENCHES WITHIN 5 FEET OF PLAYGROUND BOXES. PAVEMENT EDGES WITH GRANULAR BACKFILL. REFER TO GEOTECHNICAL REPORT FOR TYPE OF FILL TO ACHIEVE DESIRED COMPACTION. EG: 2A OR EQUIVALENT.
- ALL PAINT STRIPING SHALL BE 4" TRAFFIC PAINT IN ACCORDANCE WITH THE STATES DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AND SHALL BE YELLOW.
- CONTRACTOR TO CONFIRM WITH LOCAL CODES AND BUILDING INSPECTOR FOR SPECIFIC DISABLED PARKING SIZES, STRIPING AND SIGNAGE REQUIREMENTS.
- GATES TO BE HARD WIRED, CONNECTED TO SEPARATE ALARM SYSTEM. CHIME BACK AT OFFICE WHEN OPENED. PUSH BARS TO HAVE MINIMUM 12" DEPTH 16 GAUGE EXPANDED METAL BACKING ALONG WIDTH OF GATE WITH LOCKABLE HANDLES ON EXTERIOR.
- G.C. SHALL INSTALL GSI'S STANDARD 'COMING SOON' TEMPORARY SIGN PER AHJ STANDARDS. SEE SHEET C5.3.
- G.C. TO PROVIDE QTY. 3 MIN. SELF CLOSING HINGE SETS TO ALL EXTERIOR GATES, DUE TO 4FT WIDTH AND TO PREVENT POSSIBLE SAGGING.
- G.C. TO INSTALL & LOCATE CLEAN OUTS PER PLUMBING PLANS AND SPECIFICATIONS.



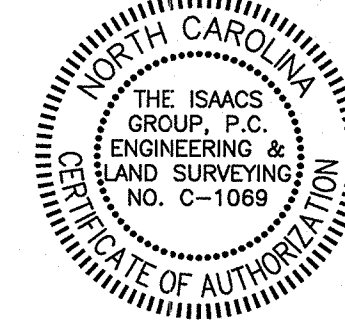
ENGINEER CONTACT  
THE ISAACS GROUP, P.C.  
8720 RED OAK BLVD.  
SUITE 420  
CHARLOTTE, NC 28217  
(P)704-227-9408  
(F)704-527-8335  
hfitzgerald@isaacsgrp.com

BENCHMARK NOTE:  
BENCHMARK LOCATED ON A  
SPIKE IN A UTILITY POLE.  
ELEVATION = 758.82

LIGHTING NOTE:  
CONTRACTOR TO VERIFY FINAL LIGHT POLE LOCATIONS AND  
FIXTURE SPECIFICATIONS WITH OWNER PRIOR TO INSTALLATION

SIGNAGE NOTE:  
REFER TO ARCHITECTURAL PLANS  
FOR ACTUAL BUILDING DIMENSIONS.

NOTE:  
CONTRACTOR TO COORDINATE FINAL SIGN  
LOCATIONS WITH OWNER PRIOR TO  
INSTALLATION SIGNAGE TO BE PERMITTED  
SEPARATELY.



#### RECOMMENDED PAVING SPECIFICATIONS

LIGHT DUTY PAVEMENT (LDP):  
6" COMPACTED AGGREGATE BASE COURSE (CABC)  
2" BINDER SURFACE COURSE, 119.0A  
1" SURFACE COURSE, S9.5A

HEAVY DUTY PAVEMENT (HDP):  
8" COMPACTED AGGREGATE BASE COURSE (CABC)  
2" BINDER SURFACE COURSE, 119.0A  
2" SURFACE COURSE, SF9.5A

CONCRETE DUMPSTER AND HEAVY DUTY PAVEMENT:  
6" COMPACTED AGGREGATE BASE COURSE (CABC)  
6" 4,000 PSI CONCRETE WITH FIBER MESH AND BROOM FINISH

CONCRETE SIDEWALK PAVEMENT:  
4" 3,600 PSI CONCRETE  
SUBGRADE SHALL BE COMPACTED TO 98% MIN. OF THE STANDARD  
MAXIMUM DRY DENSITY (ASTM D698).

#### SIGN SCHEDULE

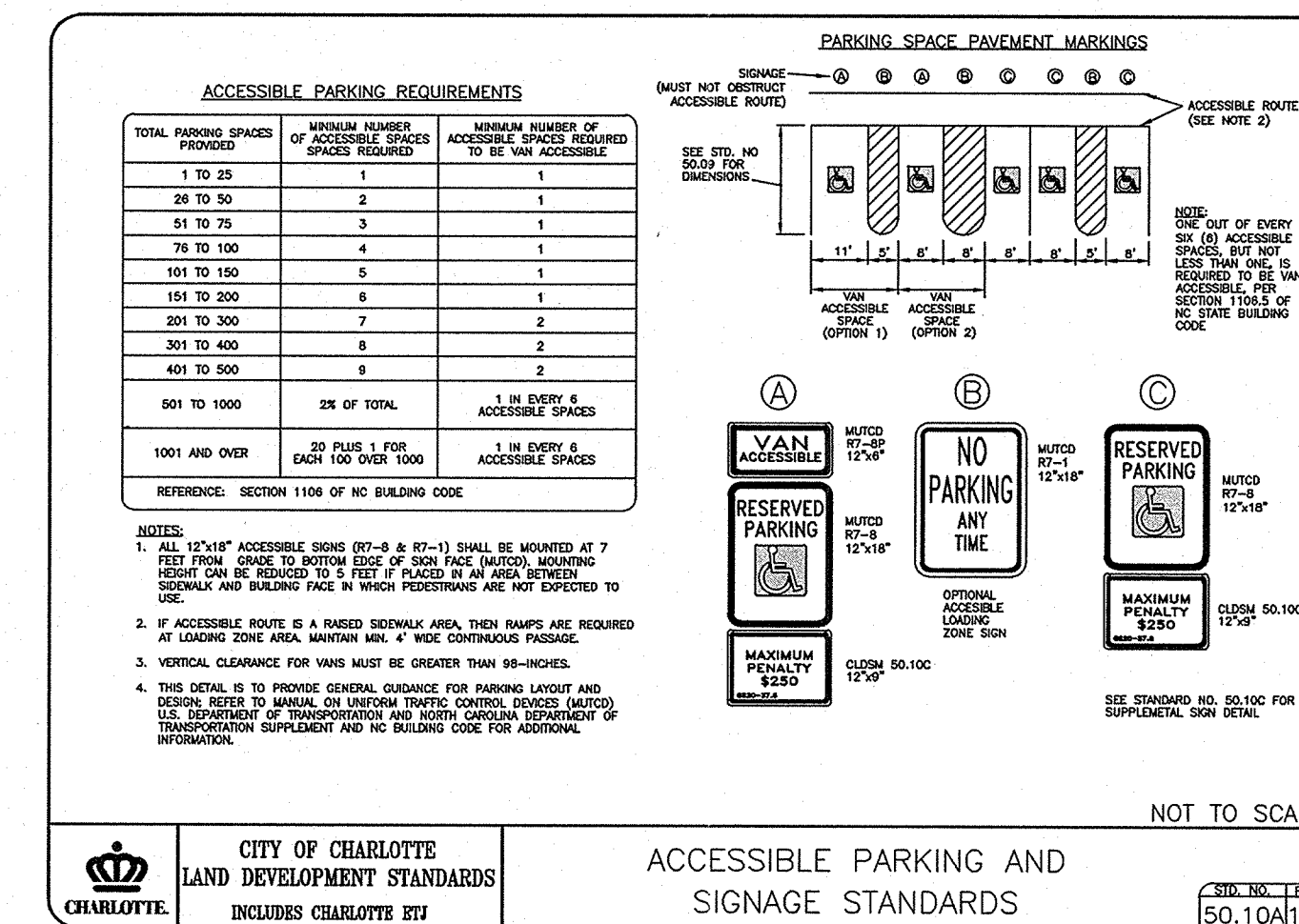
- RESERVED PARKING-MAX PENALTY \$250  
(MUTCD R7-8 & R7-8D)
- VAN ACCESSIBLE HANDICAPPED PARKING SIGN  
(MUTCD R7-8, R7-8A & R7-8D)
- 30"x30" STOP SIGN  
(MUTCD R1-1)

#### RIGHT OF WAY NOTE:

FUTURE RIGHT OF WAY ALONG MALLARD CREEK TO BE DEDICATED PRIOR TO ISSUANCE OF C.O.

#### PLAYGROUND NOTES:

PLAYGROUND EQUIPMENT IS DESIGNED WITH THE PRIMARY COLORS BLUE, RED, GREEN AND YELLOW. DEVELOPER/DESIGN PROFESSIONAL TO CONFIRM THAT THERE ARE NO RESTRICTIONS THAT WILL NOT PERMIT THE INSTALLATION OF EQUIPMENT WITH THESE COLORS. DEVELOPER/DESIGN PROFESSIONAL TO VERIFY WITH ANY GOVERNING BODY NOT LIMITED TO PLANNING AND ZONING BOARDS, ARCHITECTURAL REVIEW BOARDS, OR HOME OWNER'S ASSOCIATIONS AS WELL AS WITH AND NOT LIMITED TO THE REVIEW OF ANY COVENANTS AND RESTRICTIONS OR RESTRICTIONS COVENANTS SYSTEMS, INC. (CSI) CAN PROVIDE COLOR ELEVATIONS OF THE EQUIPMENT IF NECESSARY. PLEASE CONTACT YOUR CSI REPRESENTATIVE IF THE PRIMARY COLORS ARE NOT PERMITTED.



Attached to Administrative  
Approval

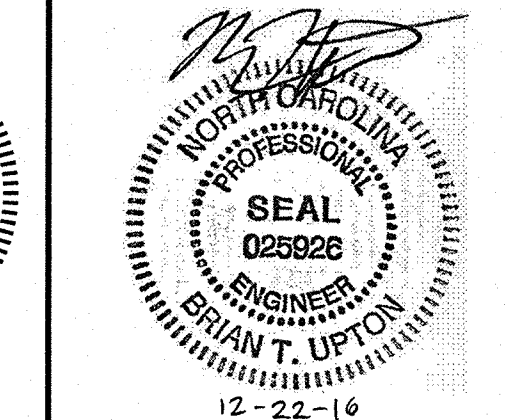
Solomon A. Fortune

THE ISAACS  
CIVIL ENGINEERING DESIGN AND SURVEYING

COPYRIGHT & OWNERSHIP OF DOCUMENTS

SIGNATURE

SEAL



DATE: 11.1.2016  
PROJECT NO.: 16163  
CAD REFERENCE NO.: AUTOCAD 2015  
PLOT REFERENCE NO.: NONE  
DRAWING SCALE: 1" = 20'

REVISIONS	DATE	DESCRIPTION
1	12/22/16	REVISIONS PER CITY COMMENTS



PROJECT TITLE

THE GODDARD SCHOOL  
FOR EARLY CHILDHOOD DEVELOPMENT  
KING'S CROSSING  
2545 GALLOWAY ROAD  
CHARLOTTE, NC 28262

SHEET TITLE

SITE PLAN

SHEET NUMBER

C1.0



NOTES:

- REMOVE WIRE AND NYLON TWINE FROM BALL AND CANOPY.
- SOAK ROOT BALL AND PLANT IMMEDIATELY AFTER INSTALLATION.
- STAKING IS REQUIRED FOR ALL TREES IN R.O.W. OR UPON REQUEST OF ARBORIST.
- REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.
- RESEED UNMULCHED, DISTURBED AREAS.

CITY OF CHARLOTTE  
LAND DEVELOPMENT STANDARDS  
INCLUDES CHARLOTTE BIZ

**TREE PLANTING**  
(FOR SINGLE AND MULTI-STEM TREES)

40.01

NOTES:

- REMOVE ALL DAMAGED TREES UPON COMPLETION OF PROJECT.
- LANDSCAPING PLANS SHALL SHOW THE LOCATION OF ALL TREE PROTECTION FENCES.
- REFER TO CITY OF CHARLOTTE LANDSCAPE CONSTRUCTION STANDARDS SECTION 01600 FOR GENERAL SPECIFICATIONS REGARDING TREE PROTECTION.

CITY OF CHARLOTTE  
LAND DEVELOPMENT STANDARDS  
INCLUDES CHARLOTTE BIZ

**TREE PROTECTION DETAIL**

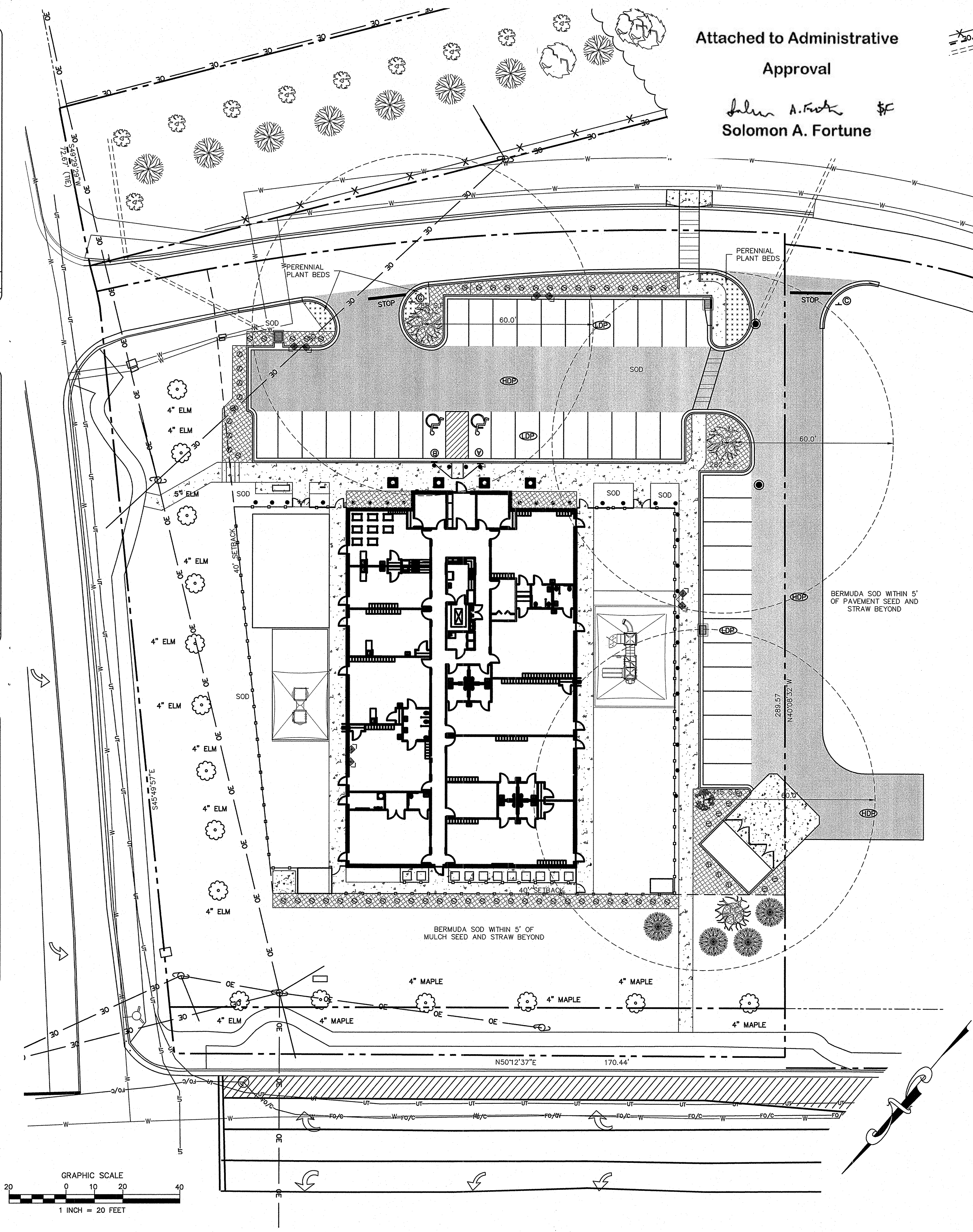
40.02

CITY OF CHARLOTTE  
LAND DEVELOPMENT STANDARDS  
INCLUDES CHARLOTTE BIZ

**ROOT FLARE DEPTHS**  
(TREE ROOT BALL CONDITION ON TREES FROM SUPPLIERS)

40.09

LANDSCAPE LEGEND		
SYMBOL	SPECIES	QUANTITY
	PROPOSED SUGAR MAPLE ACER SACHARUM	3
	EASTERN REDBUD CERCIS CANADENSIS	1
	BURFORD HOLLY ILEX CORNUTA BURFORDI	66
	WAX MYRTLE MYRTICA CERIFERA	4
	PROPOSED HEAVY DUTY PAVEMENT (HDP)	
	PROPOSED LIGHT DUTY PAVEMENT (LDP)	
	PROPOSED CONCRETE PAVEMENT	
	PROPOSED 3"-4" MULCH BED	



**THE ISAACS GROUP**  
CIVIL ENGINEERING DESIGN AND SURVEYING

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SIGNATURE

SEAL

DATE

PROJECT NO.

CAD REFERENCE NO.

PLOT REFERENCE NO.

DRAWING SCALE

REVISIONS

THE GODDARD SCHOOL  
FOR EARLY CHILDHOOD DEVELOPMENT  
KING'S CROSSING  
2545 GALLOWAY ROAD  
CHARLOTTE, NC 28262

**LANDSCAPE PLAN**

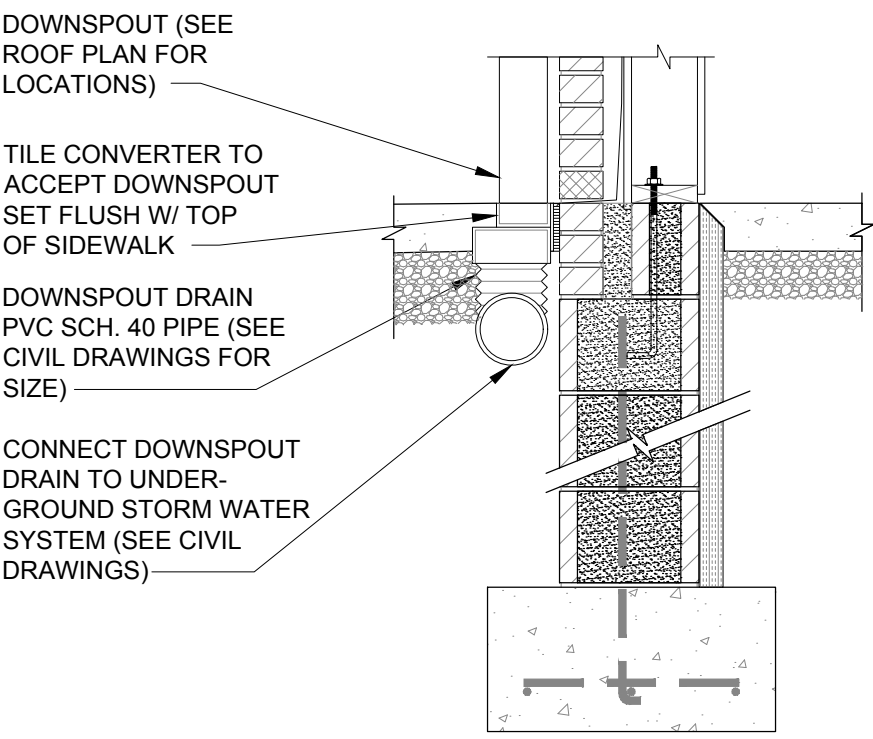
SHEET NUMBER

**C1.1**



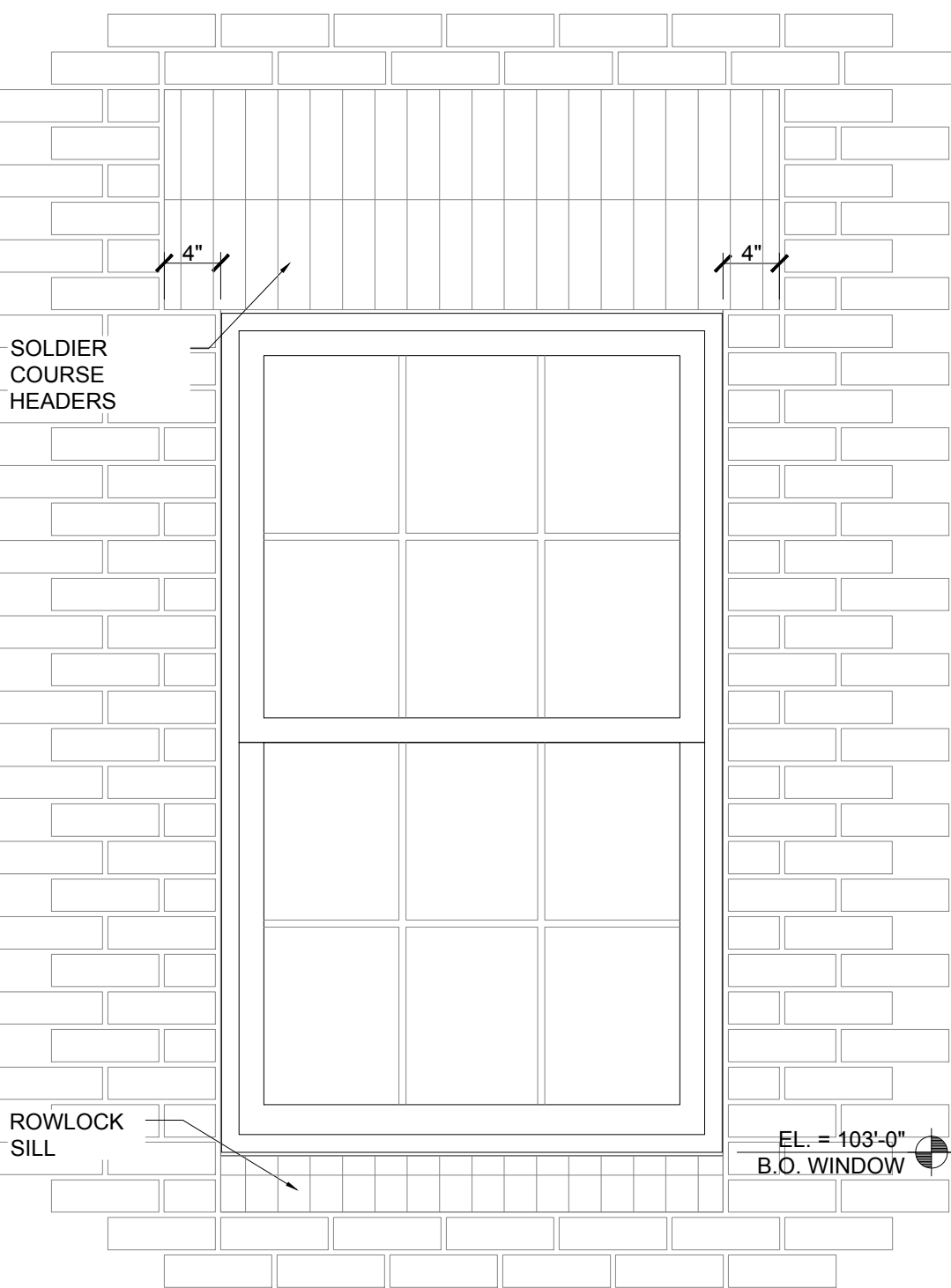
Attached to Administrative  
Approval

*Solomon A. Fortune* \$C  
Solomon A. Fortune



14 FOUNDATION SECTION @ DOWNSPOUTS

SCALE: 3/4" = 1'-0"



16 OFFICE WINDOW

SCALE: 1" = 1'-0"

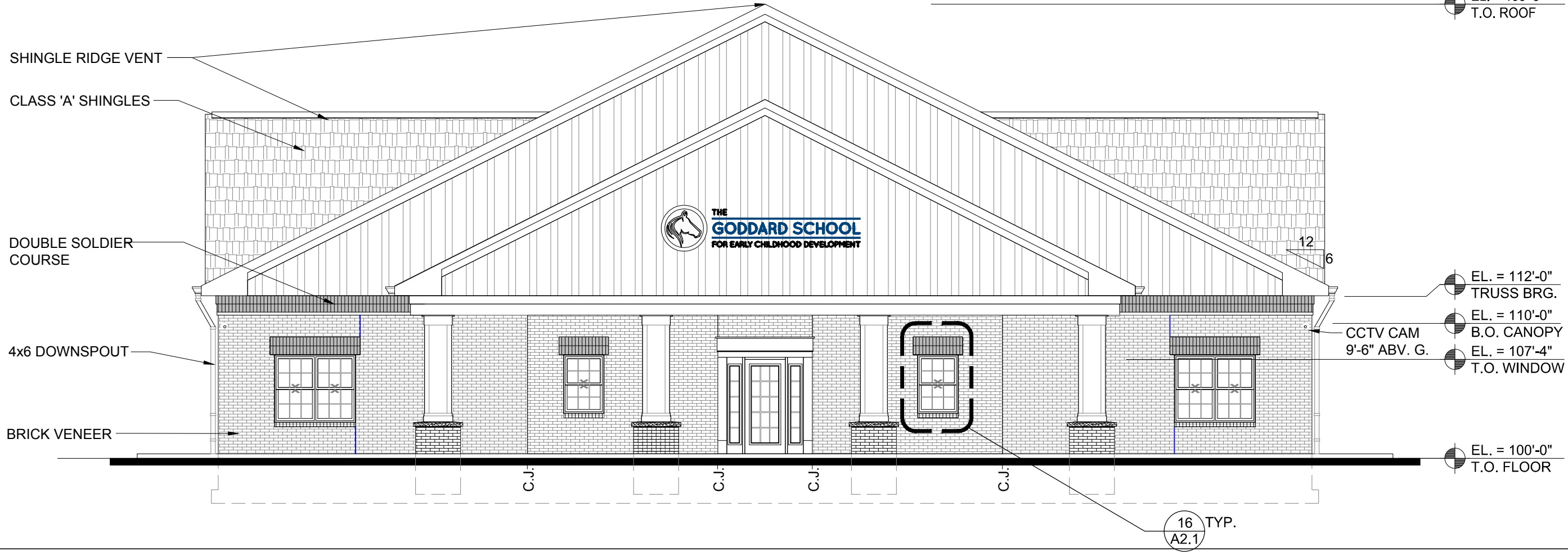
PERCENTAGE MASONRY CALCULATION			
ELEVATION	TOTAL EXTERIOR OPAQUE VERTICAL SURFACE	BRICK EXTERIOR VERTICAL SURFACE	PERCENT %
NORTH	1839.5 sqft	1682.5 sqft	91
SOUTH	1481 sqft	727 sqft	49
WEST	1711.5 sqft	1673.5 sqft	98
EAST	1662.5 sqft	1624.5 sqft	98

GENERAL NOTES

1- SEE SHEET C5.3 FOR DUMPSTER ENCLOSURE DETAILS

09 NORTH ELEVATION

SCALE: 1/8" = 1'-0"

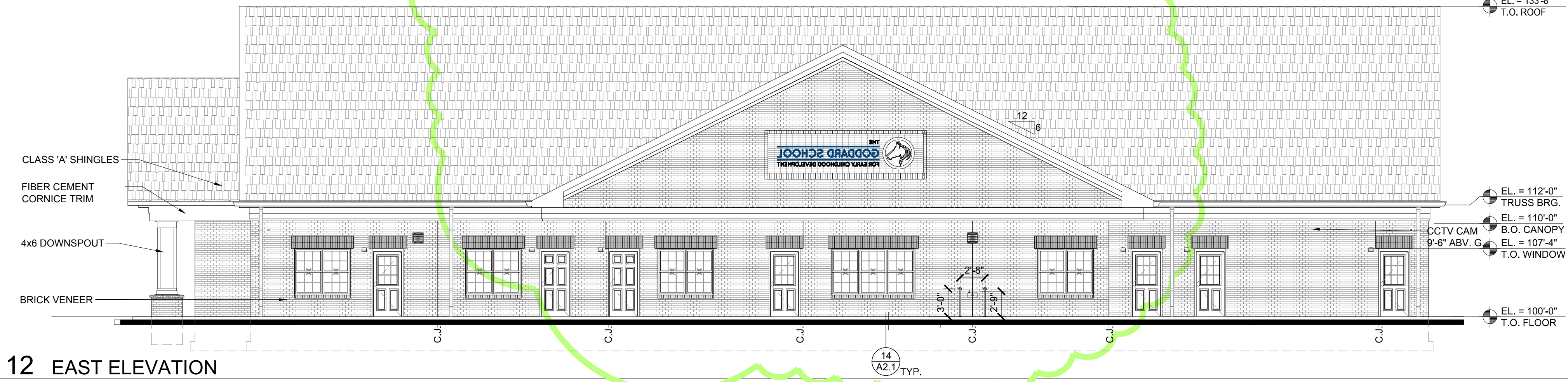


10 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

11 WEST ELEVATION

SCALE: 1/8" = 1'-0"



12 EAST ELEVATION

SCALE: 1/8" = 1'-0"





## Charlotte-Mecklenburg Planning Department

**DATE:** April 10, 2018

**TO:** Donald Moore  
Zoning Supervisor

**FROM:** Taiwo Jaiyeoba  
Planning Director

**SUBJECT:** Administrative Approval for Petition No. 2000-011C Dallas Merle King

Attached is the revised site plan for the petition above. This request allows the modification of the proposed site plan as listed below. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

- To allow the development of a medical office
- Building elevations
- Landscaping Plan

Reasons for Staff's support of the request:

- The site plan complies with the conditional notes and still meets the intent of the approved site plan by the County Commissioners.

**Note: All other Zoning, Subdivision, Tree Ordinances, Building Codes, and conditional requirements still apply.**

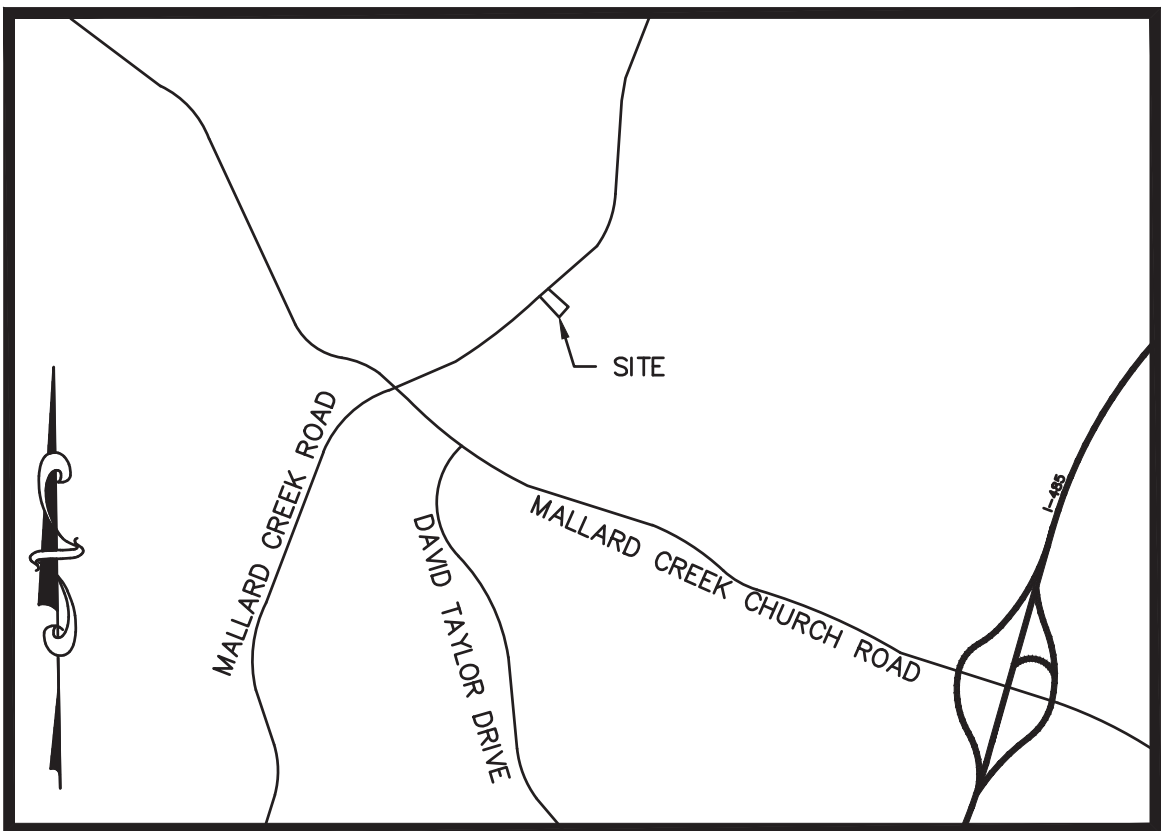
**Signage was not reviewed as part of this request.**



KING'S CROSSING  
MEDICAL OFFICE BUILDING  
MALLARD CREEK RD., CHARLOTTE, NC

Attached to Administrative  
Approval

*Solomon A. Fortune*  
Solomon A. Fortune



VICINITY MAP  
NOT TO SCALE

DEVELOPMENT CONDITIONS (PETITION #2000-011C):

**GENERAL PROVISIONS**  
UNLESS MORE STRINGENT STANDARDS ARE ESTABLISHED BY THE TECHNICAL DATA SHEET OR THESE DEVELOPMENT STANDARDS, ALL DEVELOPMENT STANDARDS ESTABLISHED UNDER THE MECKLENBURG COUNTY ZONING ORDINANCE (THE "ORDINANCE") 0-1 ZONING DISTRICT CLASSIFICATION SHALL BE FOLLOWED IN CONNECTION WITH DEVELOPMENT TAKING PLACE ON THE SITE.

**DESIGN CONCEPT**

IN KEEPING WITH THE DESIGN GUIDELINES OUTLINED IN THE DRAFT OF THE NORTHEASTERN PLAN, THE PLAN SHALL PROVIDE FOR AN INTERCONNECTED STREET NETWORK WITH CONNECTIONS TO OTHER PARCELS AND SHELL BE DESIGNED SO AS TO BE PEDESTRIAN AND TRANSIT FRIENDLY.

**PERMITTED USES**

THE SITE MAY BE DEVELOPED TO GENERAL OR MEDICAL, OR BANK USE (INCLUDING ANY ACCESSORY USE) WHICH IS PERMITTED UNDER PRESCRIBED CONDITIONS IN AN 0-1 ZONING DISTRICT.

**SQUARE FOOTAGE RESTRICTIONS**

THE GROSS FLOOR AREA OF ALL BUILDINGS CONSTRUCTED WITHIN THE SITE MAY NOT EXCEED, IN THE AGGREGATE, 249,000 SQUARE FEET.

**BUFFERS**

- BUFFER AREAS ESTABLISHED ON THIS TECHNICAL DATA SHEET SHALL CONFORM TO THE STANDARDS OF SECTION 12.302 OF THE ORDINANCE; SUBJECT, HOWEVER, TO THE PROVISIONS OF SECTION 12.304 THEREOF.
- BUFFER AREAS SHALL REMAIN AS OPEN SPACE AND, SUBJECT TO THE PROVISIONS OF PARAGRAPHS (3) BELOW, WILL BE LEFT UNDISTURBED. BUFFER AREAS WILL BE LEFT UNDISTURBED WHERE SIGNIFICANT EXISTING VEGETATION EXISTS.
- NO BUILDINGS, PARKING SPACES, MANEUVERING AREAS OR STORM WATER DETENTION FACILITIES MAY BE LOCATED WITHIN BUFFER AREAS.
- WHERE EXISTING TREES AND NATURAL VEGETATION HAVE BEEN CLEARED TO ACCOMMODATE PEDESTRIAN SIDEWALKS OR PATHWAYS OR THE INSTALLATION OF UTILITIES, THE CLEARED, UNIMPROVED AREAS WILL BE LANDSCAPED WITH TREES AND SHRUBS.
- THE WIDTH OF THE BUFFER AREAS DEPICTED ON THE TECHNICAL DATA SHEET MAY BE REDUCED.
- IN THE EVENT THE BUFFER REQUIREMENTS DEPICTED ON THIS TECHNICAL PLAN SHOULD CHANGE OR BE ELIMINATED THEN ANY SUCH BUFFER AREA DEPICTED ON THIS PLAN MAY BE REDUCED OR ELIMINATED ACCORDINGLY.
- PETITIONER RESERVES THE RIGHT TO REDUCE BUFFER WIDTHS, PER ORDINANCE, WITH THE USE OF SCREENING OR BERMS.

**SETBACKS, SIDE YARDS AND REAR YARDS**

- ALL BUILDINGS CONSTRUCTED WITHIN THE SITE SHALL OR EXCEED THE REAR YARD AND SIDE YARD REQUIREMENTS ESTABLISHED UNDER THE ORDINANCE FOR THE 0-1 ZONING DISTRICT.
- A 40 FOOT BUILDING AND PARKING SETBACK WILL BE ESTABLISHED ALONG MALLARD CREEK ROAD, ALL AS DEPICTED ON THE TECHNICAL DATA SHEET.
- STORM WATER DETENTION FACILITIES MAY NOT BE LOCATED WITHIN ANY SETBACK AREA.
- TREES 6" CALIPER AND GREATER WITH IN GALLOWAY AND MALLARD CREEK ROAD SETBACKS SHALL BE PRESERVED AND TREE PROTECTION FENCES SHALL BE PROVIDED.

**SCREENING AND LANDSCAPED AREAS**

- LANDSCAPED AREAS WILL BE PLANTED AND IMPROVED IN SEQUENCES, WHICH ARE KEYED TO EACH PHASE OF DEVELOPMENT TAKING PLACE ON THE SITE.
- PLANTINGS WITHIN LANDSCAPED AREAS WILL MEET OR EXCEED THE REQUIREMENTS OF THE ORDINANCE.
- SCREENING SHALL CONFORM WITH THE STANDARDS AND TREATMENTS SPECIFIED IN SECTION 12.303 OF THE ORDINANCE.
- ALL TREES WITHIN THE SETBACK WHICH ARE 6 INCHES OR LARGER IN CALIPER WILL BE PRESERVED AND A 5- FOOT WIDE SIDEWALK WITH AN 8-FOOT PLANTING STRIP WILL BE PROVIDED ALONG MALLARD CREEK ROAD.

**PARKING**

OFF STREET PARKING SPACES WILL SATISFY THE MINIMUM STANDARDS ESTABLISHED UNDER THE ORDINANCE.

**LIGHTING**

- ALL FREESTANDING LIGHTING FIXTURES INSTALLED WITHIN THE SITE WILL BE UNIFORM IN DESIGN.
- THE MAXIMUM HEIGHT OF ANY FREESTANDING LIGHTING FIXTURE, INCLUDING ITS BASE, SHALL NOT EXCEED 20 FEET IN HEIGHT. NO WALL PACK TYPE LIGHTING FIXTURES WILL BE ALLOWED.
- ALL DIRECT LIGHTING WITHIN THE SITE (EXCEPT STREETLIGHTS, WHICH MAY BE ERRECTED ALONG MALLARD CREEK ROAD,) SHALL BE DESIGNED SUCH THAT DIRECT ILLUMINATION DOES NOT EXTEND PAST ANY PROPERTY LINE. CONSIDERATION WILL BE GIVEN TO THE IMPACT OF LIGHTING BOTH WITHIN AND WITHOUT THE PERIMETER OF THE SITE. ITEMS FOR CONSIDERATION SHALL INCLUDE INTENSITY, CUTOFFS ANGLES, COLOR, ENERGY EFFICIENCY AND SHIELDING OF SOURCES OF LIGHT, THE INTENT BEING TO ELIMINATE GLARE TOWARDS MALLARD CREEK ROAD AND ADJACENT PROPERTIES.

**SIGNS**

ALL SIGNS PLACED ON THE SITE WILL BE ERRECTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ORDINANCE.

**ACCESS POINTS (DRIVEWAYS)**

- THE NUMBER OF VEHICULAR ACCESS POINTS TO THE SITE SHALL BE LIMITED TO THE NUMBER DEPICTED ON THIS TECHNICAL DATA SHEET.
- THE PLACEMENT AND CONFIGURATION OF EACH ACCESS POINT ARE SUBJECT TO ANY MINOR MODIFICATIONS REQUIRED TO ACCOMMODATE FINAL SITE AND ARCHITECTURAL CONSTRUCTION PLANS AND DESIGNS AND TO ANY ADJUSTMENTS REQUIRED FOR APPROVAL BY THE COUNTY ENGINEERING DEPARTMENT AND THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.

**FIRE PROTECTION**

ADEQUATE FIRE PROTECTION IN THE FORM OF FIRE HYDRANTS WILL BE PROVIDED TO THE MECKLENBURG COUNTY FIRE MARSHALL'S OFFICE FOR APPROVAL BEFORE THE CONSTRUCTION OF THAT BUILDING COMMENCES.

**ARCHITECTURAL CONTROLS**

- DUMPSTER AREAS WILL BE ENCLOSED ON ALL FOUR SIDES BY A BRICK WALL WITH ONE SIDE BEING A HINGED WOODEN GATE. IF ONE OR MORE SIDES OF A DUMPSTER AREA ADJOIN A REAR WALL OF A BUILDING, THE REAR WALL MAY SUBSTITUTED FOR A SIDE.
- ALL MECHANICAL EQUIPMENT INCLUDING ROOF TOP EQUIPMENT SHALL BE SCREENED FROM VIEW FROM STREETS ADJOINING RESIDENTIAL PROPERTIES.
- AT LEAST 80% OF ALL THE EXTERIOR OPAQUE VERTICAL SURFACES OF THE FRONT SIDE AND REAR ELEVATIONS OF BUILDING CONSTRUCTED ON THE SITE WILL CONSIST OF BRICK MATERIALS.

**STORM WATER MANAGEMENT/SEWER**

- STORM WATER RUNOFF FROM THE SITE WILL BE MANAGED THROUGH PROVEN TECHNIQUES, WHICH SATISFY THE STANDARDS IMPOSED BY THE MECKLENBURG COUNTY ENGINEERING DEPARTMENT.
- NO STORM WATER DETENTION SHALL BE WITHIN DESIGNATED BUFFER OR SETBACKS.

**PUBLIC ROAD IMPROVEMENTS**

- PETITIONER SHALL INSTALL A 5-FOOT SIDEWALK AND AN 8-FOOT PLANTING STRIP ALONG MALLARD CREEK ROAD AND GALLOWAY ROAD.
- STREET TREES SHALL BE PROVIDED ALONG MALLARD CREEK ROAD AND GALLOWAY ROAD AT 40-FOOT INTERVALS.
- PETITIONER SHALL IMPROVE GALLOWAY ROAD TO COLLECTOR STREET STANDARDS ALONG HIS FRONTAGE.

**INTERSECTION COMMITMENTS**

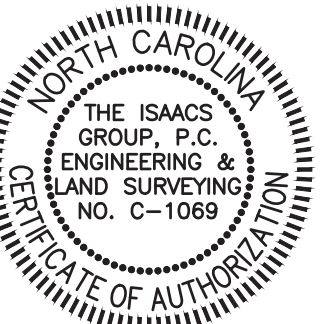
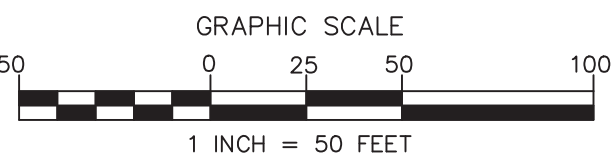
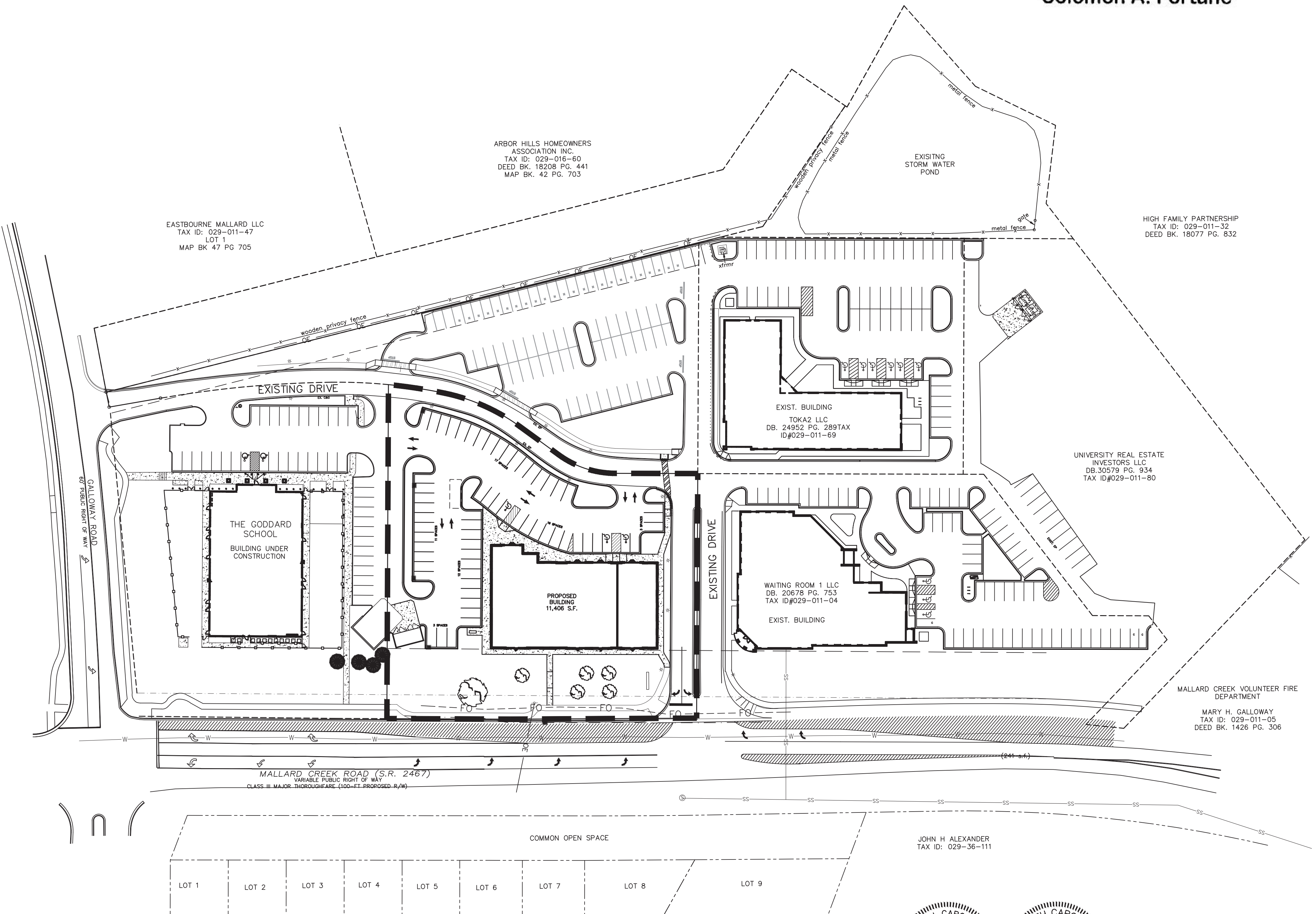
THE PETITIONER MUST CONTRIBUTE THE SUM OF FIFTY THOUSAND DOLLARS (\$50,000.00) TO THE MECKLENBURG COUNTY ENGINEERING DEPARTMENT FOR ITS DESIGNER TO BE USED TO FUND A PORTION OF THE COSTS OF IMPROVING THE INTERSECTION BETWEEN MALLARD CREEK ROAD AND GALLOWAY ROAD AND THE INSTALLATION OF A TRAFFIC SIGNAL AT THAT INTERSECTION (WHEN WARRANTED) BEFORE ANY BUILDING PERMITS FOR DEVELOPMENT ON THE SITE MAY BE ISSUED.

**WETLANDS**

THE WETLANDS AREA GENERALLY DEPICTED ON THE TECHNICAL PLAN WILL BE DELINEATED BY A WETLANDS CONSULTANT AND THEREAFTER THE LIMITS MUST BE APPROVED BY THE U.S. ARMY CORP OF ENGINEERS. THE AREA WITHIN THE EXACT LIMITS SO APPROVED WILL THEN BE LEFT IN ITS CURRENT CONDITION AS UNDISTURBED OPEN SPACE.

**BUILDING HEIGHT LIMITATIONS**

NO BUILDING IN EXCESS OF THREE STORIES IN HEIGHT MAY BE CONSTRUCTED ON THE SITE EXCEPT WITHIN THE AREA IDENTIFIED ON THE TECHNICAL PLAN AS AREA A, WHERE BUILDINGS MAY BE UP TO FOUR STORIES IN HEIGHT.

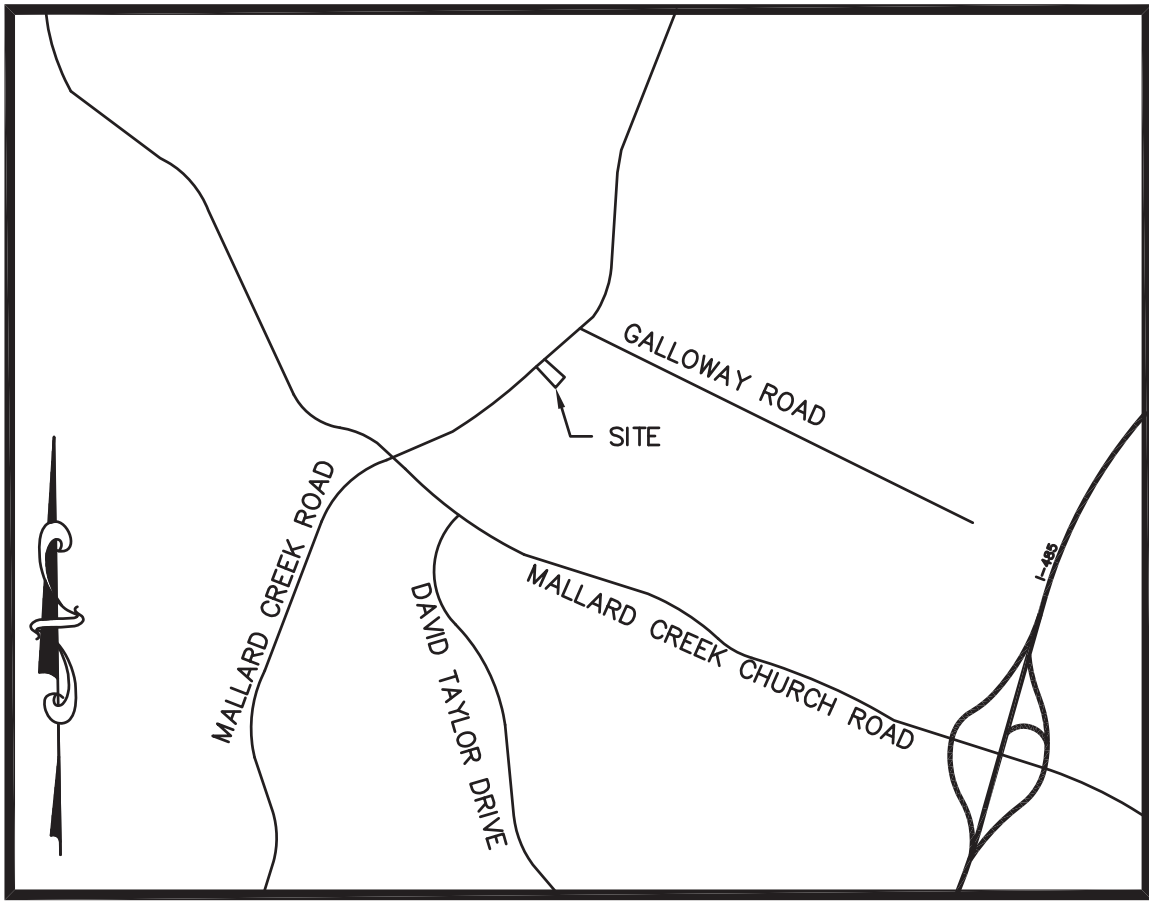


Brian Upton  
2018.02.02  
13:37:13 -05'00'

NO.	BY	DATE	REVISION

Project: <b>KING'S CROSSING MOB</b>	
MALLARD CREEK ROAD CHARLOTTE, NORTH CAROLINA	
Title: <b>ADMINISTRATIVE AMENDMENT</b>	
File #: 17235-PB.DWG	Date: 02/02/18
Project Egr: BTU	Design By: NPF
Drawn By: NPF	Scale: 1"=50'
8720 RED OAK BOULEVARD, SUITE 420 CHARLOTTE, N.C. 28217	
PHONE (704) 527-3440 FAX (704) 527-8335	
<b>C.O.O</b>	





VICINITY MAP  
NOT TO SCALE

#### ZONING CODE SUMMARY

PROJECT NAME: KING'S CROSSING MEDICAL OFFICE BUILDING  
ADDRESS: MALLARD CREEK ROAD  
PLANS PREPARED BY: THE ISAACS GROUP, P.C. PHONE #: 704-527-3440  
ZONING: O-1 (CD) REZONING: 02/08/2000  
TAX PARCEL #: 02901177 JURISDICTION: CITY OF CHARLOTTE  
PROPOSED USE: MEDICAL OFFICE BUILDING HEIGHT: \_\_\_\_\_  
LOT SIZE: 65,693/1.508 SQ. FEET/ACRES NUMBER OF UNITS/SUITES: 4  
GROSS FLOOR AREA: 11,406 SQ. FT.  
EXISTING IMPERVIOUS AREA TO BE REMOVED: 0/0 SQ. FT./ACRES  
TOTAL POST CONSTRUCTION IMPERVIOUS AREA: 48,532/1.11 SQ. FT./ACRES  
HWY/BUILDING SETBACK REQUIREMENTS:  
(MALLARD CREEK ROAD) FRONT: 40' SIDE: N/A  
REAR YARD: N/A  
REQUIRED PARKING = 1 SPACES PER 200 S.F.=11,406/200= 57 SPACES  
PARKING SPACES PROVIDED = 61 SPACES  
SHORT TERM BICYCLE PARKING REQUIRED = 3 SPACES  
SHORT TERM BICYCLE PARKING PROVIDED = 4 SPACES  
LONG TERM BICYCLE PARKING REQUIRED = 2 SPACES  
LONG TERM BICYCLE PARKING PROVIDED = 2 SPACES

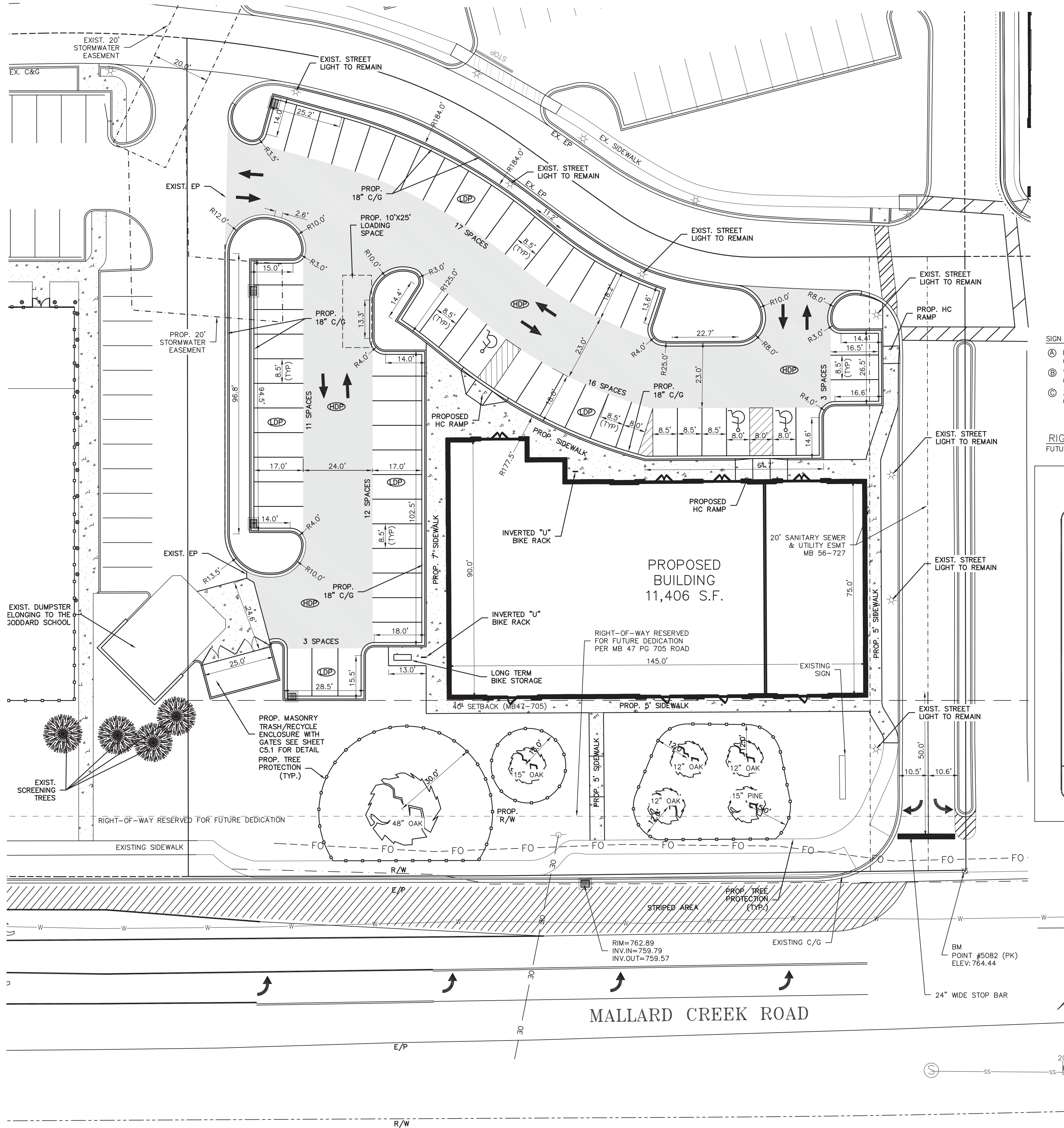
#### NOTES:

- THIS MAP IS NOT A CERTIFIED SURVEY. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY ISAACS GROUP, P.C.
- THE UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THIS PLAN; THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED EXCAVATION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- PROVIDE MINIMUM OF 48 HOUR NOTICE TO OWNER OR REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY EXISTING UTILITY, IF BEING UTILIZED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR ALL UNDERGROUND AND OVERHEAD UTILITIES.
- HANDICAP SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH A.D.A STANDARDS AT H/C PARKING SPACES SHOWN.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION. THESE PERMITS AND APPROVALS MAY INCLUDE BUT ARE NOT LIMITED TO GRADING, DEMOLITION, ZONING, BUILDING, DRIVEWAY, SUBDIVISION, SPECIAL USE, SEWER AND WATER.
- ALL FILL USED FOR RAISING SITE GRADES OR FOR REPLACEMENT OF MATERIAL THAT IS UNDERCUT SHOULD BE UNIFORMLY COMPACTED IN THIN LIFTS TO AT LEAST 95 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698). IN ADDITION, AT LEAST THE UPPER 18 INCHES OF SUBGRADE FILL BENEATH PAVEMENTS AND FLOOR SLABS AND 24 INCHES BELOW PAVEMENTS SUBJECT TO TRUCK TRAFFIC SHOULD BE COMPACTED TO 100 PERCENT OF THE SAME SPECIFICATION. THE ABOVE COMPACTION SPECIFICATION IS A RECOMMENDATION ONLY. SPECIFIC PAVEMENT OR FLOOR SLAB DESIGNS MAY REQUIRE A DIFFERENT COMPACTION STANDARD. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SITE WORK MEASURES IN STRICT ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS IN THE PROJECT SOILS REPORT AND/OR ON-SITE RECOMMENDATIONS PROVIDED BY A QUALIFIED GEOTECHNICAL ENGINEER DURING CONSTRUCTION.
- UNLESS SPECIFIED/DETAILED WITHIN THE CONTRACT DRAWINGS, CONTRACTOR SHALL PREPARE A CONCRETE JOINT LAYOUT PLAN IN ACCORDANCE WITH ACI 224.3R-95 OR ACI 330.1-03 FOR CONCRETE SURFACES AND PROVIDE TO ENGINEER, OWNER AND ARCHITECT FOR SHOP DRAWING APPROVAL PRIOR TO CONCRETE INSTALLATION.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY.
- CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
- ALL DISTURBED AREAS SHALL BE SEEDED OR SODDED AFTER FINISH GRADING IS COMPLETED UNLESS OTHERWISE NOTED. ALL NEW SEEDED OR SODDED AREAS SHALL HAVE A TOPSOIL LAYER OF 4" MINIMUM. TOP OF TOPSOIL LAYER SHALL BE PLACED 1" BELOW TOPS OF CURBS, WALKS, OR PAVEMENT ELEVATIONS WHERE TOPSOIL ABUTS THOSE AREAS.
- CONTRACTOR SHALL SUPPLY AND PLACE STRAW MULCH WHEREVER GRASS SEED HAS BEEN PLACED.
- CONTRACTOR SHALL REPAIR, RESURFACE, RECONSTRUCT OR REFURBISH ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS SUBCONTRACTORS OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.

Attached to Administrative

Approval

*Solomon A. Fortune* \$  
**Solomon A. Fortune**



ENGINEER CONTACT  
THE ISAACS GROUP, P.C.  
8720 RED OAK BLVD.  
SUITE 420  
CHARLOTTE, NC 28217  
(P)704-227-9408  
(F)704-527-8335  
nftzgerald@isaacsgrp.com

BENCHMARK NOTE:  
BENCHMARK LOCATED ON A  
MONUMENT ON THE ASPHALT NEAR  
MALLARD CREEK (SEE DRAWING)  
ELEVATION = 764.44

LIGHTING NOTE:  
CONTRACTOR TO VERIFY FINAL LIGHT POLE LOCATIONS AND  
FIXTURE SPECIFICATIONS WITH OWNER PRIOR TO INSTALLATION

SIGNAGE NOTE:  
REFER TO ARCHITECTURAL PLANS  
FOR ACTUAL BUILDING DIMENSIONS.

NOTE:  
CONTRACTOR TO COORDINATE FINAL SIGN  
LOCATIONS WITH OWNER PRIOR TO  
INSTALLATION SIGNAGE TO BE PERMITTED  
SEPARATELY.

#### RECOMMENDED PAVING SPECIFICATIONS

LIGHT DUTY PAVEMENT (LDP):  
6" COMPACTED AGGREGATE BASE COURSE (CABC)  
2" SURFACE COURSE, S9.5B

HEAVY DUTY PAVEMENT (HDP):  
6" COMPACTED AGGREGATE BASE COURSE (CABC)  
2" BINDER COURSE, 119.0A  
1" SURFACE COURSE, S9.5B

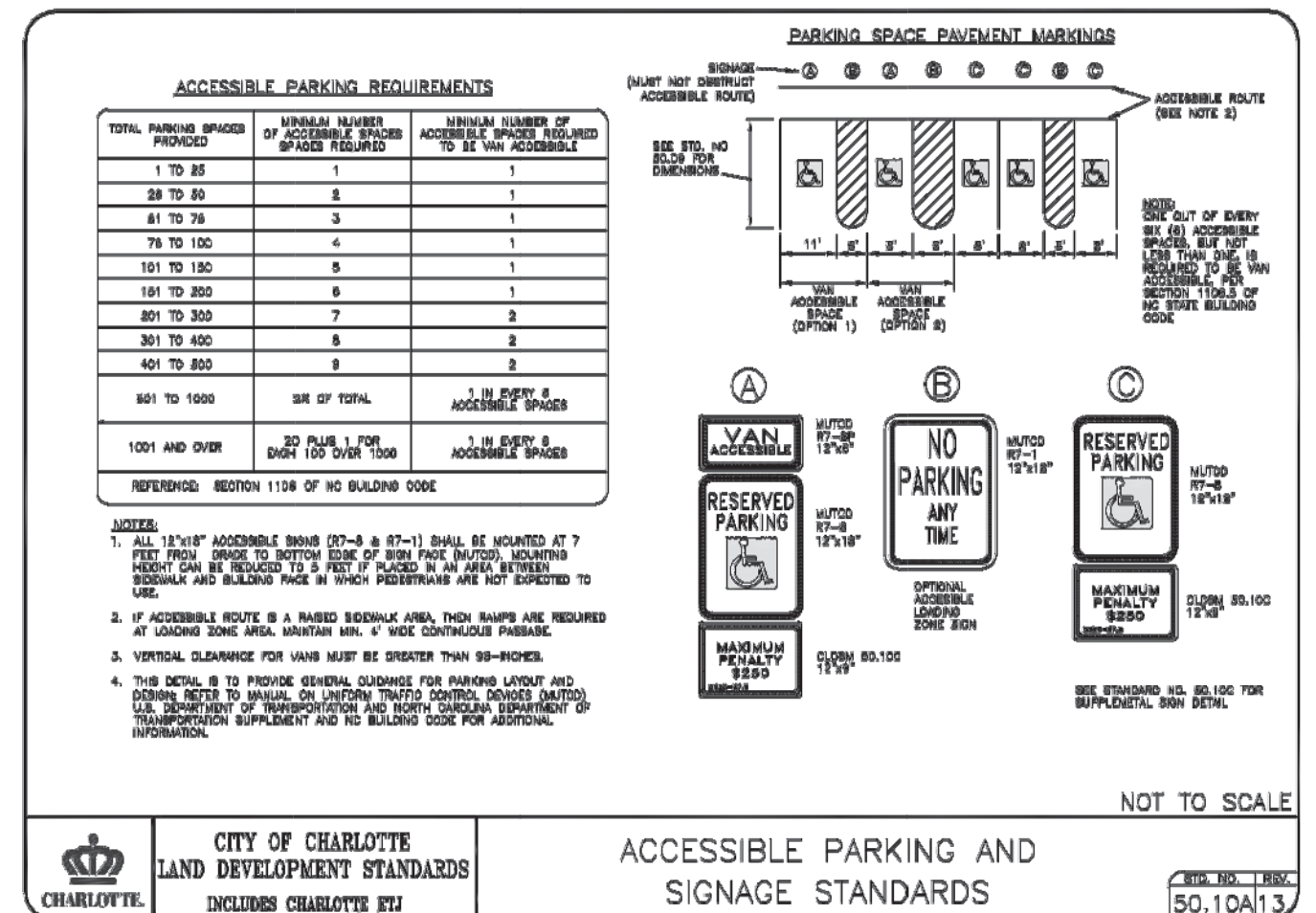
CONCRETE DUMPSTER AND HEAVY DUTY PAVEMENT:  
6" COMPACTED AGGREGATE BASE COURSE (CABC)  
4" 3,600 PSI CONCRETE  
SUBGRADE SHALL BE COMPACTED TO 98% MIN. OF THE STANDARD  
MAXIMUM DRY DENSITY (ASTM D698).

#### SIGN SCHEDULE

- RESERVED PARKING-MAX PENALTY \$250  
(MUTCD R7-8 & R7-8D)
- VAN ACCESSIBLE HANDICAPPED PARKING SIGN  
(MUTCD R7-8, R7-8A & R7-8D)
- 30"x30" STOP SIGN  
(MUTCD R1-1)

#### RIGHT OF WAY NOTE:

FUTURE RIGHT OF WAY ALONG MALLARD CREEK TO BE DEDICATED PRIOR TO ISSUANCE OF C.O.

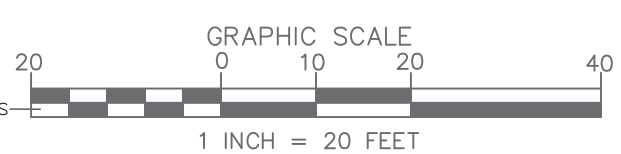


#### LEGEND

- PROPOSED CONCRETE SIDEWALK
- PROPOSED HEAVY DUTY ASPHALT PAVING
- PROPOSED LIGHT DUTY ASPHALT PAVING



Brian Upton  
2018.02.02  
13:39:46 -05'00'



NO.	BY	DATE	REVISION
01	NPF	02/02/18	PER CITY REVIEW

Project: **KING'S CROSSING MOB**  
MALLARD CREEK ROAD  
CHARLOTTE, NORTH CAROLINA

Title: **SITE PLAN**

File #: 17235-PB.DWG Date: \_\_\_\_\_ Project Egr: BTU


Design By: NPF  
Drawn By: NPF  
Scale: 1"=20'

**ISAACS** GROUP, P.C.  
CIVIL ENGINEERING DESIGN AND SURVEYING  
8720 RED OAK BOULEVARD, SUITE 420  
CHARLOTTE, N.C. 28217  
PHONE (704) 527-3440 FAX (704) 527-8335

**C1.0**



NO.	BY	DATE	REVISION
1	NPF	02/07/18	PER CITY COMMENTS
2	NPF	02/21/18	PER CITY COMMENTS



**ISAACS**  
CIVIL ENGINEERING DESIGN AND SURVEYING

File #: 17235-PB-DWG    Date: 11/27/17

Project Egr: BTU

Design By: NPF

Drawn By: NPF

Scale: 1"=20'

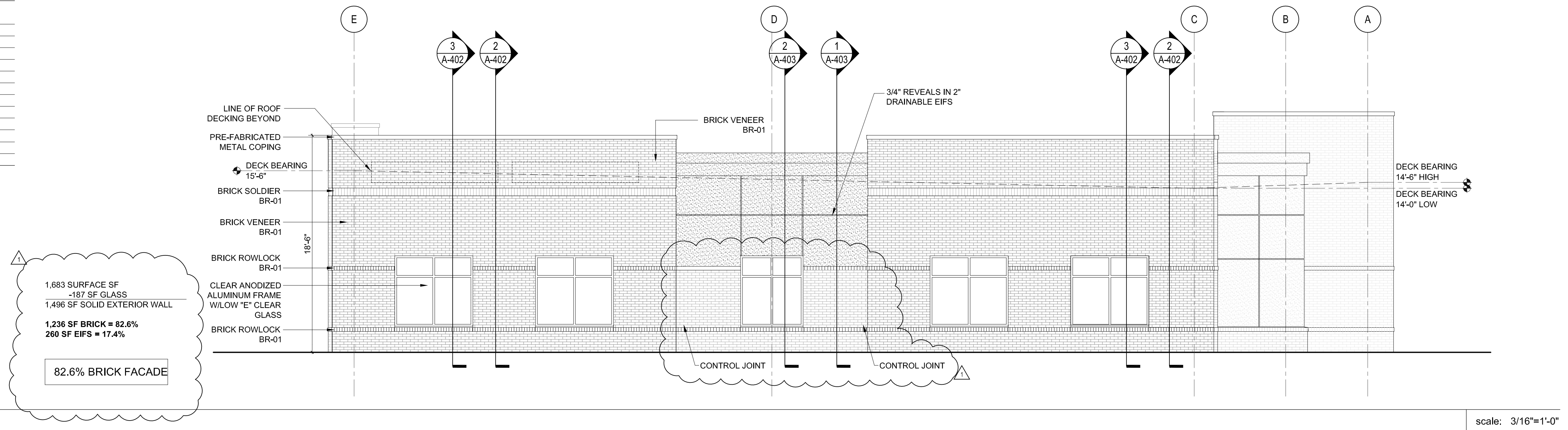
8720 RED OAK BOULEVARD, SUITE 420  
CHARLOTTE, N.C. 28217

PHONE (704) 527-3440    FAX (704) 527-8335

C1.1

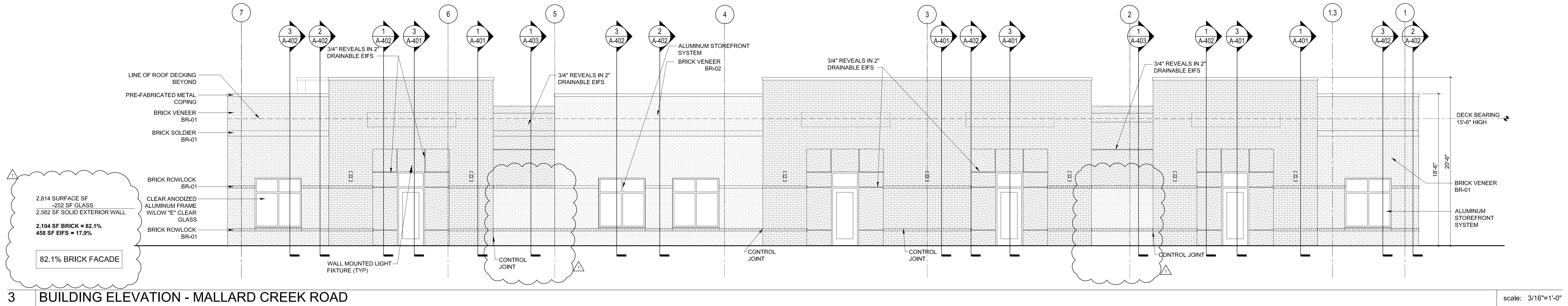


<b>EXTERIOR FINISH SCHEDULE</b>	
	<b>BRICK VENEER</b>
<b>BR-01</b>	<b>BRICK VENEER;</b>
	<b>E I F.S.</b>
<b>EIFS -01</b>	<b>E I F.S. - BUILDING;</b>
<b>EIFS -01</b>	<b>E I F.S. - BUILDING;</b>



4	BUILDING ELEVATION - ENTRY DRIVE
---	----------------------------------

scale: 3/16"=1'-0"

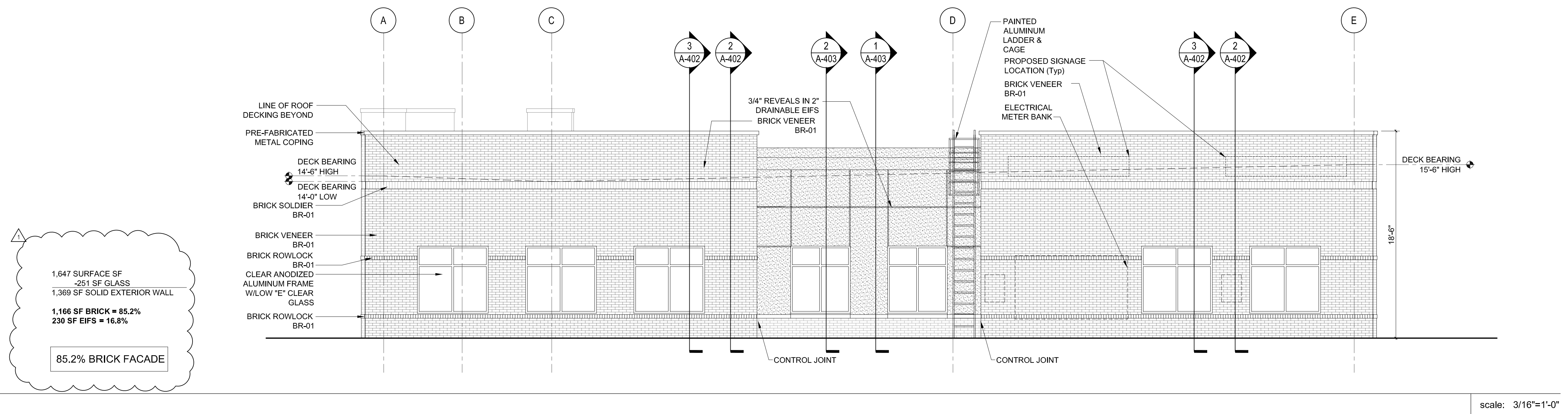


3 BUILDING ELEVATION - MALLARD CREEK ROAD

scale: 3/16"=1'-0"

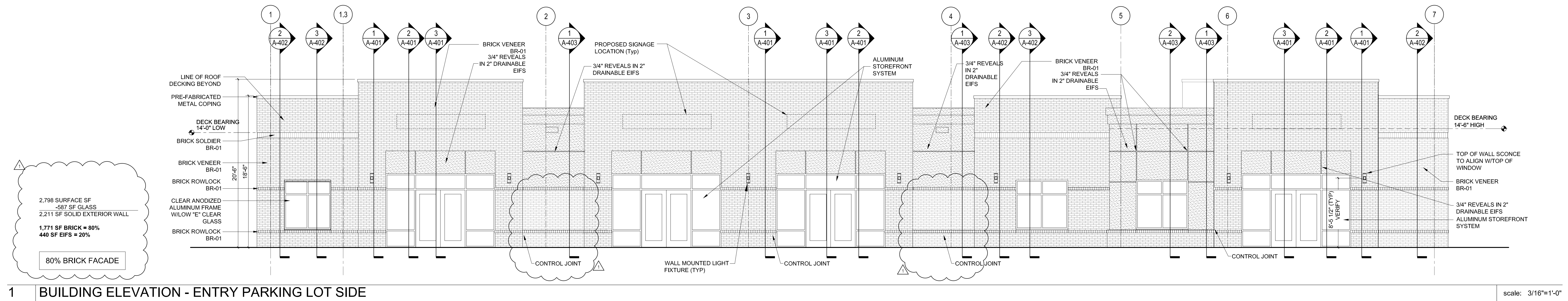
Attached to Administrative  
Approval

*Solomon A. Fortune* \$F  
Solomon A. Fortune



2	BUILDING ELEVATION - SIDE PARKING LOT
---	---------------------------------------

scale: 3/16"=1'-0"

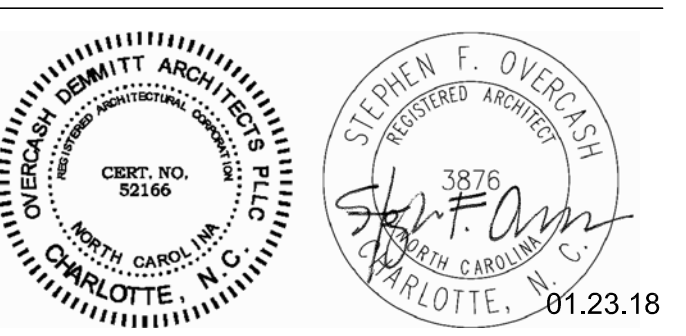


1	BUILDING ELEVATION - ENTRY PARKING LOT SIDE
---	---

scale: 3/16"=1'-0"

ODa  
overcash demmitt

2010 south tryon st. suite 1a  
charlotte north carolina 28203  
office.704.332.1615  
web.www.odarch.com



**G P** **GUSTAFSON**  
PARTNERS  
COMMERCIAL REAL ESTATE

KINGS CROSSING

MEDICAL OFFICE BUILDING  
CHARLOTTE, NC

ODA Project No. 163045

FOR CONSTRUCTION

01.19.2018

[illegible]

## BUILDING ELEVATIONS

A-201

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