

**SITE SUMMARY**

PROPERTY OWNERS: CAROLINA FOODS INC.  
 PO BOX 36816  
 CHARLOTTE, NC 28236

TAX PARCEL NUMBER: 085-031-03

EXISTING ZONING: 1-1(CD)

PROPOSED ZONING: INST(CD)

PETITION NUMBER: 2000-13

SETBACK ADJACENT TO HLO DRIVE: 40.0'

SETBACK ADJACENT TO CRAIGHEAD ROAD: 40.0'

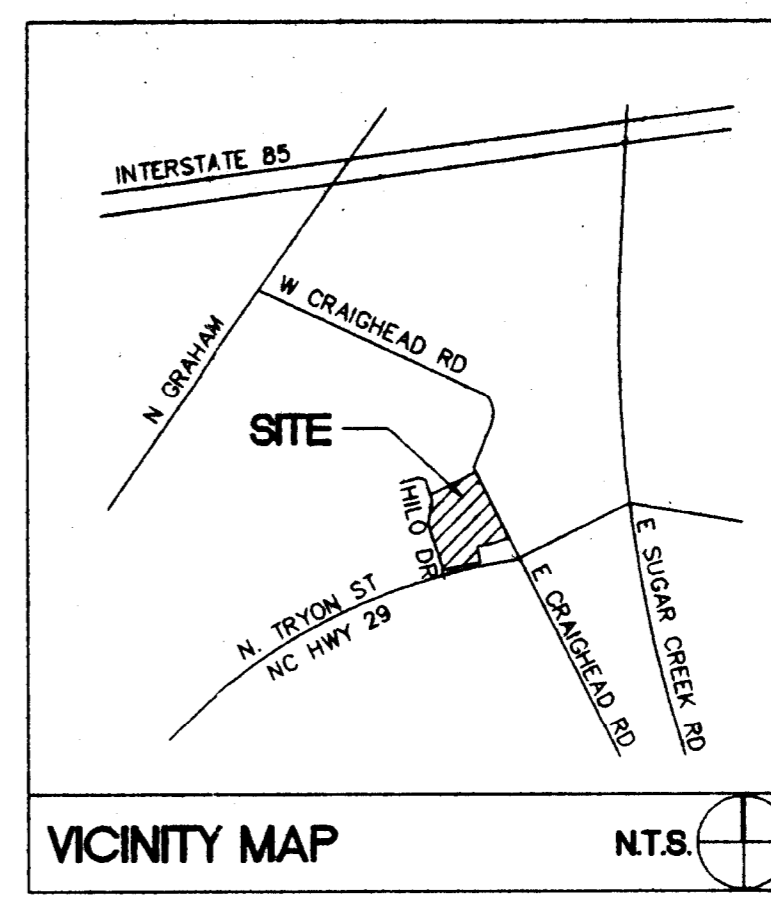
SETBACK ADJACENT TO NORTH TRYON STREET: 80.0'

SIDEYARD: 20.0'

REAR YARD: 20.0'

MAXIMUM HEIGHT: 40.0'

PROPOSED DEVELOPMENT: PUBLIC ELEMENTARY SCHOOL AND PRE-KINDERGARTEN



VICINITY MAP N.T.S.

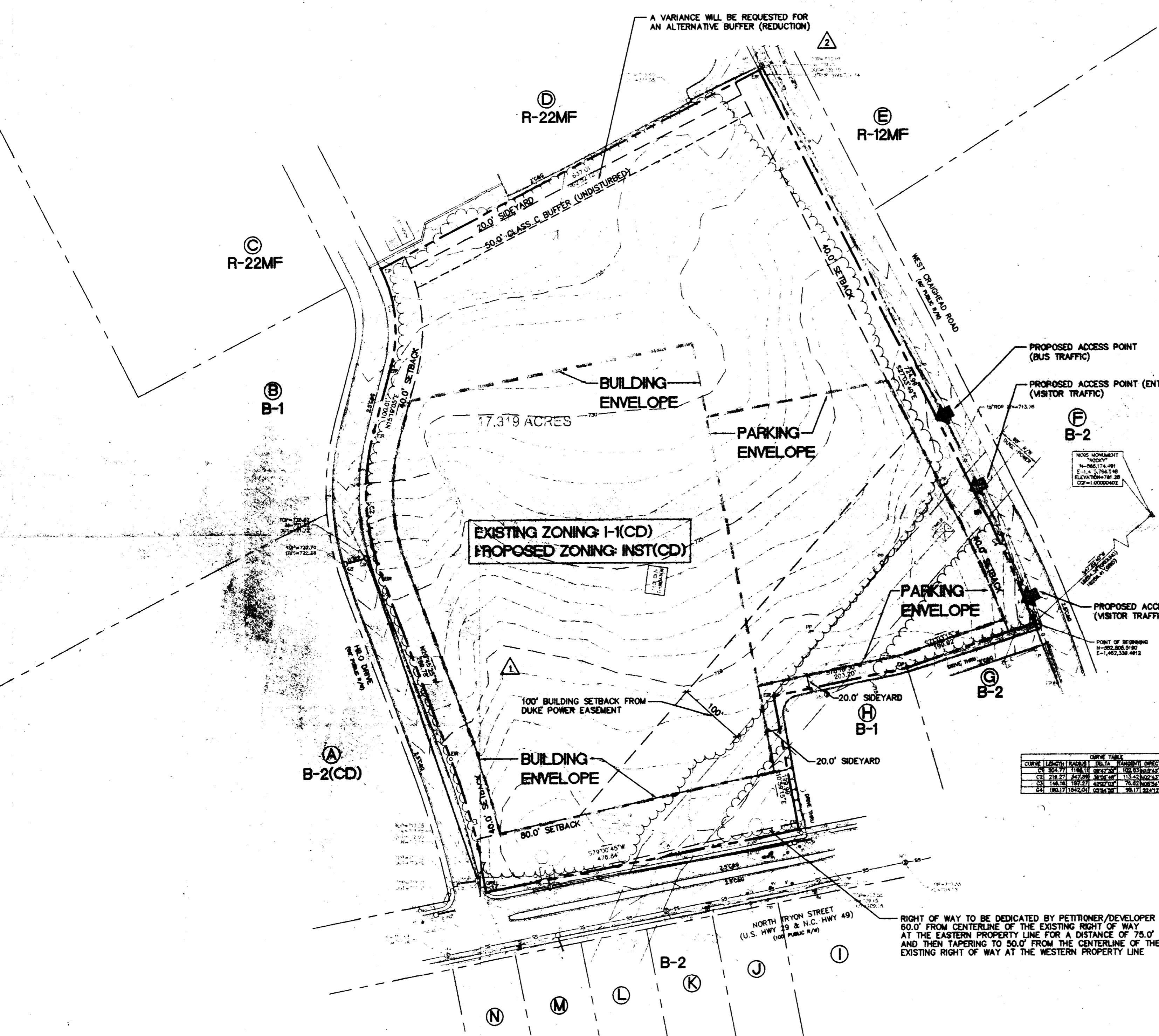
EXISTING BOUNDARY, TOPOGRAPHY AND SITE INFORMATION OBTAINED FROM "ALTA/ASCM LAND TITLE SURVEY", CHARLOTTE-MECKLENBURG SCHOOL SYSTEM, 3601 N. TRYON ST., CHARLOTTE, N.C., BY D.S. ATLANTIC, DATED OCT. 8, 1999.

**ADJACENT PROPERTY OWNERS**

- Ⓐ 085-031-04 HISTORIC ROSDALE PO BOX 8212 CHARLOTTE, NORTH CAROLINA 28207
- Ⓑ 085-031-08 WOODVIEW ASSOCIATES PO BOX 19948 CHARLOTTE, NORTH CAROLINA 28218
- Ⓒ 085-031-07 CEDAR GREENE LLC 5009 MORRIS RD. #200 CHARLOTTE, NORTH CAROLINA 28205
- Ⓓ 085-031-05 CEDAR GREENE LLC (CEDAR GREENE APARTMENTS) 5009 MORRIS RD. #200 CHARLOTTE, NORTH CAROLINA 28205
- Ⓔ 087-011-07 CHERRY LAND & TIMBER LLC 2321 PARK RD. CHARLOTTE, NORTH CAROLINA 28211
- Ⓕ 087-011-08 HOPE HAVEN INC. 319 MEDFORD DR. CHARLOTTE, NORTH CAROLINA 28203
- Ⓖ 085-031-01 DREAM PROPERTIES CO. 3737 NORTH TRYON ST. CHARLOTTE, NORTH CAROLINA 28206
- Ⓗ 085-031-10 GOLDEN B ENTERPRISES LTD. 300 SOUTH TRYON ST. CHARLOTTE, NORTH CAROLINA 28202
- Ⓙ 091-112-14 CHARLOTTE LAND HOLDERS, LLC 2400 EAST INDEPENDENCE BLVD. CHARLOTTE, NORTH CAROLINA 28205
- Ⓚ 091-114-13 ANGELINE T. & RO ENSON 4106 REDWINE DR. GREENSBORO, NORTH CAROLINA 27410
- Ⓛ 091-114-14 MARGARET C. SMITH & JOHN M. CURETON, JR. P.O. BOX 551 HOLLY HILL, SOUTH CAROLINA 29059
- Ⓜ 091-114-15 BETTY H. MARSH P.O. BOX 35329 CHARLOTTE, NORTH CAROLINA 28235
- Ⓝ 091-114-09 STEGALL SECURITY & PROTECTIVE SERVICE INC. P.O. BOX 34481 CHARLOTTE, NORTH CAROLINA 28234
- Ⓟ 091-114-16 EDISON & ANITA SEARLES 818 BROWN RD. CHARLOTTE, NORTH CAROLINA 28269

**DEVELOPMENT DATA**

1. ALL YARDS REQUIRED AND OTHER CRITERIA FOR THE INST(CD) ZONING DISTRICT SHALL MEET OR EXCEED THE MINIMUM STANDARDS OF THE CITY OF CHARLOTTE ZONING ORDINANCE.
2. ALL PARKING SHALL CONFORM TO THE CITY OF CHARLOTTE ZONING ORDINANCE.
3. ALL SIGNAGE SHALL CONFORM TO THE CITY OF CHARLOTTE ZONING ORDINANCE. BILLBOARDS ARE NOT ALLOWED ON THIS SITE.
4. NO PART OF THE REGULATORY FLOORPLAN IS WITHIN THE PROPERTY. STORM DRAINAGE SHALL CONFORM TO THE CHARLOTTE-MECKLENBURG STORM WATER DESIGN MANUAL.
5. STORAGE OF HAZARDOUS WASTE SHALL NOT BE PERMITTED ON THE PROPERTY.
6. EXISTING TREES IN THE TREE PROTECTION ZONE TO REMAIN AND PROPOSED PLANTING SHALL CONFORM TO THE CITY OF CHARLOTTE TREE ORDINANCE.
7. FIRE HYDRANTS SHALL BE LOCATED A MINIMUM OF 250 FEET AS THE TRUCK TRAVELS FROM THE MOST REMOTE AND ACCESSIBLE POINT.
8. ALL PROPOSED TREES, BENCHES, WALLS, FENCES, AND IDENTIFICATION SIGNS MUST NOT INTERFERE WITH SIGHT DISTANCE TRIANGLES AT THE ENTRANCES.
9. LOCATIONS OF PROPOSED ACCESS POINTS MAY BE ADJUSTED BASED UPON FIELD CONDITIONS AND INTERNAL TRANSPORTATION REQUIREMENTS. ALL CONNECTIONS SHALL MEET CITY OF CHARLOTTE DEPARTMENT OF TRANSPORTATION REQUIREMENTS AND STANDARDS ESTABLISHED ON THE TECHNICAL DESIGN SHEET.
10. NO PARKING WILL BE PERMITTED WITHIN BUFFER OR SETBACK AREAS.
11. SCREENING SHALL CONFORM WITH THE STANDARDS AND TREATMENTS SPECIFIED IN SECTION 12.03 OF THE ORDINANCE.
12. THE BUFFER AREA ESTABLISHED ON THIS TECHNICAL DATA SHEET SHALL CONFORM TO THE STANDARDS OF SECTION 12.02 OF THE CITY OF CHARLOTTE ORDINANCE. SUBJECT, HOWEVER, TO THE PROVISIONS OF SECTION 12.04 THEREOF. AND THE PETITIONER ALSO RESERVES THE RIGHT TO SEEK A VARIANCE OF THESE BUFFER REQUIREMENTS BEFORE THE ZONING BOARD OF ADJUSTMENT IN AN EFFORT TO PRESERVE ADDITIONAL OPEN SPACE.
13. PROGRAMMING AND DESIGN OF THE OUTDOOR RECREATION SPACES SHALL BE IN A COOPERATIVE EFFORT BETWEEN CHARLOTTE-MECKLENBURG SCHOOLS AND MECKLENBURG COUNTY PARKS AND RECREATION.
14. THE BUILDING SHALL BE CONSTRUCTED OF MASONRY CONSTRUCTION WHERE VIEWED FROM STREETS. NO BLANK BUILDING WALLS WILL BE ALLOWED ALONG PUBLIC STREETS.
15. THE BUILDING WILL HAVE ENTRANCES FACING PRIMARY PARKING AREA AS WELL AS NORTH TRYON STREET.
16. BUILDING ELEVATION WILL RELATE TO NORTH TRYON STREET AS WELL AS THE OTHER ADJACENT STREETS.
17. THE BUILDING HAS NOT YET BEEN DESIGNED. THE PROJECT WILL BE DELIVERED THROUGH A DESIGN/BUILD METHOD. WINDOW LOCATIONS, BUILDING ARTICULATION, AND BUILDING ELEVATIONS WILL BE DETERMINED DURING DESIGN PROCESS.
18. NO CHAIN LINK FENCING WILL BE PERMITTED.
19. THE SERVICE ENTRY WILL BE ACCESSIBLE FROM CRAIGHEAD ROAD ONLY AND WILL NOT BE LOCATED BETWEEN THE SCHOOL BUILDING AND HLO ROAD. VISITOR TRAFFIC SHALL BE SEPARATE FROM SERVICE TRAFFIC.
20. THE PLANNING STAFF WILL BE ALLOWED TO REVIEW AND PROVIDE INPUT TO SCHOOL STAFF DURING FINAL BUILDING DESIGN.
21. PETITIONER WILL SEEK TO MAXIMIZE OPEN SPACE ON THE SITE, SUBJECT TO MAINTAINING A ONE-SIDE BUILDING SETBACK REQUIREMENTS.
22. THE FINAL LOCATION AND DESIGN OF THE SCHOOL WILL MAXIMIZE OPEN SPACE AND CREATE A NORTH TRYON ADDRESS IDENTITY BY PLACING THE SCHOOL BUILDINGS AS CLOSE AS POSSIBLE TO NORTH TRYON STREET AND HLO DRIVE.
23. THE OPEN SPACE AREA ALONG NORTH TRYON STREET WILL BE DESIGNED AS A FOCAL POINT TO REINFORCE AN ADDRESS FOR THE SCHOOL ALONG NORTH TRYON STREET.
24. THE PORTION OF THE BUILDINGS THAT FACE THE OPEN SPACE WILL REINFORCE THE OPEN SPACE BY PROVIDING ARCHITECTURAL ELEMENTS THAT ESTABLISH THE SCHOOL AS AN ADDRESS ON NORTH TRYON STREET.
25. THE FINAL BUILDING DESIGN FOR THE TRYON STREET FRONTAGE WILL BE SENSITIVE TO THE ARCHITECTURE OF THE ROSDALE MANSION. THIS WILL ACT AS A CATALYST FOR NORTH TRYON STREET REVITALIZATION AND WILL CREATE A UNIQUE IDENTITY.
26. A PEDESTRIAN LIGHTING SYSTEM WILL BE INSTALLED ON THE SCHOOL GROUNDS. THIS SYSTEM WILL USE THE SAME FIXTURES THAT THE CITY HAS USED ALONG NORTH TRYON STREET AND WILL LINK THE SCHOOL WITH THE STREET. THIS WILL ALSO HELP CREATE A SAFE AND INVITING ENVIRONMENT FOR THE SCHOOL.
27. THE BUILDING ON THE SITE WILL USE PITCHED ROOFS OR AN EQUIVALENT DESIGN TECHNIQUE TO ALLOW THE BUILDING TO REINFORCE A NEIGHBORHOOD CONTEXT AND IMPROVED DESIGN PRESENCE ALONG TRYON.
28. THE BUILDING'S STREET FACES WILL BE DESIGNED WITH LARGE WINDOWS THAT WILL CREATE A PEDESTRIAN-FRIENDLY BUILDING AND INCREASE SECURITY.
29. A DOUBLE ROW OF TREES WILL BE INSTALLED ALONG NORTH TRYON STREET, HLO DRIVE, AND WEST CRAIGHEAD ROAD.



RIGHT OF WAY TO BE DEDICATED BY PETITIONER/DEVELOPER 60.0' FROM CENTERLINE OF THE EXISTING RIGHT OF WAY AT THE EASTERN PROPERTY LINE FOR A DISTANCE OF 75.0' AND THEN TAPERING TO 50.0' FROM THE CENTERLINE OF THE EXISTING RIGHT OF WAY AT THE WESTERN PROPERTY LINE.

**FOR PUBLIC HEARING**

**PERKINS & WILL**

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 Fax: 704.378.7851

**CHARLOTTE-MECKLENBURG SCHOOLS**

**Craighead Elementary School**  
 3601 North Tryon St.  
 Charlotte, NC

**PETITION #2000-13**

DATE	REVISIONS
01/21/00	REVISIONS FOR PLANNING
01/14/00	REVISIONS FOR PLANNING
01/07/00	REVISIONS FOR PLANNING
12/29/99	REVISIONS FOR PLANNING

APPROVED BY CITY COUNCIL

DATE 2/7/2000

**TECHNICAL DATA SHEET**

SHEET TITLE

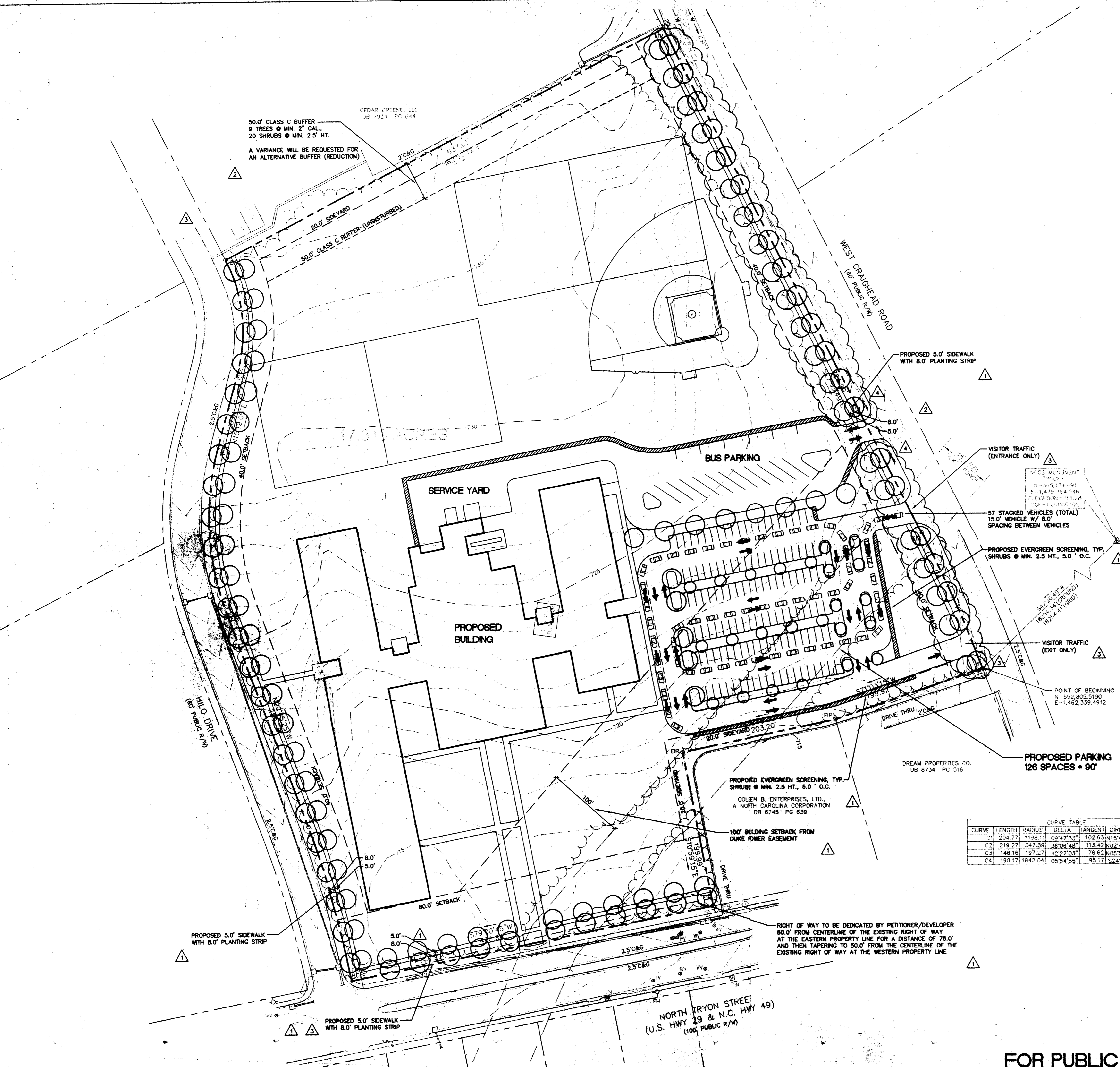
2000-13

SCALE: 1" = 100'



**RZ1**

SHEET NUMBER



RIGHT OF WAY TO BE DEDICATED BY PETITIONER/DEVELOPER 60.0' FROM CENTERLINE OF THE EXISTING RIGHT OF WAY AT THE EASTERN PROPERTY LINE FOR A DISTANCE OF 75.0' AND THEN TAPERING TO 50.0' FROM THE CENTERLINE OF THE EXISTING RIGHT OF WAY AT THE WESTERN PROPERTY LINE.

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**CHARLOTTE-MECKLENBURG SCHOOLS**

**Craighead Elementary School**  
 3601 North Tryon St.  
 Charlotte, NC

**PETITION #2000-13**

DATE	REVISIONS
01/21/00	REVISIONS FOR PLANNING
01/14/00	REVISIONS FOR PLANNING
01/07/00	REVISIONS FOR PLANNING
12/29/99	REVISIONS FOR PLANNING

12/06/99

**SCHEMATIC SITE PLAN**

SHEET TITLE

SCALE: 1" = 60'



**RZ2**

SHEET NUMBER

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