



Charlotte-Mecklenburg Planning Department

DATE: July 15, 2022

TO: Sonja Sanders
Zoning Supervisor

FROM: Alyson Craig
Interim Planning Director

SUBJECT: Elevation Review Petition: 2000-018

Attached is the proposed elevation for the petition above.

- Proposed façade changes for a indoor recreation use (Planet Fitness).

Note: Screening and all Applicable Ordinances still apply, conditional requirements, and Building Code still apply to the subject site.

Signage was note reviewed as part of this request.

PLANNING DEPARTMENT REVIEW

APPROVED: *[Signature]*

TELEPHONE: 704-336-2205

DATE: 07-15-2022

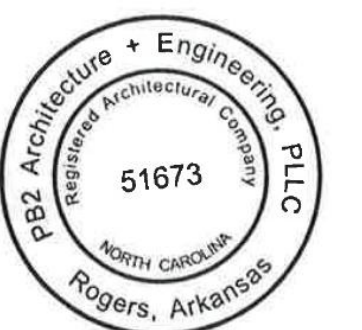


2924 Mt. Holly-Huntersville Road
Charlotte, NC 28214

pb2
architecture
+engineering

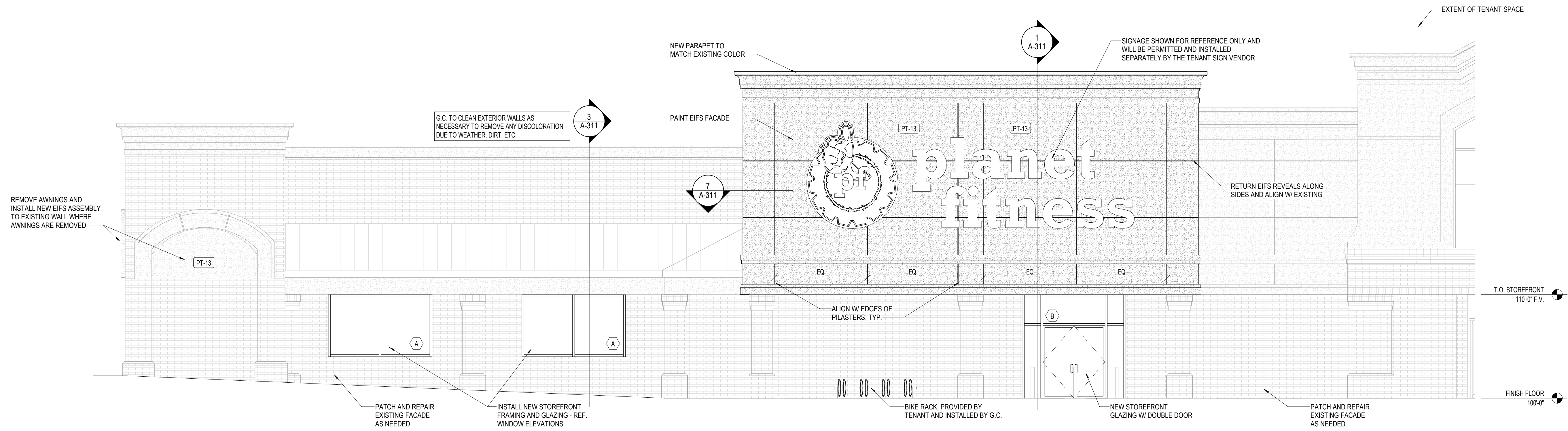
2809 Apex Avenue Suite 100
Rogers, Arkansas 72758
Phone: 479.636.3545
Fax: 479.636.1209

Architect of Record
Scott Joseph Brodbeck
North Carolina License No. 14441
Firm Registration No. 51673

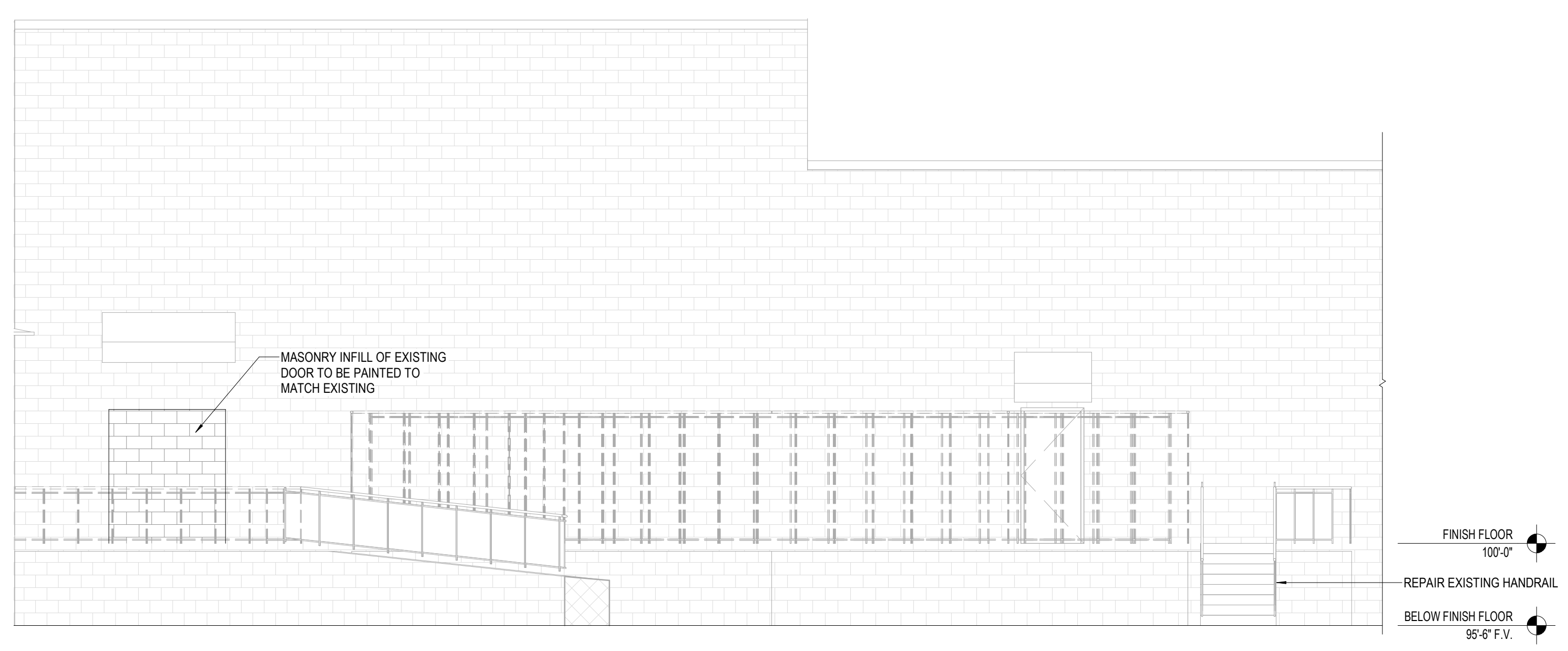


Seal / Signature

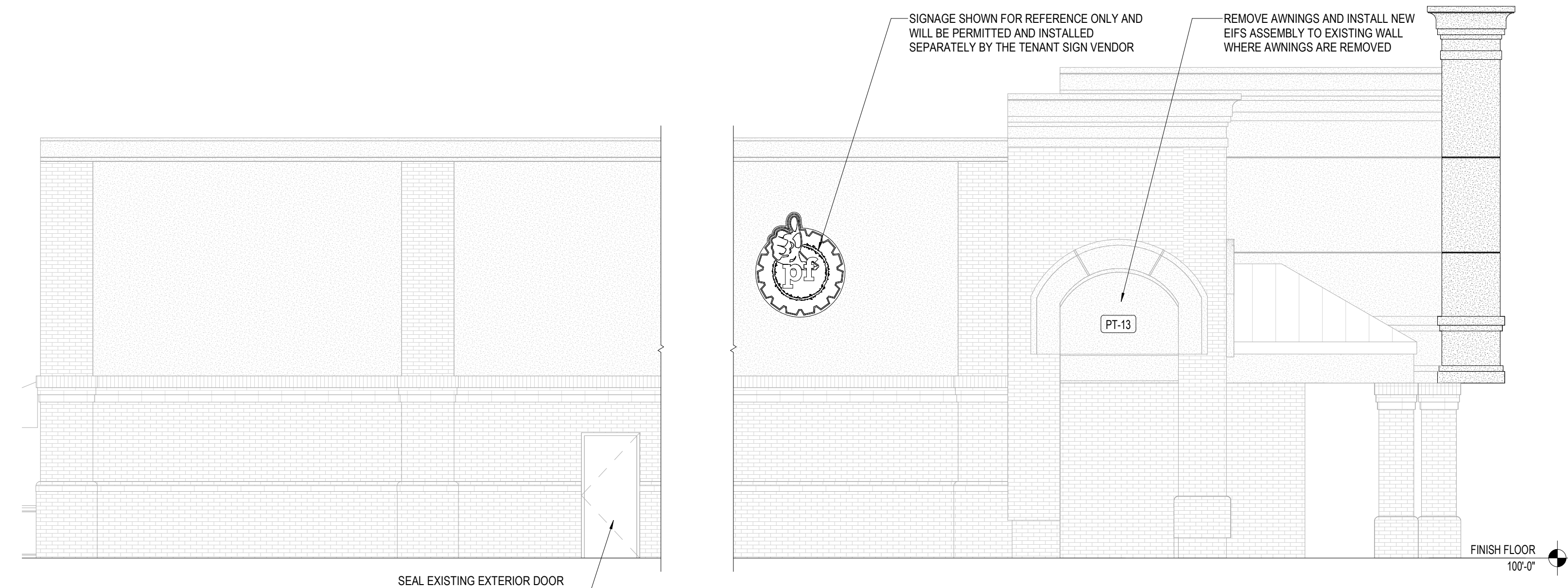
Date	Description
06.08.2022	ISSUANCE #1



1 FRONT EXTERIOR ELEVATION
SCALE: 3/16" = 1'-0"



3 REAR EXTERIOR ELEVATION
SCALE: 3/16" = 1'-0"



2 SIDE EXTERIOR ELEVATION
SCALE: 3/16" = 1'-0"

GL-1 (BLACK CARD SPA GLAZING)

GLAZING: ALL GLASS TO BE CLEAR, MINIMUM 1/2" THICK, OR AS REQUIRED BY THE HARDWARE MANUFACTURER (WHICHEVER IS GREATER). HEIGHTS AND WIDTHS OF EACH PANEL SHALL NOT EXCEED SPECIFICATIONS OF THE HARDWARE MANUFACTURER. ALL GLAZING TO BE SEALED AT TOP AND BOTTOM CHANNELS PER THE HARDWARE MANUFACTURER'S INSTRUCTIONS.

TOP CHANNEL: DORMA DRS 1-1/4" X 1-3/4" DRI-FIT SQUARE U-CHANNEL RECESSED INTO HEADER / SOFFIT ABOVE.

TOP CHANNEL FINISH: #101 CLEAR ANODIZED ALUMINUM

BOTTOM RAIL: DORMA DRS 4: HIGH DRI-FIT SQUARE RAIL

BOTTOM RAIL FINISH: #101 CLEAR ANODIZED ALUMINUM

GL-2 (EXTERIOR / VESTIBULE GLAZING)

GLAZING: ALL NEW STOREFRONT GLASS TO BE A MINIMUM OF 1" THICK INSULATED, LOW-E, CLEAR GLASS. THE "T" SHOWN ON THE EXTERIOR ELEVATIONS, INDICATES PANES THAT ARE TO BE TEMPERED. ALL GLAZING TO BE SEALED WEATHER TIGHT PER THE HARDWARE MANUFACTURER'S INSTRUCTIONS.

GLASS ENTRANCE DOOR - U-FACTOR = .77 AND SHGC = .25.

WINDOWS - U-FACTOR = .46 AND SHGC = .25.

FRAMING CHANNELS: STYLE AND FINISHING TO MATCH BUILDING STANDARD FOR EXTERIOR GLAZING SYSTEMS UNLESS OTHERWISE NOTED. G.C. TO VERIFY REQUIREMENTS IN FIELD AND / OR WITH LANDLORD AS REQUIRED.

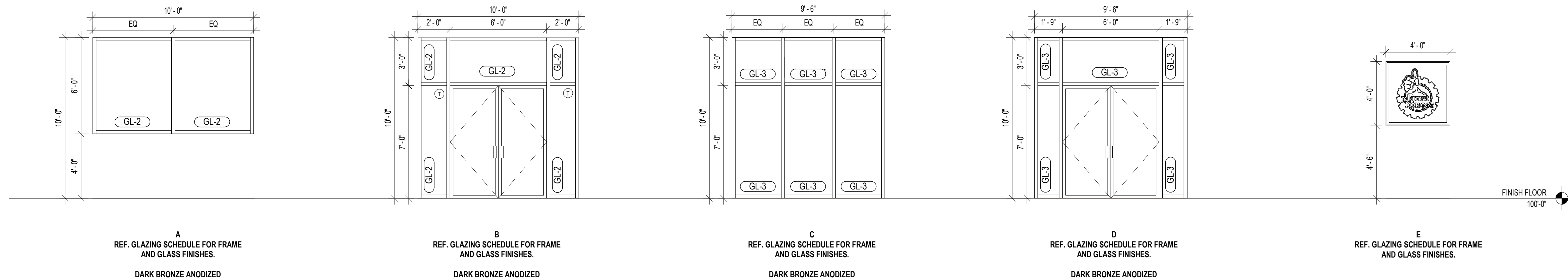
GL-3 (INTERIOR GLAZING)

GLAZING: 1/4" CLEAR FLOAT GLASS. THE "T" SHOWN ON THE INTERIOR ELEVATIONS INDICATES PANES THAT ARE TO BE TEMPERED.

FRAMING CHANNELS: STYLE AND FINISHING TO MATCH BUILDING STANDARD FOR EXTERIOR GLAZING SYSTEMS UNLESS OTHERWISE NOTED. G.C. TO VERIFY REQUIREMENTS IN FIELD AND / OR WITH LANDLORD AS REQUIRED.

GLAZING NOTES

- ALL STOREFRONT DIMENSIONS SHOWN ARE ROUGH OPENING SIZES. ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION
- INSTALL STOREFRONT SYSTEM PER MANUFACTURER'S RECOMMENDATIONS AND DESIGN TO ACCOMMODATE WIND SPEED DESIGN CRITERIA



4 WINDOW TYPES
SCALE: 1/4" = 1'-0"

GLAZING SCHEDULE

GLAZING NOTES

Project Name
Charlotte (Rozelle), NC

Project Number
2022.0220

Description
EXTERIOR ELEVATIONS AND GLAZING

Scale
As indicated

A-310



Charlotte-Mecklenburg Planning, Design, & Development

DATE: December 15th, 2018

TO: Donald Moore
Zoning Supervisor

FROM: Taiwo Jaiyeoba
Planning Director

SUBJECT: Administrative Approval for Petition No. 2000-018 Argus Properties

Attached is the revised site plan for the petition above. This request allows the modification of the proposed site plan as listed below. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

- Site Layout for a proposed EDEE (Waffle House).
- Building Elevations
- Landscaping plan

Staff supports of the request because:

- The site plan complies with the conditional notes and still meets the intent of the original approval by the City Council.

Note: All other Zoning, Subdivision, Tree Ordinances and conditional requirements still apply.

**CITY OF CHARLOTTE
MECKLENBURG COUNTY, NORTH CAROLINA
PLANS FOR**

**WAFFLE HOUSE
ROZZELLE CROSSING SHOPPING CENTER**

PREPARED FOR:

WAFFLE HOUSE, INC.

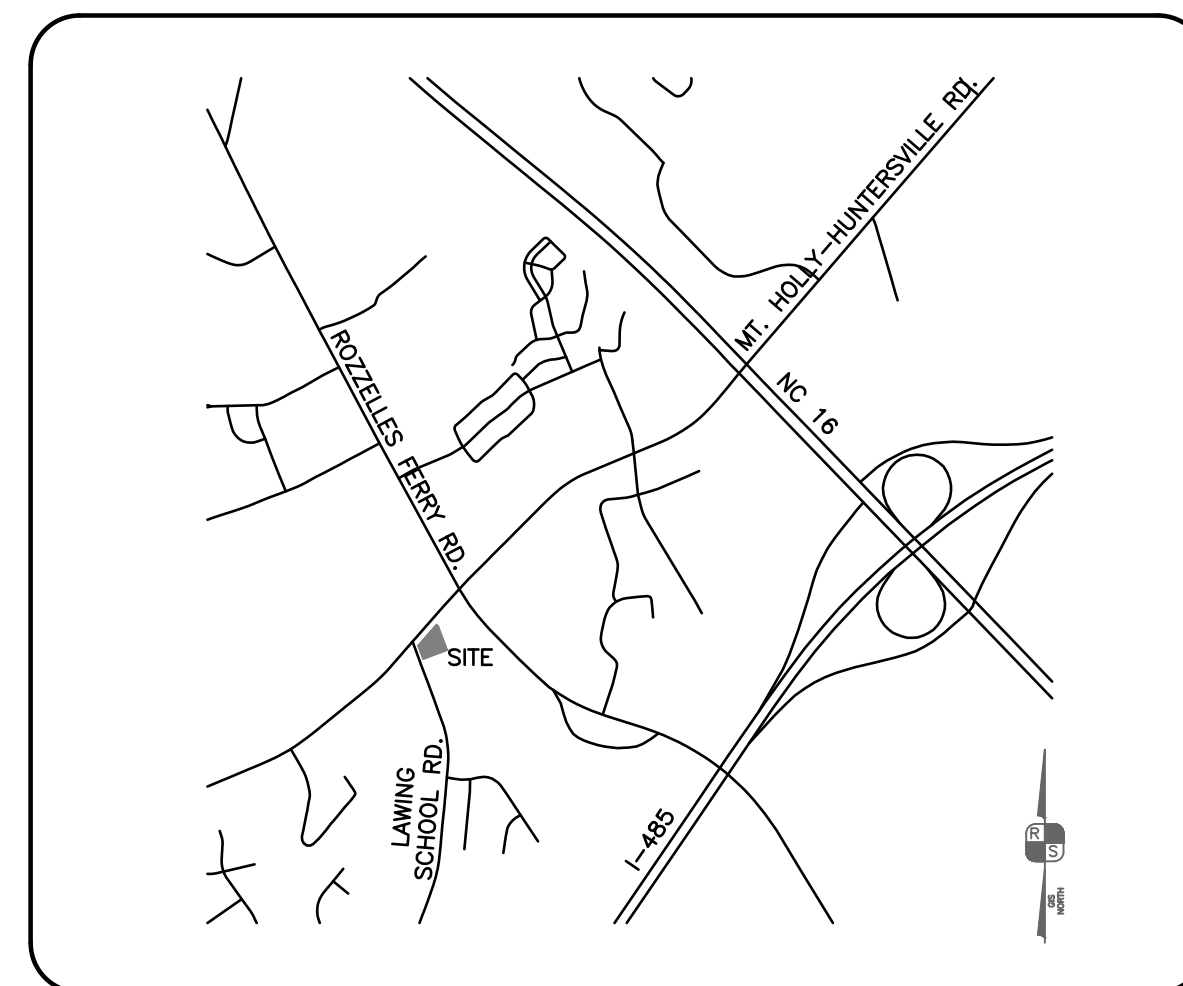
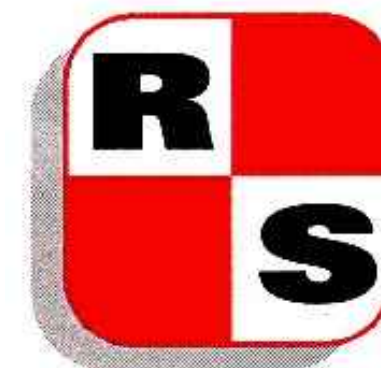
5986 FINANCIAL DR.
NORCROSS, GA 30071
C/O: DREW JOINER
PH: (770)-729-5805



PREPARED BY:

ROBINSON & SAWYER, INC.

707 E. SECOND AVE.
GASTONIA, NC 28054
TELEPHONE: 704/864-2201



VICINITY MAP
1"=1500'

INDEX	
Sheet No.	DESCRIPTION
C-1	INITIAL CONDITIONS & EROSION CONTROL
C-2	SITE & LANDSCAPING PLAN
C-3	GRADING & UTILITY PLAN
C-4	EROSION CONTROL DETAILS
C-5	SITE DETAILS
C-6	SITE DETAILS
C-7	SITE DETAILS

GENERAL SITE NOTES:

- 1) THE IMPROVEMENTS AS SHOWN ON THESE PLANS SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH APPLICABLE CITY, COUNTY, STATE AND FEDERAL REGULATIONS.
- 2) THE UTILITIES AND THE LOCATIONS THEREOF, SHOWN ON THE DRAWINGS, REPRESENT THE DESIGNER'S UNDERSTANDING OF EXISTING UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND EXISTENCE OF ALL UTILITIES, ETC. WITHIN THE CONSTRUCTION AREA WITH THE OWNER AND/OR THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING ANY EXCAVATION OR CONSTRUCTION. CALL NC ONE-CALL 48 HOURS PRIOR TO DIGGING. THE OMISSION OR INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF, OR DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- 3) BOUNDARY AND TOPO INFORMATION TAKEN FROM MAP BY GRAY SURVEYING COMPANY, INC., DATED JUNE 6, 2018.
- 4) FLOOD HAZARD OVERLAY DISTRICT: THIS PROPERTY HAS BEEN DETERMINED TO LIE OUTSIDE OF A SPECIAL FLOOD HAZARD AREA. THIS SITE IS SHOWN TO BE IN AREAS DESIGNATED NON-SHADED ZONE "X". SEE FEMA PANEL 3710451700J, EFFECTIVE DATE MARCH 2, 2009.
- 5) REMOVE ALL CLEARING AND DEMOLITION WASTE FROM THIS SITE AND DISPOSE OF LEGALLY IN A DEMOLITION LANDFILL.
- 6) THE CONTRACTOR SHALL MAKE EVERY EFFORT TO CONFINE DISTURBED AREAS TO A MINIMUM. ALL AREAS DISTURBED BY THE CONTRACTOR DURING DEMOLITION SHALL BE IMMEDIATELY RESEDED.
- 7) EXACT LOCATIONS OF ALL UTILITY SERVICES (WATER, SEWER, GAS, ETC.) TO BE COORDINATED WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- 8) ALL PARKING LOT STRIPING TO BE COMPLETED AS SHOWN ON THIS PLAN. ALL TRAFFIC SIGNS, STRIPE PAINTING, ETC... TO CONFORM TO THE PRINCIPLES WITHIN THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (M.U.T.C.D.)
- 9) CONTRACTOR TO COORDINATE ANY PROBLEMS OR FIELD CONDITIONS, THAT MAY CHANGE THE DESIGN, WITH THE ENGINEER PRIOR TO PROCEEDING.
- 10) LIGHTING SHALL NOT BE DIRECTED TOWARD OR SHINE UPON ANY RESIDENTIAL ZONES OR ENDANGER MOTORISTS TRAVELING ON ANY STREET.
- 11) THE LIMITS OF GRADING IS UNDER ONE ACRE; THEREFORE NO EROSION CONTROL PLAN IS REQUIRED. HOWEVER, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PREVENT EXCESS SEDIMENT FROM LEAVING THE SITE. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE CITY/COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE. ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE CITY/COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE. A GRADING PLAN MUST BE SUBMITTED FOR ANY LOT GRADING EXCEEDING ONE ACRE THAT HAS PREVIOUSLY APPROVED.
- 12) CONTRACTOR TO PITCH GUTTER SLOPE AWAY FROM CURB ON DOWNSTREAM SIDE OF ISLANDS AND CURB RUNS.
- 13) ALL DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
- 14) ALL PLANTERS AND ISLANDS ARE TO BE MOUNDED TO RAIN.
- 15) THIS GRADING PLAN DOES NOT REPRESENT A BALANCED CUT/FILL CONDITION. CONTRACTOR TO PERFORM HIS OWN CALCULATIONS AND SUPPLEMENT OR REMOVE SOIL AS NEEDED TO MAKE THE PROPOSED GRADES.
- 16) REFER TO ARCHITECTURAL SHEETS FOR BUILDING PLANS AND DIMENSIONS.
- 17) PROPOSED SEWER SERVICE TO BE 4" PVC SCHEDULE 40 WITH CLEANOUTS AS PER BUILDING CODE. ALL SEWER CLEANOUTS TO BE TRAFFIC RATED.
- 18) MAINTAIN SILT FENCE AND OTHER PREVIOUSLY INSTALLED EROSION CONTROL MEASURES DURING CONSTRUCTION.
- 19) EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S150 OR APPROVED OTHER) ALONG SLOPES 3:1 AND STEEPER. INSTALL AS PER MANUFACTURER'S REQUIREMENTS. SLOPES SHALL BE INSTALLED NO STEEPER THAN 2:1.
- 20) SPOTGRADES SHOWN ON CURB & GUTTER ARE GUTTER ELEVATION UNLESS NOTED OTHERWISE.
- 21) EACH BACKFLOW PREVENTER REQUIRED BY CHARLOTTE WATER SHALL BE TESTED BY A CHARLOTTE WATER APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM IN SERVICE. THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPT. CONNECTION POINTS, OR OTHER WATER-USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS REQUIRED BACKFLOW PREVENTER.
- 22) SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- 23) APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM AFFECTED PROPERTY OWNERS.
- 24) IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON CURB.
- 25) THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
- 26) NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION. FOR CITY OF CHARLOTTE MAINTAINED STREETS, CONTACT CDOT AT (704) 336-3888.
- 27) SIDEWALK WITHIN THE CITY'S RIGHT-OF-WAY THAT REQUIRES REPLACEMENT AS PART OF THE DEVELOPMENT AND/OR STREET IMPROVEMENTS SHOULD BE PHASED IN SUCH A WAY AS TO MINIMIZE THE DURATION OF THE SIDEWALK CLOSURE TO THE EXTENT FEASIBLE. THE DEVELOPER SHOULD MAKE EVERY ATTEMPT TO HAVE SIDEWALK REPAIRED AND REOPENED FOR PUBLIC USE WITHIN 30 DAYS OF REMOVAL.
- 28) ANY WORK WITHIN THE CITY'S RIGHT-OF-WAY THAT REQUIRES CLOSURE OF THE SIDEWALK OR TRAVEL LANE MUST BE APPROVED BY CDOT AND WILL REQUIRE A R/W US PERMIT OR R/W LEASE DEPENDING UPON THE PROPOSED DURATION OF CLOSURE. THESE APPROVALS ARE IN ADDITION TO SITE APPROVALS AND SHOULD BE COORDINATED WITH CDOT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT CDOT AT (704) 432-1562 AT LEAST 5 BUSINESS DAYS PRIOR TO BEGINNING WORK FOR IMPACTS LESS THAN 30 DAYS. CONTRACTOR SHALL CONTACT CDOT AT (704) 336-8348 AS SOON AS POSSIBLE FOR IMPACTS GREATER THAN 30 DAYS. EVERY EFFORT SHALL BE MADE TO CONSTRUCT IMPROVEMENTS WITH MINIMAL IMPACT TO DRIVERS AND PEDESTRIANS.
- 29) THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
- 30) DEVELOPER TO CONTACT CDOT (ANTHONY MENDEZ, 704-336-4871) DURING SITE PLAN PREPARATION TO DISCUSS STREET LIGHTING REQUIREMENTS, IF ANY, FOR THIS PROJECT. COORDINATE WITH DUKE ENERGY AND CDOT AS NECESSARY TO DETERMINE LIGHTING LEVELS, LIGHTING LAYOUT AND REQUIREMENTS FOR INSTALLATION.
- 31) ALL "STD." NUMBERS REFER TO THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
- 32) ON-SITE BURIAL PITS REQUIRE AND ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
- 33) ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
- 34) ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE CITY ENGINEERING DEPARTMENT.
- 35) SLOPES SHALL BE GRADED NO STEEPER THAN 2:1. FILL SLOPES GREATER THAN 10' REQUIRE ADEQUATE TERRACING [CLDSM #30.16].
- 36) DRIVEWAY PERMIT FOR CONSTRUCTION ENTRANCES IN N.C.D.O.T. RIGHT OF WAY MUST BE PRESENTED AT RPE-CONSTRUCTION MEETING.
- 37) PRIOR TO CO, SURVEYOR SEALED AS-BUILT DRAWINGS OF ALL WATER QUALITY BMP'S AND DETENTION SYSTEMS MUST BE PROVIDED.



ROBINSON & SAWYER, INC.
CIVIL ENGINEERING CONSULTING & DESIGN
707 EAST SECOND AVENUE ~ GASTONIA, NC
PHONE: (704)864-2201 ~ FAX: (704)864-2276
NC LICENSE #: F-0338 ~ SC COA: 841
WWW.ROBINSON-SAWYER.COM



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WAFFLE HOUSE, INC. APPROVALS	
SIGNATURE _____	DATE _____
SIGNATURE _____	DATE _____
SIGNATURE _____	DATE _____
SIGNATURE _____	DATE _____

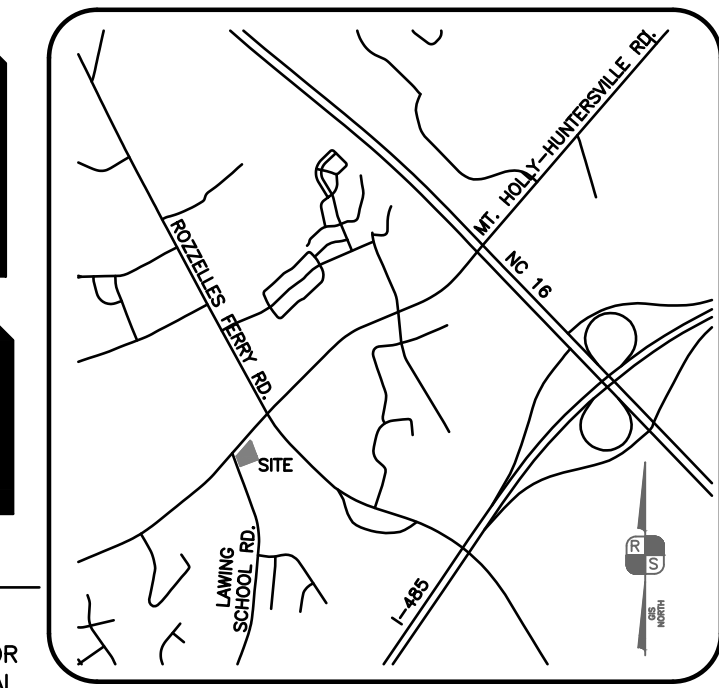
KAHN FAMILY, LLC
ARGUS HOLDINGS, LLC
DB 15425, PG 246
LOT #2
MB 33, PG 845
PID# 03113241
0.79 ACRE

SITE DATA
TOTAL ACREAGE: 0.79 ACRES
DENUDED AREA: 0.68 ACRES
SOIL DATA
SOIL ON THE SITE IS HELENA
SANDY LOAM(H&B).



APPLICANT
WAFFLE HOUSE, INC.
5906 FINANCIAL DR.
NORCROSS, GA 30071
CONTACT: DREW JOINER
PH: 770-729-5805

PROPERTY OWNER
KAHN FAMILY, LLC.
ARGUS HOLDINGS, LLC.
13000 S. TRYON ST. STE F302
CHARLOTTE, NC 28278



VICINITY MAP
1"=200'

TEMPORARY SEEDING SCHEDULE

CITY OF CHARLOTTE LAND DEVELOPMENT STANDARD 30.17

FOR LATE WINTER AND EARLY SPRING:

SEEDING MIXTURE:
RYE (GRAIN) - 120 LB/ACRE
ANNUAL LESPEDEZA (KOBE) - 50 LB/ACRE
(OMIT ANNUAL LESPEDEZA WHEN DURATION OF TEMPORARY COVER IS NOT TO EXTEND BEYOND JUNE)

SEEDING DATES:
JAN. 1 - MAY 1

SOIL AMENDMENTS:
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER

MULCH:
APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE:
REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

FOR SUMMER:

SEEDING MIXTURE:
GERMAN MILLET - 40 LB/ACRE
(A SMALL-STEMMED SUDANGRASS MAY BE SUBSTITUTED AT A RATE OF 50 LB/ACRE)

SEEDING DATES:
MAY 1 - AUG. 15

SOIL AMENDMENTS:
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 FERTILIZER

MULCH:
APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE:
REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

FOR FALL:

SEEDING MIXTURE:
RYE (GRAIN) - 120 LB/ACRE

SEEDING DATES:
AUG. 15 - DEC 30

SOIL AMENDMENTS:
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 FERTILIZER

MULCH:
APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE:
REPAIR AND REFERTILIZE DAMAGED AREAS IMMEDIATELY. TOPDRESS WITH 50 LB/ACRE OF NITROGEN IN MARCH. IF IT IS NECESSARY TO EXTEND TEMPORARY COVER BEYOND JUNE 15, OVERSEED WITH 50 LB/ACRE KOBE LESPEDEZA IN LATE FEBRUARY OR EARLY MARCH.

FOR ADDITIONAL INFORMATION, REFER TO NCDENR EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL (ESCPDM), SECTION 6.10. FOR PERMANENT SEEDING SPECIFICATIONS, INCLUDING SEED BED PREP, SEASONAL LIMITATIONS FOR SEEDING OPERATIONS, THE KINDS OF GRADES OF FERTILIZERS, THE KINDS OF SEED, AND THE RATES OF APPLICATION OF LIMESTONE, FERTILIZER, AND SEED, REFER TO NCDENR ESOPDM SECTION 6.11 AND THE CHARLOTTE LANDSCAPE CONSTRUCTION STANDARDS SECTION 04200 SEEDING AND SODDING OF TURFOGRASS.

PROJECT NARRATIVE

- A. GENERAL DESCRIPTION OF PROJECT: THE PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW WAFFLE HOUSE RESTAURANT AND ASSOCIATED PARKING AND UTILITY SERVICES. THE SITE IS LOCATED AT ROZZELLE CROSSING SHOPPING CENTER, IN MECKLENBURG COUNTY. THE SUBJECT PARCEL IS 0.79 ACRES. THE SITE IS CURRENTLY VACANT. APPROXIMATELY 0.68 ACRES WILL BE DISTURBED THROUGH THE DURATION OF THIS PROJECT. THIS PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS.
- B. LENGTH OF TIME PROJECT TO BE UNDER CONSTRUCTION: 90-120 DAYS
- C. APPROXIMATE DATE PROJECT TO BEGIN: JANUARY 2019
- D. SEQUENCE OF DEVELOPMENT:
 - 1. OBTAIN APPROVAL OF PLANS FROM THE FOLLOWING AGENCIES
 - A. CHARLOTTE (ALL CONSTRUCTION)
 - 2. INSTALL GRAVEL CONSTRUCTION ENTRANCE AS INDICATED ON THE PLANS.
 - 3. CLEAR & GRUB AREAS ONLY AS NECESSARY TO INSTALL ALL EROSION CONTROL MEASURES AS CALLED FOR ON PLANS.
 - 4. INSTALL ALL EROSION CONTROL MEASURES AS CALLED FOR ON PLANS INCLUDING SILT FENCE AND CHECK DAMS. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NC EROSION AND SEDIMENT CONTROL PLANNING DESIGN MANUAL, US DEPT. OF AGRICULTURE, CITY OF CHARLOTTE EROSION CONTROL ORDINANCE, AND THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
 - 5. CLEAR AND GRUB AS NECESSARY THE ENTIRE AREA TO BE GRADED AS INDICATED ON THE PLANS.
 - 6. BEGIN GRADING PROPOSED PARKING AND BUILDING AREA. CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.
 - 7. AS GRADING PROGRESSES AND FINAL GRADES ARE OBTAINED, INSTALL STORM DRAINAGE PIPE AS CALLED FOR ON THE PLANS. INSTALL INLET PROTECTION AT EACH STRUCTURE.
 - 8. SLOPES LEFT EXPOSED SHALL BE PLANTED OR OTHERWISE PROVIDED WITH GRASS COVER, DEVICES OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION AS SPECIFIED IN THE GROUND STABILIZATION CRITERIA SCHEDULE SHOWN ON THIS SHEET.
 - 9. UPON COMPLETION OF CONSTRUCTION, GROUND COVER SUFFICIENT TO RESTRAIN EROSION MUST BE IN PLACE AS SPECIFIED IN THE GROUND STABILIZATION CRITERIA SCHEDULE BELOW.
 - 10. MAINTENANCE: SEE INDIVIDUAL DETAILS FOR MAINTENANCE REQUIREMENTS FOR EACH TYPE OF EROSION CONTROL MEASURE.
 - 11. UPON STABILIZATION OF SITE, REMOVE EROSION CONTROL MEASURES.

SURVEY LEGEND

---	PROPERTY LINE (UNSURVEYED)
---	RIGHT OF WAY
o	IRON PIN FOUND
o	IRON PIN SET
---	MAJOR CONTOUR
---	MINOR CONTOUR
---	OVERHEAD POWER LINE
---	STORM DRAIN PIPE
---	SHRUB LINE
o	SPOTGRADE
o	POWER POLE
o	LIGHT POLE
o	DROP INLET
o	FIRE HYDRANT
o	WATER VALVE
o	SEWER MANHOLE
o	CLEANOUT
o	ELECTRIC BOX
o	TREE

LEGEND

---	SILT FENCE
---	TREE PROTECTION
---	DENUDED LIMITS
---	SILT FENCE OUTLET

SEE COVER SHEET FOR GENERAL SITE NOTES

9 SILT FENCE C-4 OUTLET

1 TEMP. SILT FENCE(TYP.) C-4

TREES ARE TO REMAIN

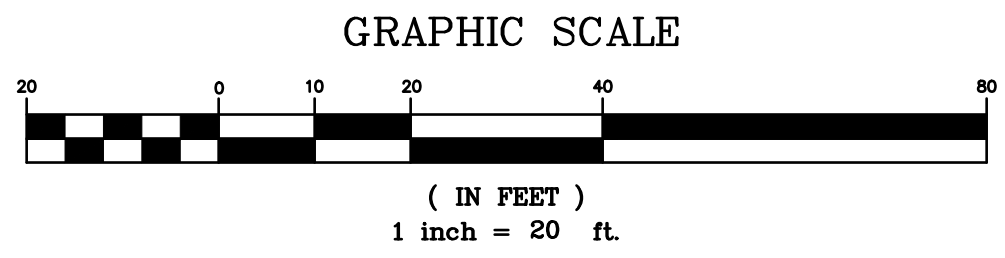
TREE TO BE REMOVED

5 TREE C-4 PROTECTION(TYP.)

3 TEMP. STABILIZED CONSTRUCTION ENTRANCE C-4

2 HARDWARE CLOTH & GRAVEL INLET PROTECTION C-4

SITE AREA DESCRIPTION	STABILIZATION TIMEFRAME	STABILIZATION TIMEFRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER(HQW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE(EXCEPT FOR PERIMETERS AND HQW ZONES)



WAFFLE HOUSE, INC. APPROVALS

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SIGNATURE	DATE
SIGNATURE	DATE

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EST. 1962

PROJECT NO. 18015.01
FILE NO. 4568-B
SCALE: 1"=20'
DRAWN BY: MCV
CHECKED BY: DDS

WAFFLE HOUSE
ROZZELLE CROSSING SHOPPING CENTER
CHARLOTTE, NORTH CAROLINA

INITIAL CONDITIONS & EROSION CONTROL

REV	DATE	PERMITTING SET	COMMENT
1	12/15/18	9/17/18	

DATE: 9/17/18

REGULATORY COMMENTS

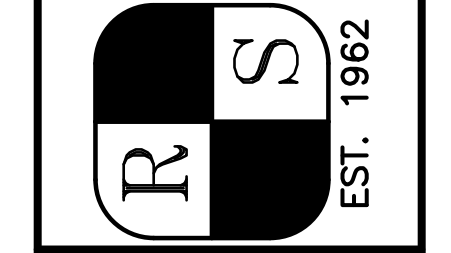
SEAL 13037
12/15/18

SHEET NO. C-1
OF 7 SHEETS

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PROJECT NO. 18015.01
 FILE NO. 4568-B
 SCALE: 1"=20'
 DRAWN BY: MCV
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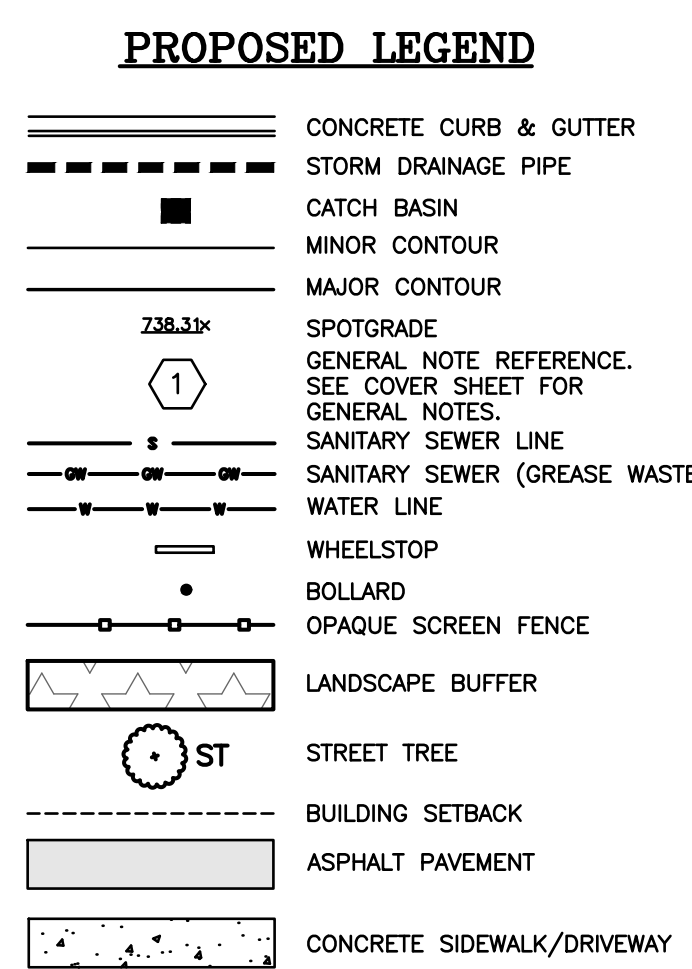
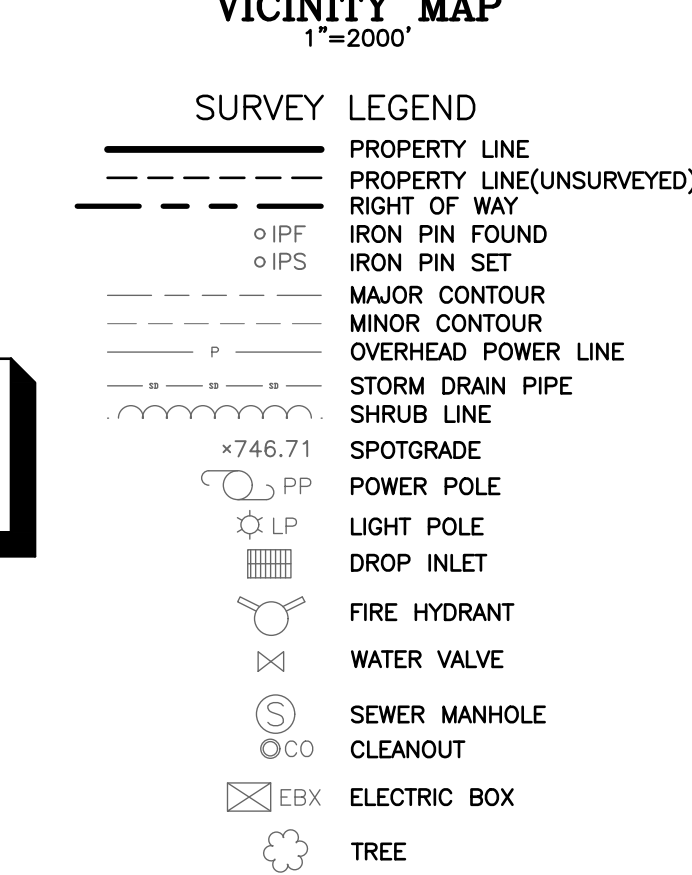
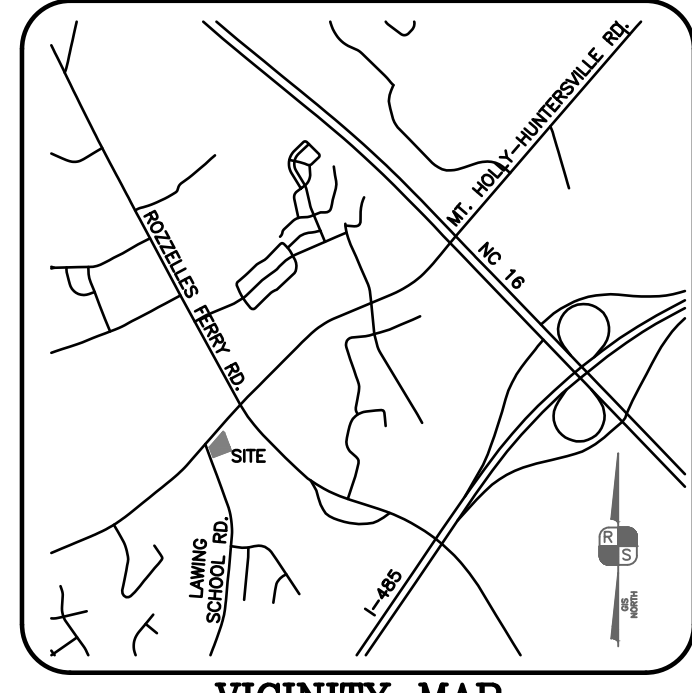
WAFLE HOUSE SHOPPING CENTER
 ROZELLE CROSSING, NORTH CAROLINA
 GRADING & UTILITY PLAN

REV	DATE	REVISIONS	COMMENT
1	12/15/18	REGULATORY COMMENTS	
2	9/17/18	PERMITTING SET	

DATE: 9/17/18

SEAL 13037
 NORTH CAROLINA PROFESSIONAL ENGINEER
 DREW JOINER
 12/15/18

SHEET NO. **C-3**
 OF 7 SHEETS



BACKFLOW PREVENTION NOTES:

- THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPT. CONNECTION POINTS, OR OTHER WATER - USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS CLT WATER - REQUIRED BACKFLOW PREVENTER.
- EACH CLT WATER - REQUIRED BPA IS REQUIRED TO BE TESTED BY A CLT WATER - APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM IN SERVICE. TEST RESULTS SHALL BE SUBMITTED TO CLT WATER WITHIN 30 DAYS AND TESTED ANNUALLY THEREAFTER SUBMITTING RESULTS TO CLT WATER.
- SEE DETAIL 2 ON SHEET C-6 FOR ADDITIONAL NOTES

WAFLE HOUSE, INC.
 APPROVALS

SIGNATURE	DATE
SIGNATURE	DATE
SIGNATURE	DATE
SIGNATURE	DATE

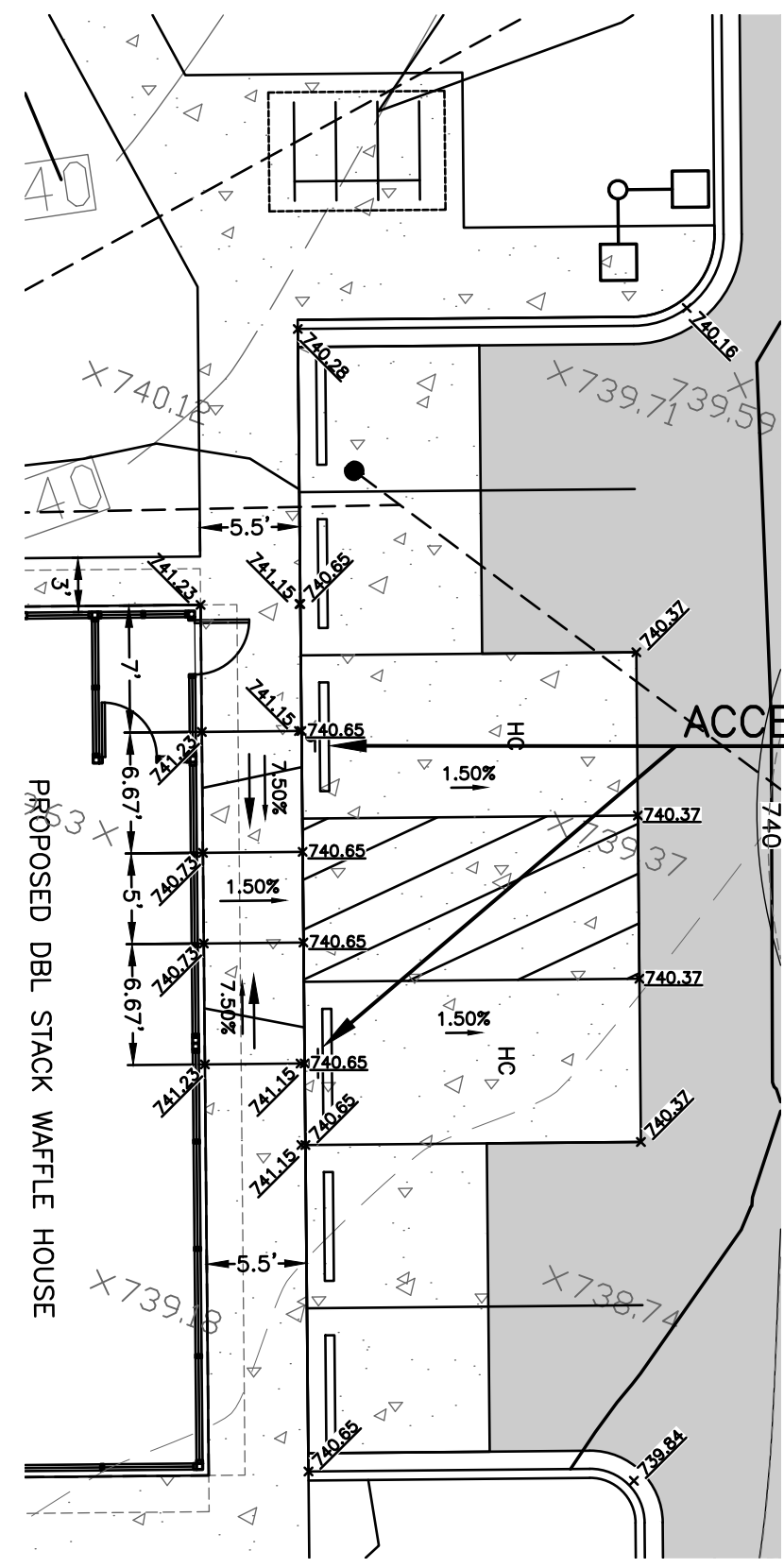
UTILITY PROVIDERS

UTILITY	PROVIDER	ADDRESS	PHONE NUMBER
WATER/SEWER	CHARLOTTE WATER	600 E. 4TH ST., CHARLOTTE, NC 28202	(704)-336-7600
POWER	DUKE ENERGY	550 S. TRYON ST., CHARLOTTE, NC 28202	1-800-777-9898
GAS	PIEDMONT NATURAL GAS	4720 PIEDMONT ROW DR., CHARLOTTE, NC 28210	1-800-752-7504

KAHN FAMILY, LLC
 ARGUS HOLDINGS, LLC
 DB 15425, PG 246
 LOT #2
 MB 33, PG 845
 PID# 03113241
 0.79 ACRE

APPLICANT
 WAFLE HOUSE, INC.
 5986 FINANCIAL DR.
 NORCROSS, GA 30071
 CONTACT: DREW JOINER
 PH: 770-729-5805

PROPERTY OWNER
 KAHN FAMILY, LLC.
 ARGUS HOLDINGS, LLC.
 13000 S. TRYON ST. STE F302
 CHARLOTTE, NC 28278



INSET A
 1"=10'

ACCESSIBLE PARKING SIGN(2) C-5

30' RADIUS TREE PROTECTION

12' RADIUS TREE PROTECTION

12' RADIUS TREE PROTECTION

3 PHASE POWER SERVICE TO BUILDING. COORDINATE WITH DUKE ENERGY.
 GAS METER LOCATION (GAS COMPANY TO PROVIDE METER & SERVICE TO METER LOCATION). COORDINATE WITH OWNER.

15'-1" COPPER WATER SERVICE. COORDINATE INSTALLATION OF 1" WATER METER WITH CHARLOTTE WATER.
2 REDUCED PRESSURE PRINCIPLE ASSEMBLY(1")
 1" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY INSTALLED ABOVE-GROUND WITHIN INSULATED ENCLOSURE PER CLT WATER REQUIREMENTS. ENCLOSURE TO INCLUDE DRAIN PORT(S) FOR DISCHARGE WATER PER CLT WATER REQUIREMENTS. SEE DETAIL 2 ON SHEET C-6

15' RADIUS TREE PROTECTION

6 GREASE TRAP
 C-5

24' RADIUS TREE PROTECTION

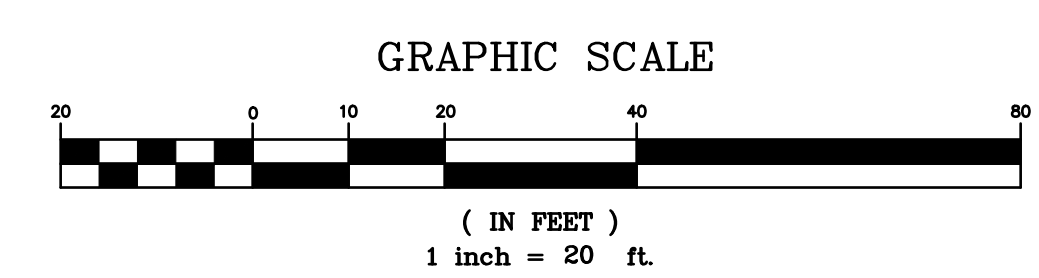
7 SANITARY SEWER SERVICE PROFILES
 C-6

1 CATCH BASIN
 C-6

4 CATCH BASIN INLET PROTECTION
 C-4

6 STORM DRAINAGE PROFILE
 C-6

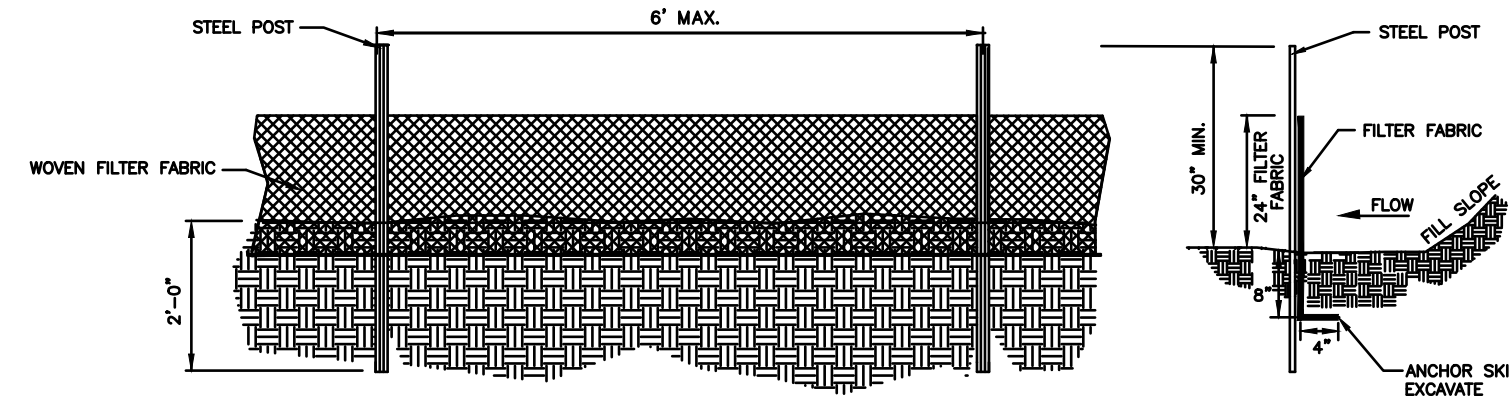
ADJUST RIM AS NECESSARY TO MATCH FINISHED GRADE
 FREP III - ROZELLE CROSSING, LLC DB 29355, PG 911 LOT #1
 MB 33, PG 845 LAND USE: MIXED USE SHOPPING CENTER



WAFLE HOUSE SITE MATERIAL QUANTITY CHART

A. ASPHALT:	1538	sq. yds.	
B. CONCRETE:	44	sq. yds.	
C. OFFSITE PAVING	0	sq. yds.	Spec:
D. DRIVEWAY / CURB-CUT	0	sq. yds.	Spec:
E. DRAINAGE:			
1 ea. Catch Basin	3	v.f.	
0 ea. Grate Inlet		v.f.	
0 ea. Junction Box		v.f.	
0 ea. Headwall		v.f.	Inch-Dia.
23 lf. Pipe	HDPE	material	15 Inch-Dia.
F. SANITARY:			
152 lf. Sanitary lateral	PVC (Sch 40)	material	4 Inch-Dia.
0 lf. Sanitary sewer Main		material	Inch-Dia.
0 ea. Manhole		v.f.	
5 ea. Clean-outs			
1 ea. Grease Trap		1500 gallons	
G. WATER LINE:			
On Site	51	lf.	
Off Site		lf.	
Meter	1	ea.	
H. CURBING:			
On-Site	705	lf.	
Off-Site		lf.	Spec:
I. PARKING STALLS:	32	Total, including -	2 Handicap (2 minimum)
J. CUT:	124	cu. yds. + 15% expansion =	143 total cu. yds.
FILL:	560	cu. yds. + 20% shrinkage =	672 total cu. yds.

H:\Projects\18015\Drawings\18015-BASE.dwg



GENERAL NOTES:

- WOVEN FILTER FABRIC BE USED WHERE SILT FENCE IS TO REMAIN FOR A PERIOD OF MORE THAN 30 DAYS.
- STEEL POSTS SHALL BE 5'-0" IN HEIGHT AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.
- TURN SILT FENCE UP SLOPE AT ENDS.
- ORANGE SAFETY FENCE IS REQUIRED AT BACK OF SILT FENCE WHEN GRADING IS ADJACENT TO SWIM BUFFERS, STREAMS OR WETLANDS (REFER TO SWIM BUFFER GUIDELINES). THE COLOR ORANGE IS RESERVED FOR VISUAL IDENTIFICATION OF ENVIRONMENTALLY SENSITIVE AREAS.
- DRAINAGE AREA CAN NOT BE GREATER THAN 1/4 ACRE PER 100 FT OF FENCE.
- SLOPE LENGTHS CAN NOT EXCEED CRITERIA SHOWN IN TABLE 6.62A NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.
- DO NOT INSTALL SEDIMENT FENCE ACROSS STREAMS, DITCHES, WATERWAYS OR OTHER AREAS OF CONCENTRATED FLOW.

MAINTENANCE NOTES:

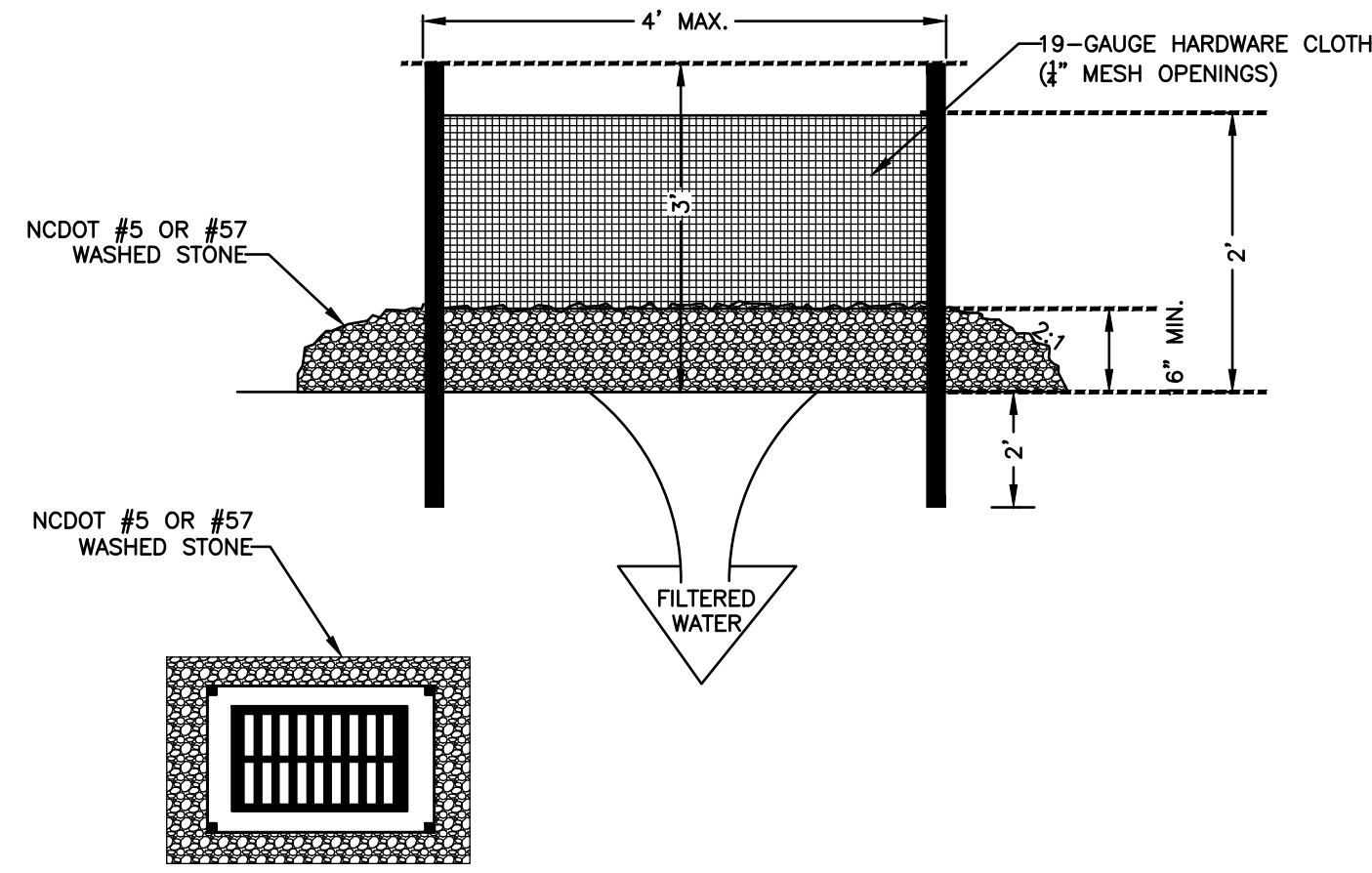
- FILTER BARRIERS SHALL BE INSPECTED BY THE FINANCIALLY RESPONSIBLE PARTY OR HIS AGENT IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS NEEDED SHALL BE MADE IMMEDIATELY.
- SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN DEPOSITS REACH APPROX. HALF THE HEIGHT OF THE BARRIER. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS REMOVED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEED.

1 SILT FENCE
C-4 CITY OF CHARLOTTE LAND DEVELOPMENT STANDARD 30.06A

SCALE: NONE

GENERAL NOTES:

- UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE INLET.
- DRIVE 5-FOOT STEEL POSTS 2 FEET INTO THE GROUND SURROUNDING THE INLET. SPACE POSTS EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4 FEET APART.
- SURROUND THE POSTS WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POSTS AT THE TOP, MIDDLE, AND BOTTOM. PLACING A 2-FOOT FLAP OF THE WIRE MESH UNDER THE GRAVEL FOR ANCHORING IS RECOMMENDED.
- PLACE CLEAN GRAVEL (NC DOT #5 OR #57 STONE) ON A 2:1 SLOPE WITH A HEIGHT OF 18 INCHES AROUND THE WIRE, AND SMOOTH TO AN EVEN GRADE.
- ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT, AND ESTABLISH FINAL GRADING ELEVATIONS.
- COMPACT THE AREA PROPERLY AND STABILIZED IT WITH GROUND COVER.

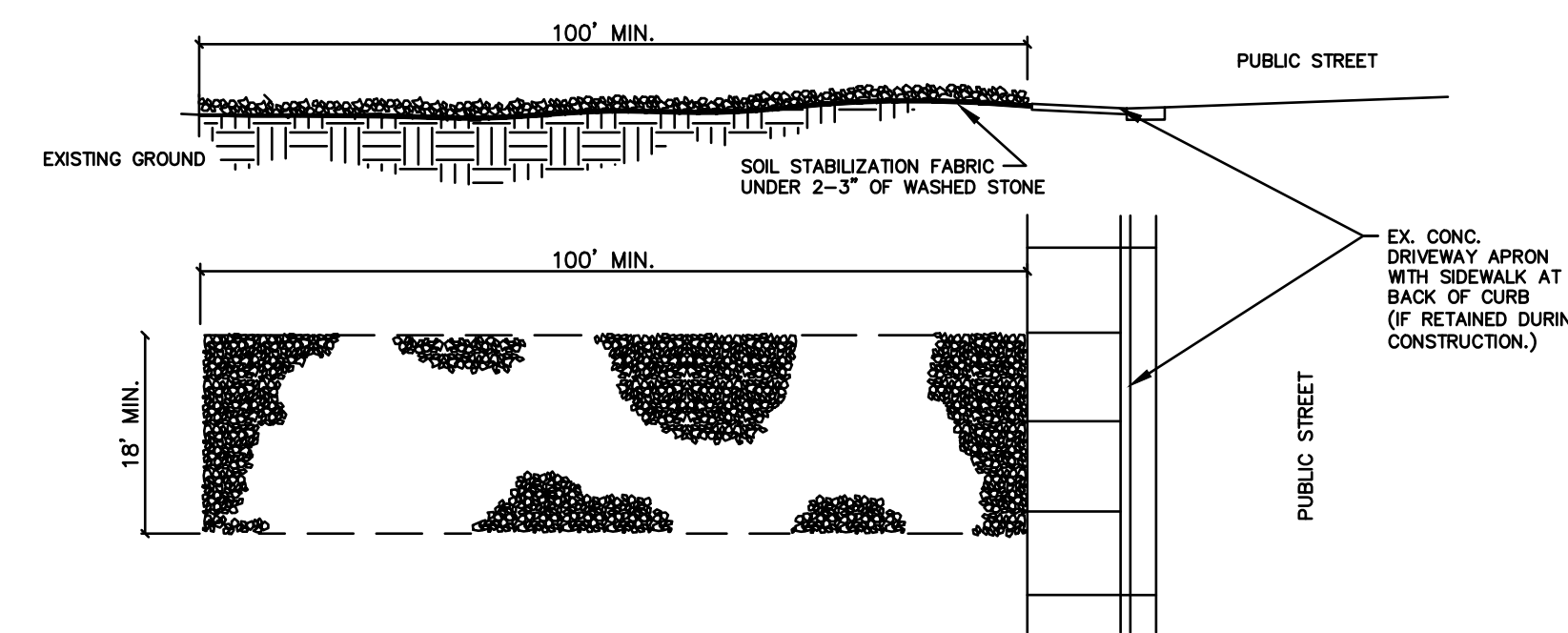


2 HARDWARE CLOTH & GRAVEL INLET PROTECTION
C-4 CITY OF CHARLOTTE LAND DEVELOPMENT STANDARD 30.09

SCALE: NONE

NOTES:

- A STABILIZED ENTRANCE PAD OF 2-3" OF WASHED STONE AND/OR RAILROAD BALLAST SHALL BE LOCATED WHERE TRAFFIC WILL ENTER OR LEAVE THE CONSTRUCTION SITE ONTO A PUBLIC STREET.
- FILTER FABRIC OR COMPACTED CRUSHER RUN STONE SHALL BE USED AS A BASE FOR THE CONSTRUCTION ENTRANCE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC STREETS OR EXISTING PAVEMENT. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS WARRANT AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- ANY SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC STREETS MUST BE REMOVED IMMEDIATELY. ANY AGGREGATE TRACKED INTO THE ROADWAY MUST BE SWEEP BACK ON SITE ON A NIGHTLY BASIS.
- WHEN APPROPRIATE, WHEELS MUST BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING A PUBLIC STREET. WHEN WASHING IS REQUIRED, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN SEE STD. NO. 30.11B.
- CDOT MAY REQUIRE A STANDARD COMMERCIAL DRIVEWAY (STD. 10.24 & 10.25) TO ACCESS THE CONSTRUCTION SITE IF THE DRIVEWAY IS ON A THOROUGHFARE, OR ON ANY STREET WITH AN EXISTING SIDEWALK TO REMAIN OPEN DURING CONSTRUCTION.
- FOLLOW WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH) FOR SIDEWALK CLOSURE OR DETOUR/DIVERSION.

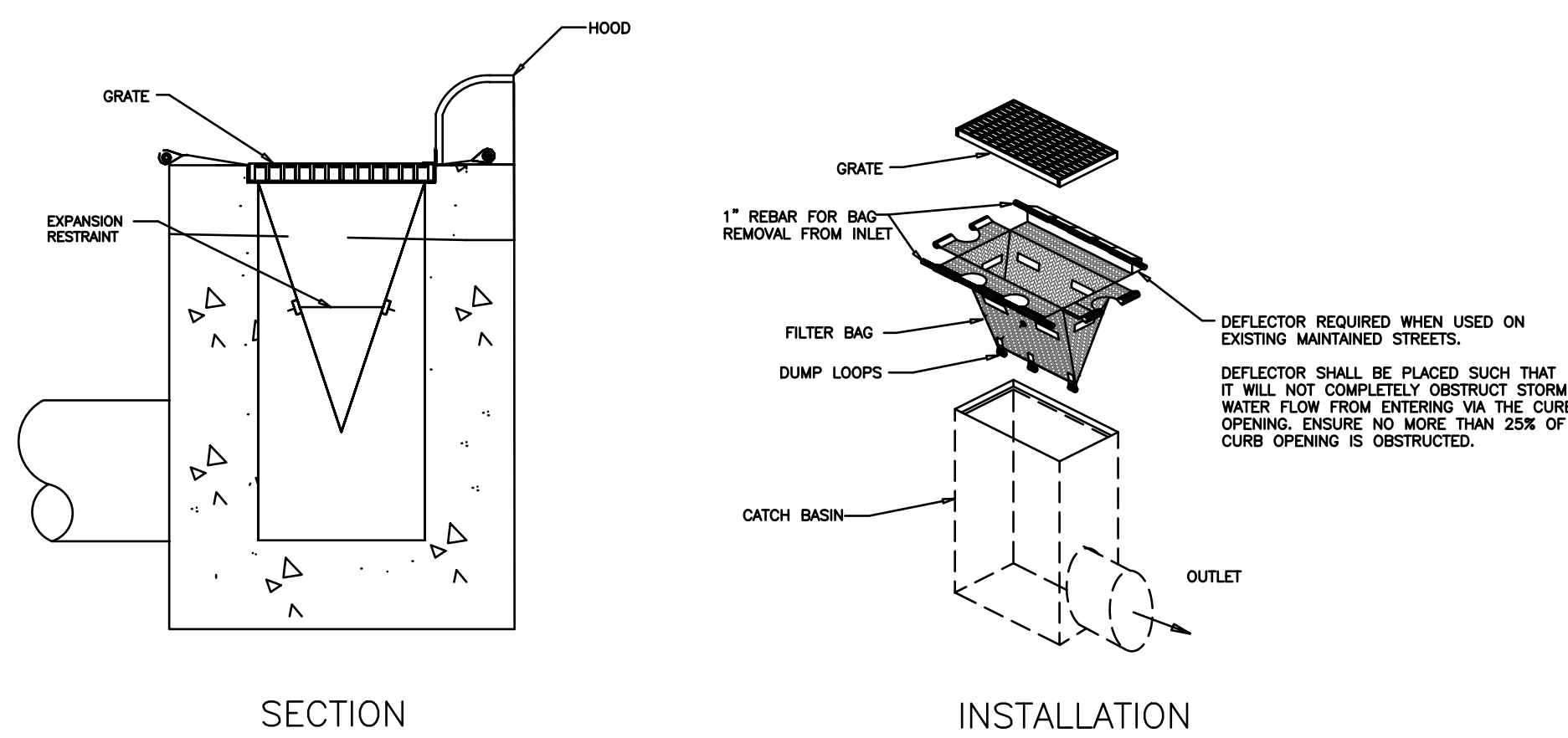


3 STABILIZED CONSTRUCTION ENTRANCE
C-4 CITY OF CHARLOTTE LAND DEVELOPMENT STANDARD 30.11A

SCALE: NONE

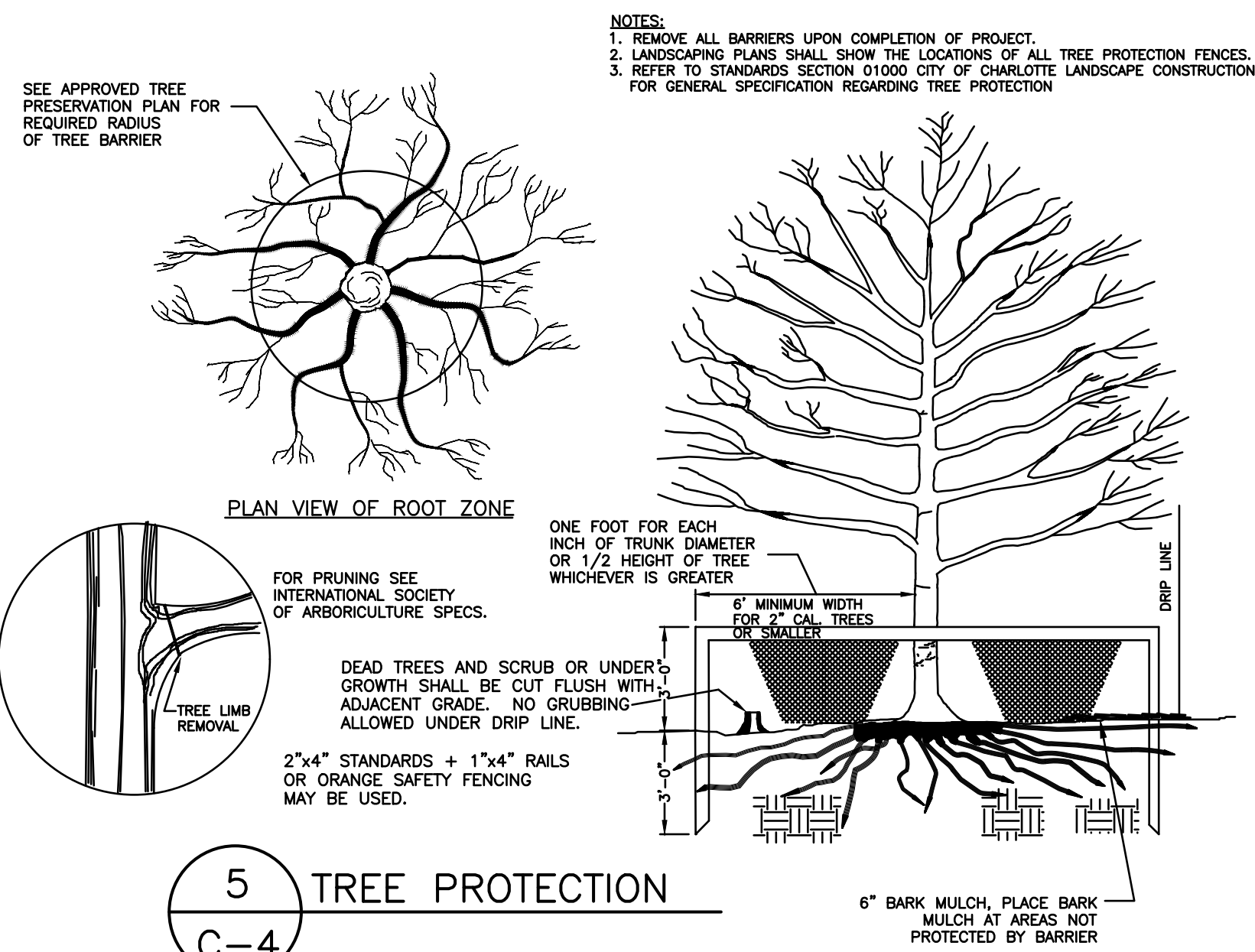
NOTES:

- INLET MAINTENANCE SHALL BE DOCUMENTED IN PROJECT LOG BOOK.
- FILTER TYPES SHALL BE APPROVED BY THE CITY INSPECTOR PRIOR TO INSTALLATION.
- FILTER BAGS MAY BE REMOVED WHEN SITE IS STABILIZED AT THE DIRECTION OF THE ENGINEER.
- FILTER BAGS SHALL BE REMOVED PRIOR TO STREET ACCEPTANCE AND/OR CLOSE OUT OF GRADING PERMIT.
- FILTER BAGS SHALL BE CLEANED OR REPLACED ON A REGULAR BASIS (NOT BE MORE THAN HALF FULL AT ANY TIME).
- FILTER BAGS MAY BE INSTALLED IN EXISTING CITY OR NCDOT ROADS AS LONG AS STORM DRAINAGE IS NOT IMPEDED.



4 CATCH BASIN INLET PROTECTION
C-4 CITY OF CHARLOTTE LAND DEVELOPMENT STANDARD 30.15

SCALE: NONE

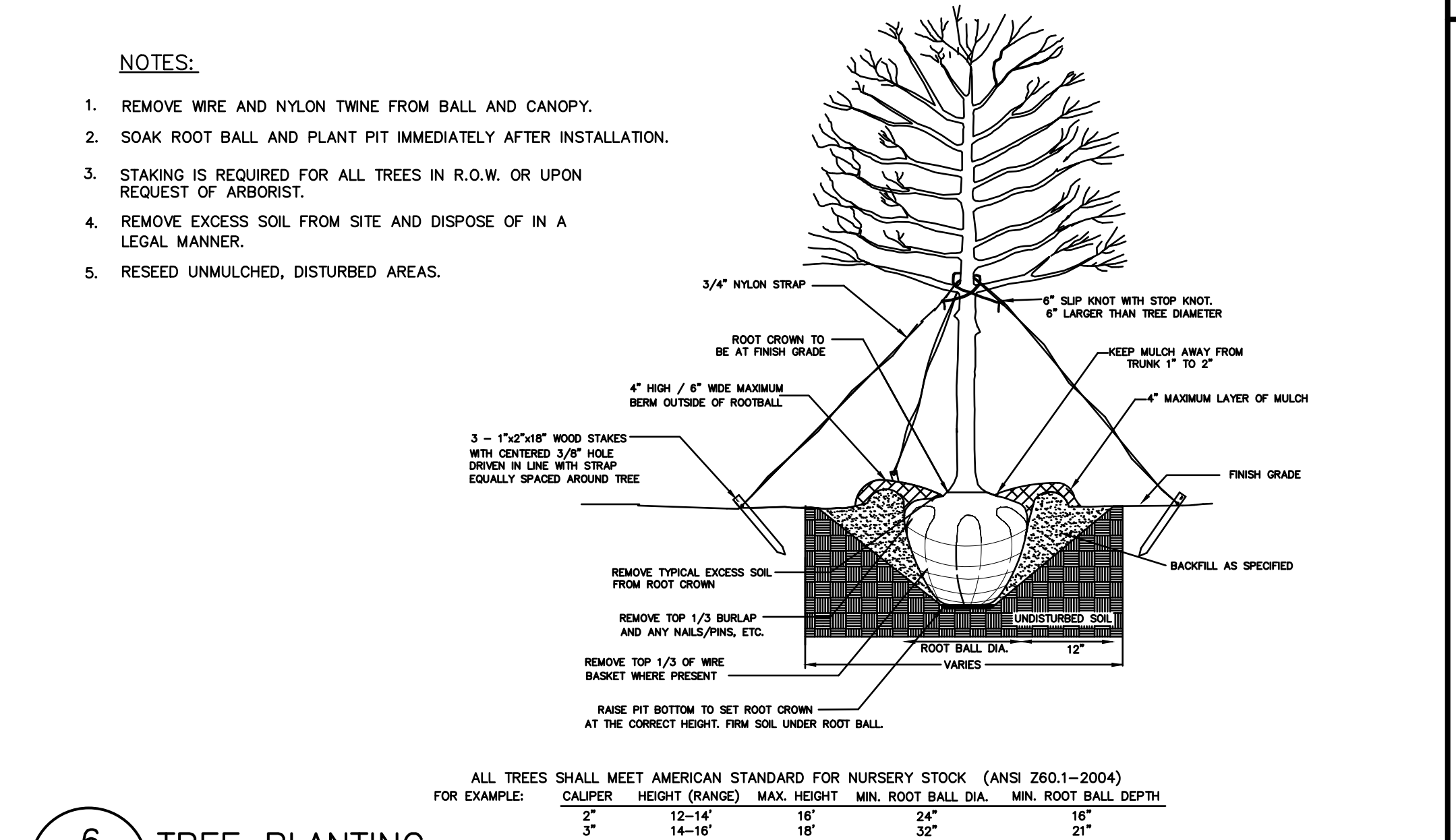


5 TREE PROTECTION
C-4

SCALE: NONE

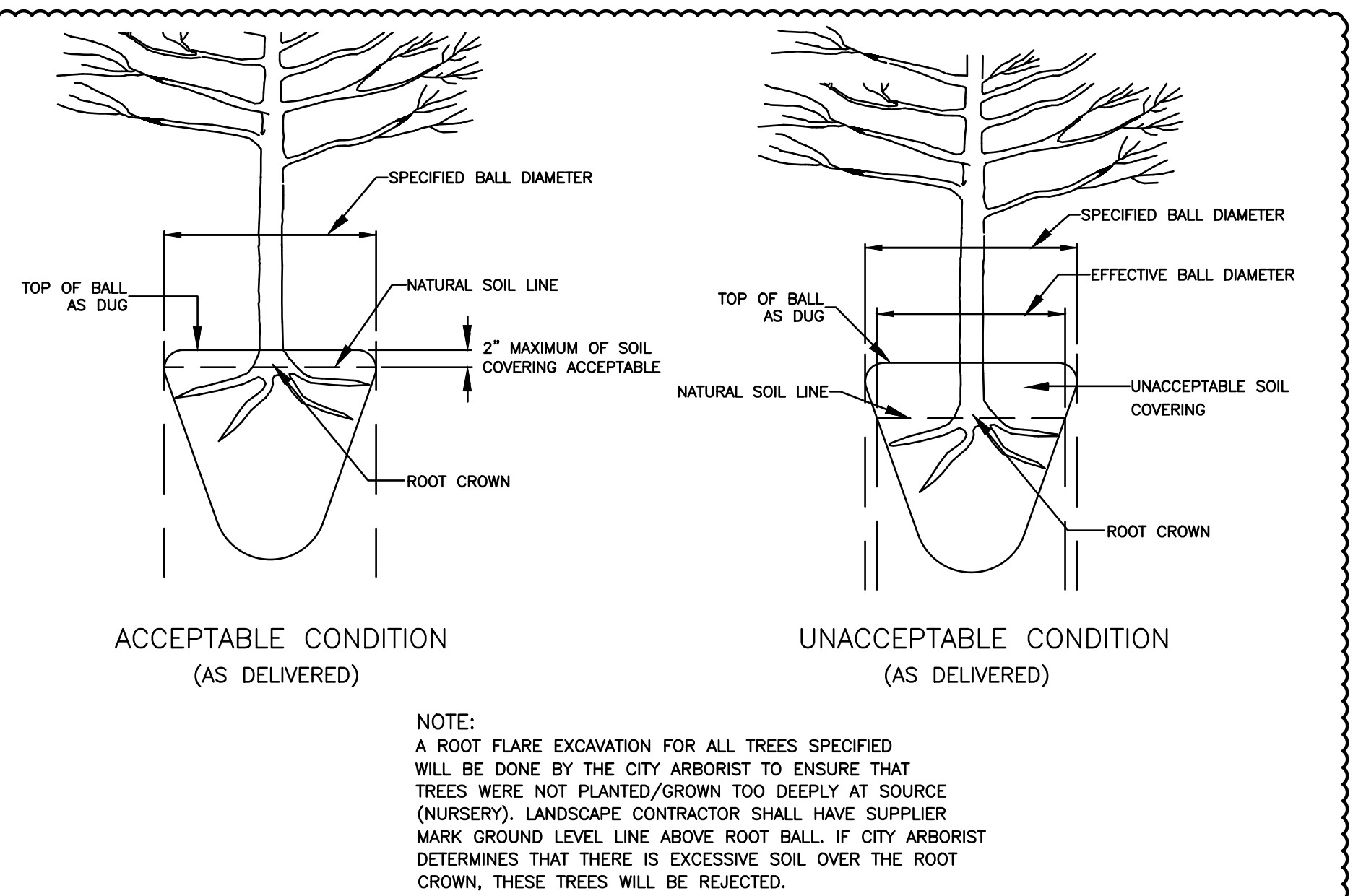
NOTES:

- REMOVE WIRE AND NYLON TWINE FROM BALL AND CANOPY.
- SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
- STAKING IS REQUIRED FOR ALL TREES IN R.O.W. OR UPON REQUEST OF ARBORIST.
- REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.
- RESEED UNMULCHED, DISTURBED AREAS.



6 TREE PLANTING
C-4 CITY OF CHARLOTTE LAND DEVELOPMENT STANDARD 40.01

SCALE: NONE

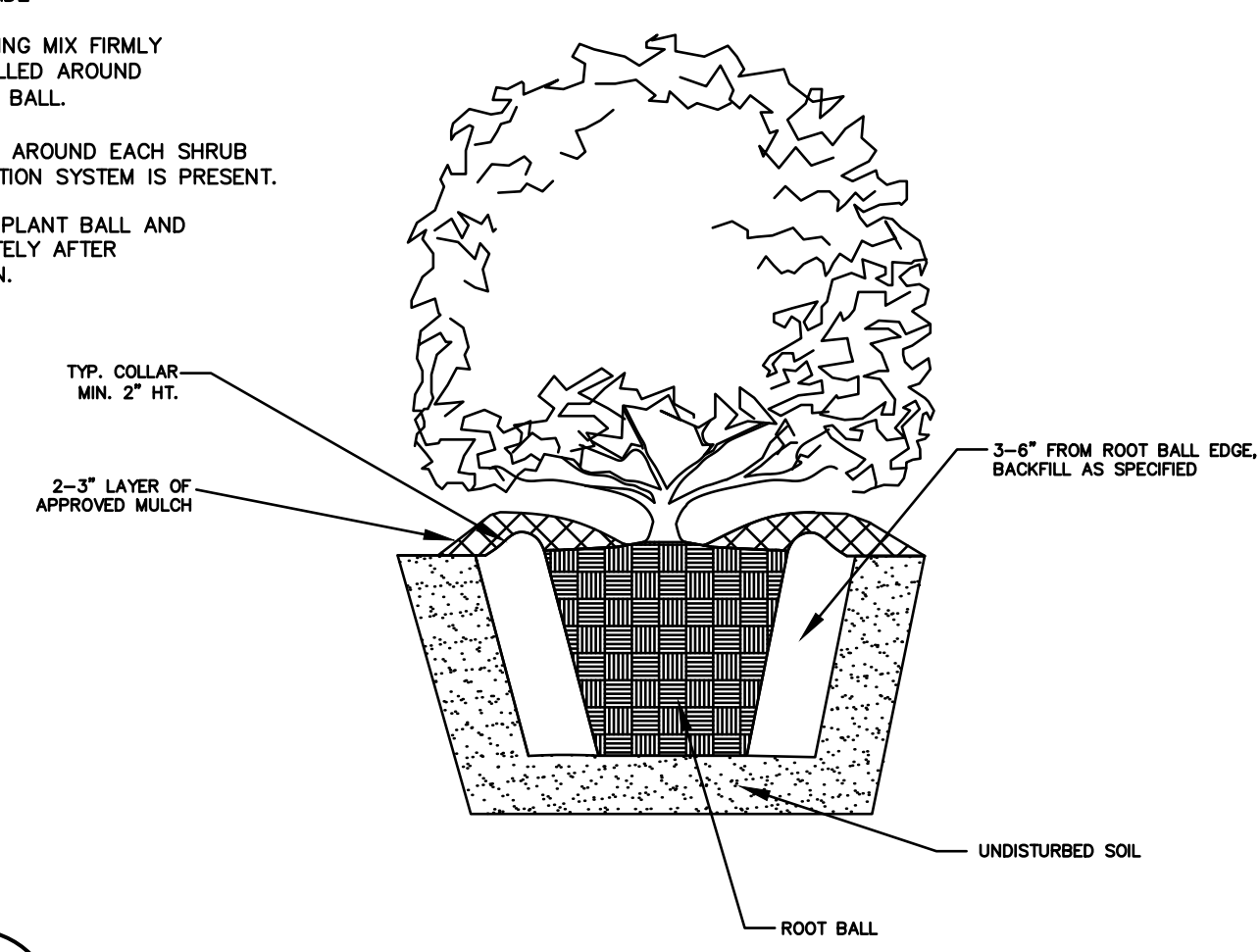


7 ROOT FLARE DEPTHS
C-4 CITY OF CHARLOTTE LAND DEVELOPMENT STANDARD 40.09

SCALE: NONE

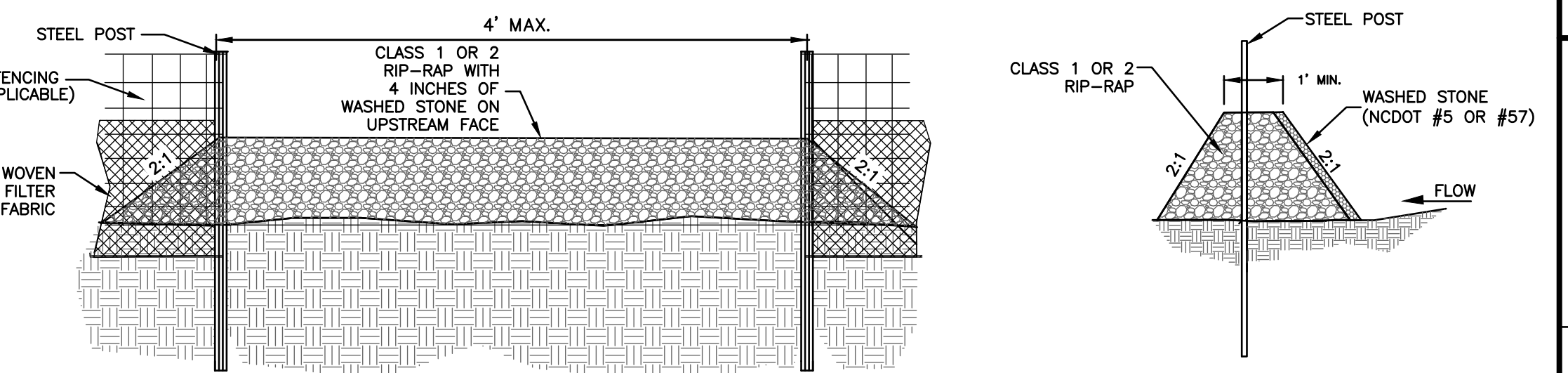
NOTES:

- SCARIFY ROOT MASS OF CONTAINERIZED PLANT MATERIAL.
- INSTALL CONTAINERIZED PLANTS AT FINISHED GRADE.
- TAMP PLANTING MIX FIRMLY AS FIT IS FILLED AROUND EACH PLANT BALL.
- OMIT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
- SOAK EACH PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.



8 SHRUB PLANTING
C-4 CITY OF CHARLOTTE LAND DEVELOPMENT STANDARD 40.05B

SCALE: NONE



GENERAL NOTES:

- SEDIMENT FILTER OUTLET SHALL BE 16 INCHES HIGH BUT NO TALLER THAN 18 INCHES.
- CLASS 1 OR 2 RIP-RAP SHALL BE USED AND COVERED WITH 4 INCHES OF NCDOT #5 OR #57 WASHED STONE ON THE UPSLOPE SIDE.
- POSTS SHALL BE NO MORE THAN 4 FEET APART.
- SITE OUTLETS AT ANY POINT SMALL CONCENTRATED FLOWS ARE ANTICIPATED AND AT THE DIRECTION OF THE INSPECTOR.
- ONE ACRE MAXIMUM DRAINAGE AREA PER OUTLET.

MAINTENANCE NOTES:

- FILTER OUTLETS SHALL BE INSPECTED BY THE FINANCIALLY RESPONSIBLE PARTY OR HIS AGENT IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS NEEDED SHALL BE MADE IMMEDIATELY.
- THE STONE SHALL BE REPLACED PROMPTLY AFTER ANY EVENT THAT HAS CLOGGED OR REMOVED IT.
- SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN DEPOSITS REACH HALF THE HEIGHT OF THE BARRIER. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OUTLET IS REMOVED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEED.

9 SILT FENCE OUTLET
C-4 CITY OF CHARLOTTE LAND DEVELOPMENT STANDARD 30.06C

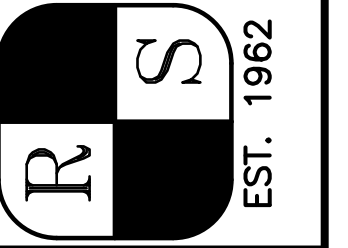
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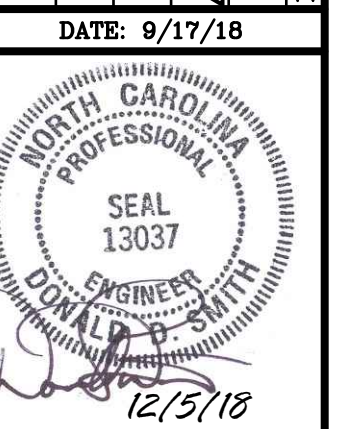
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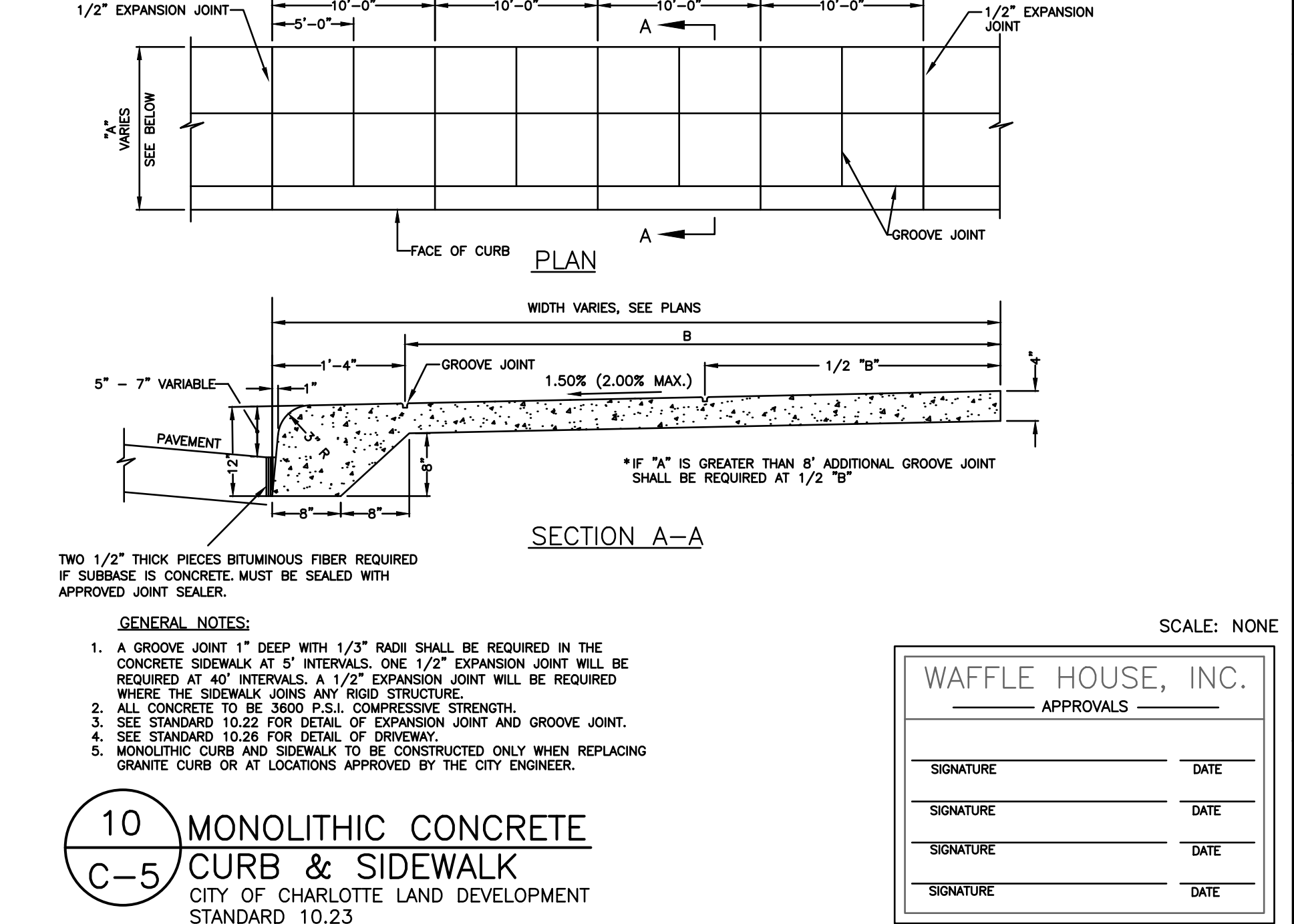
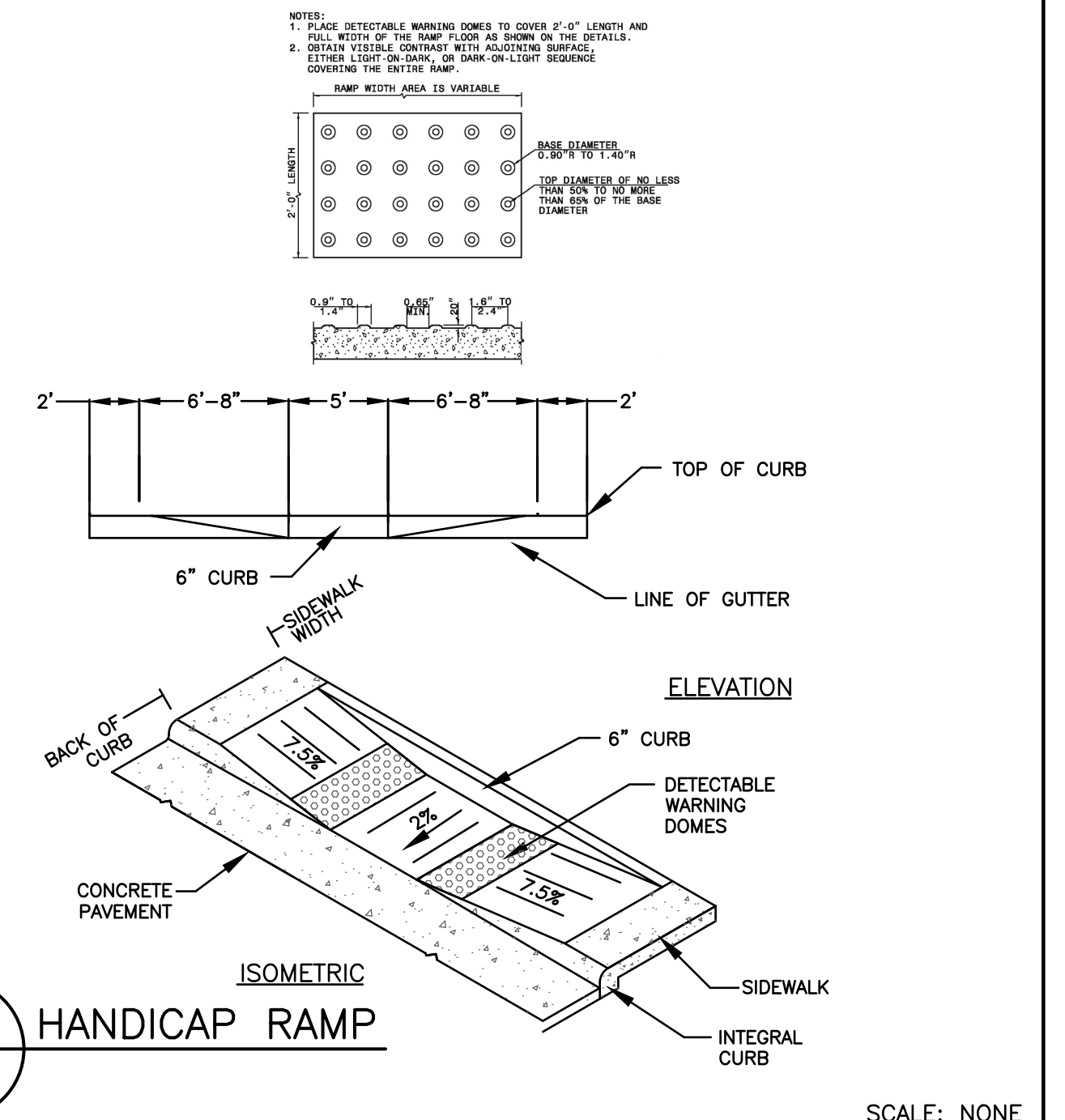
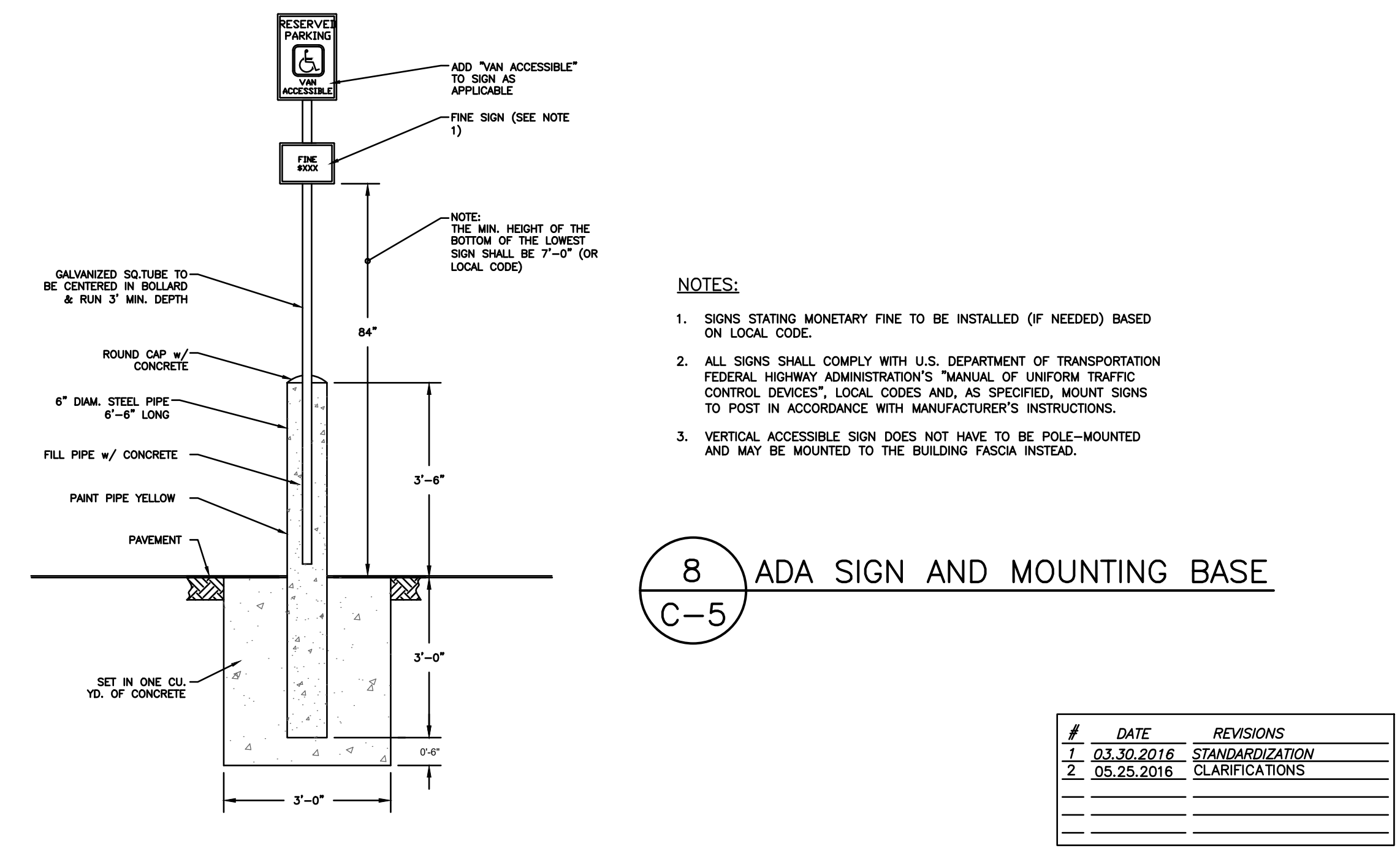
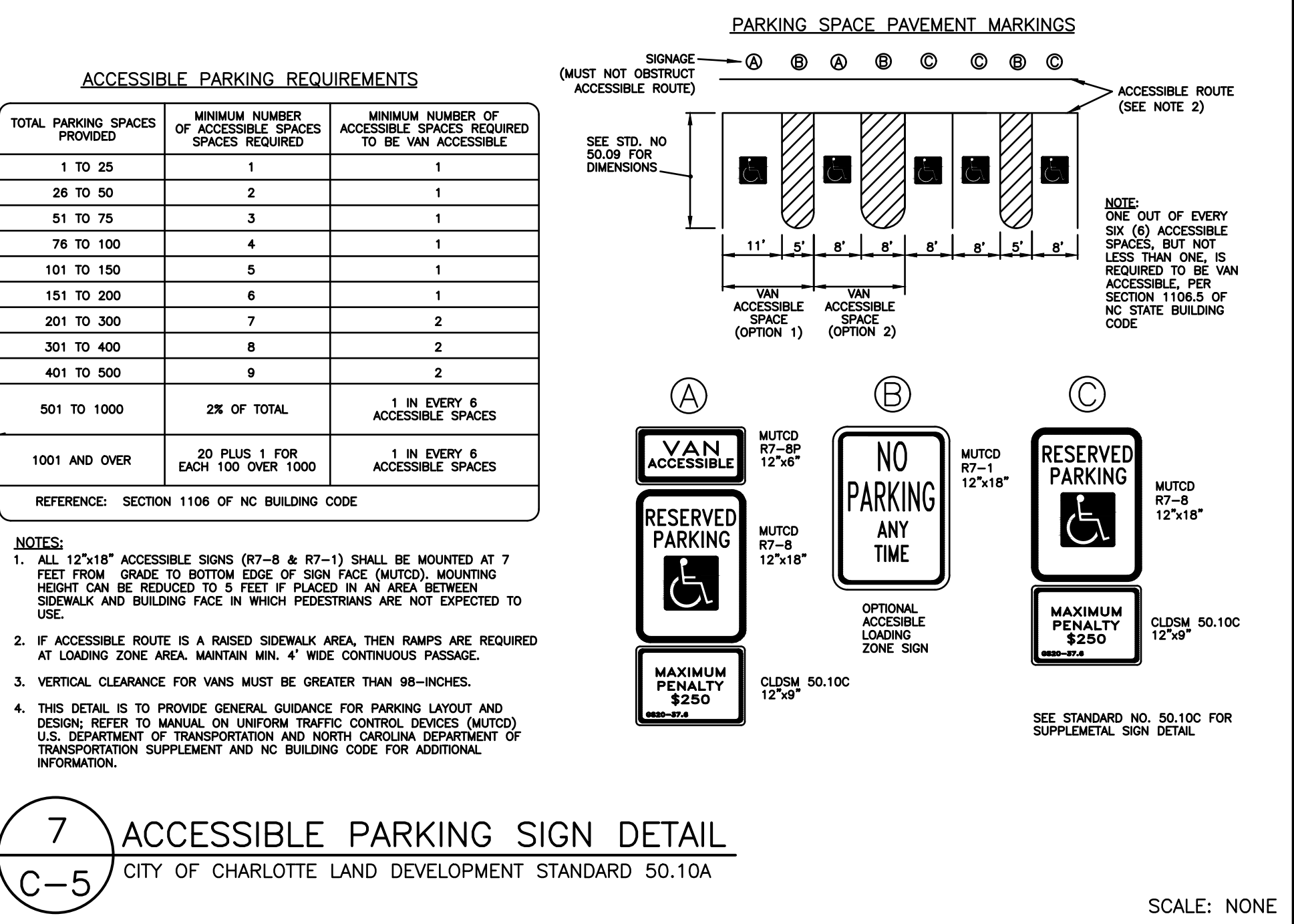
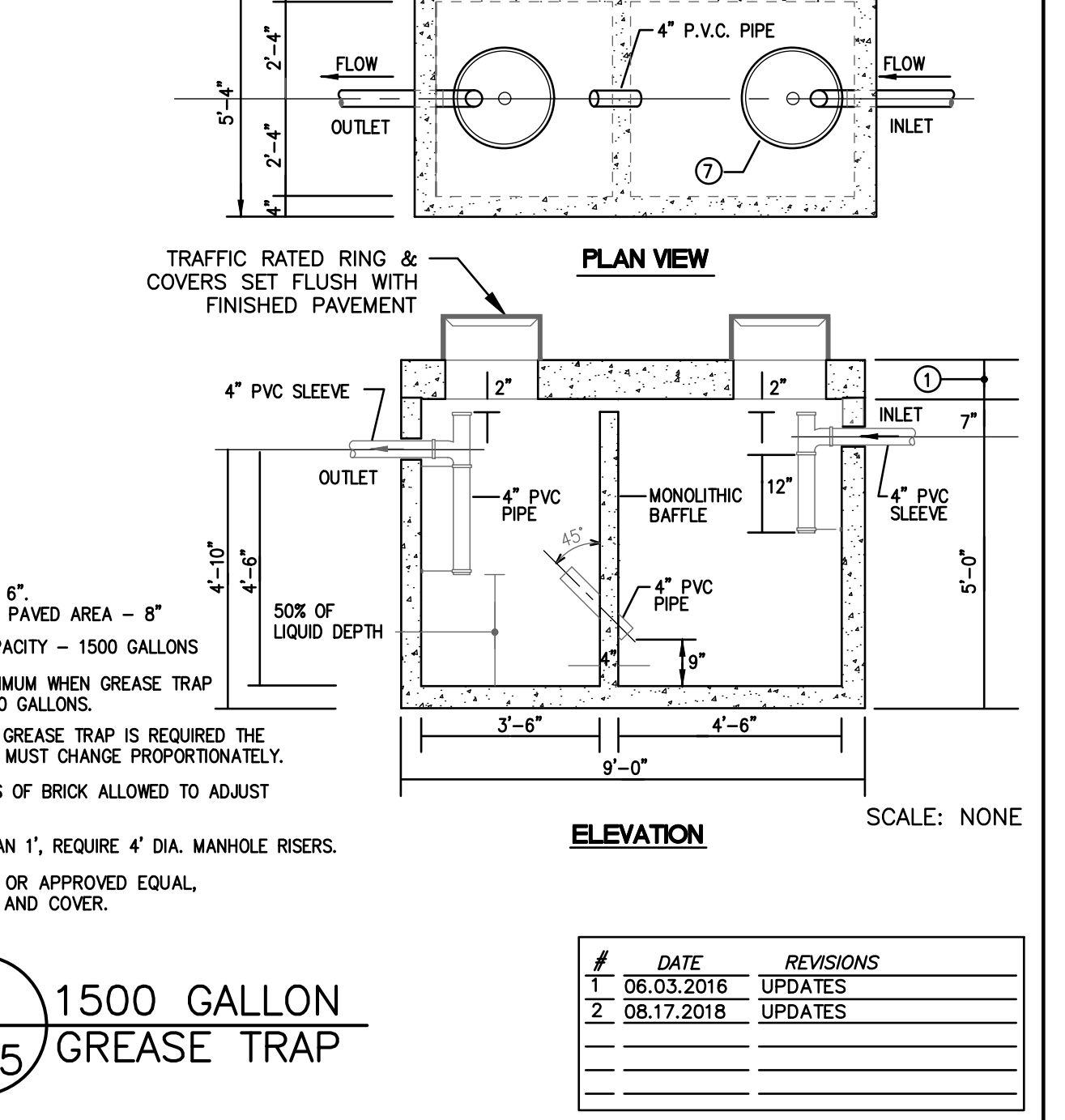
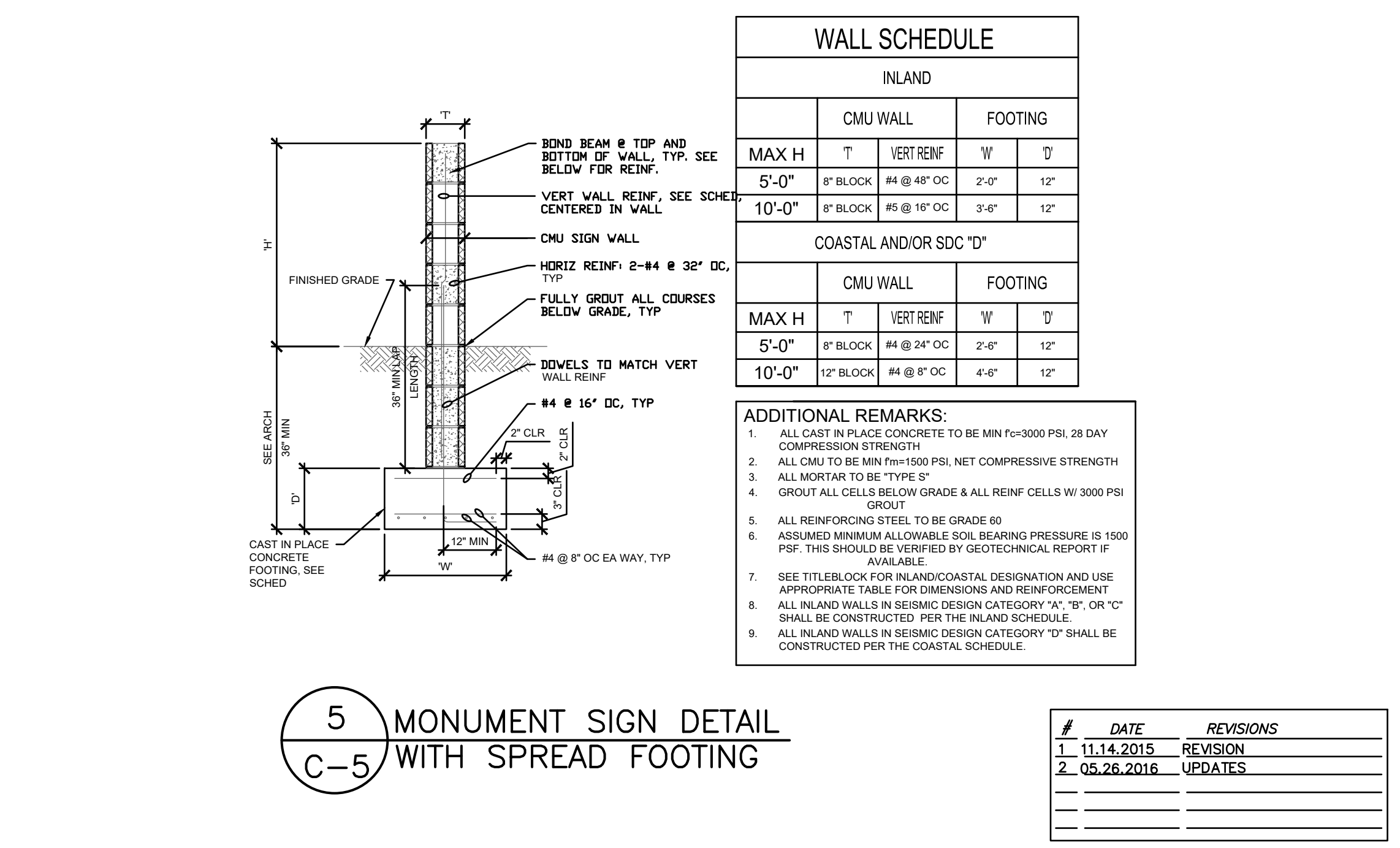
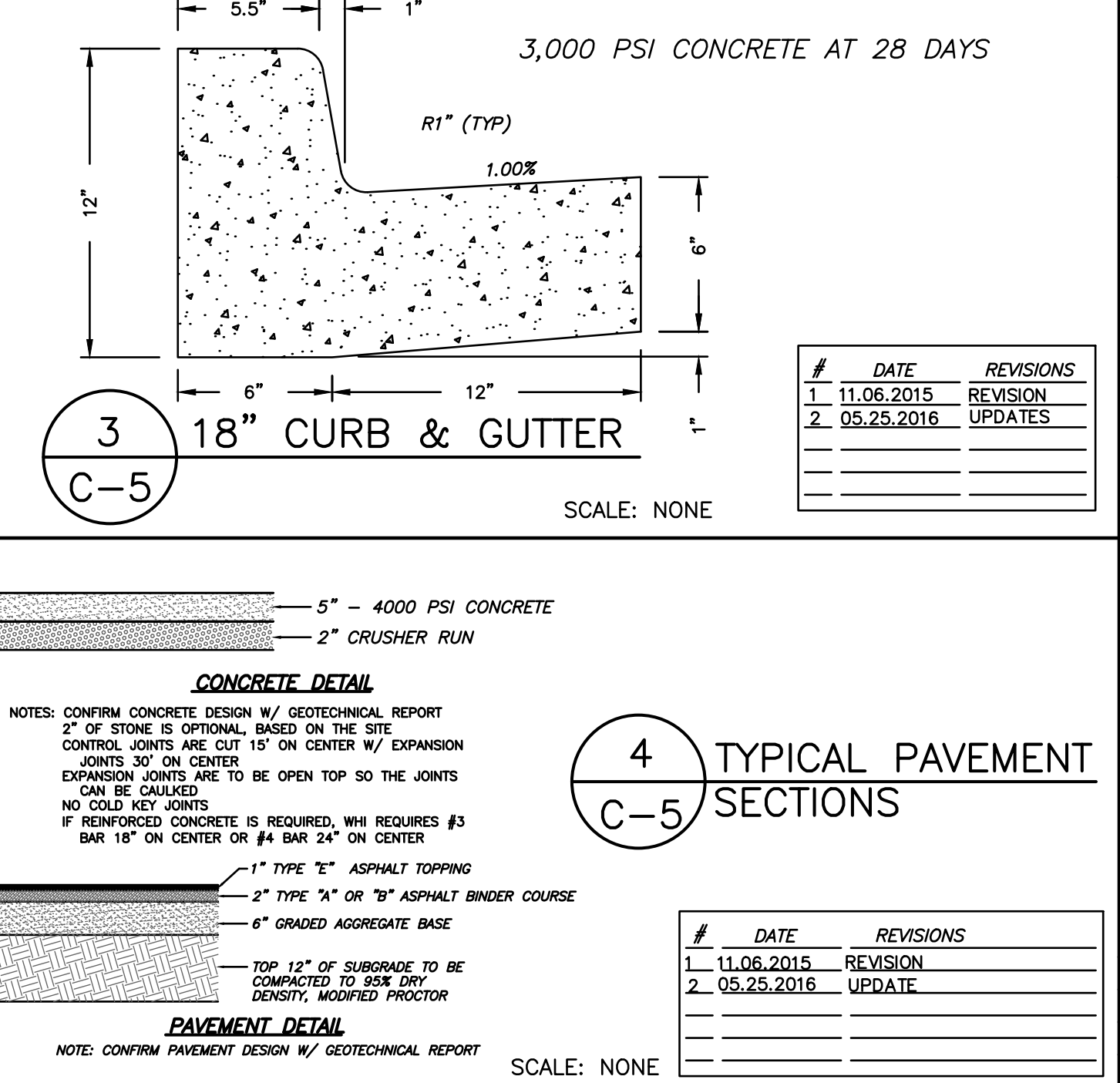
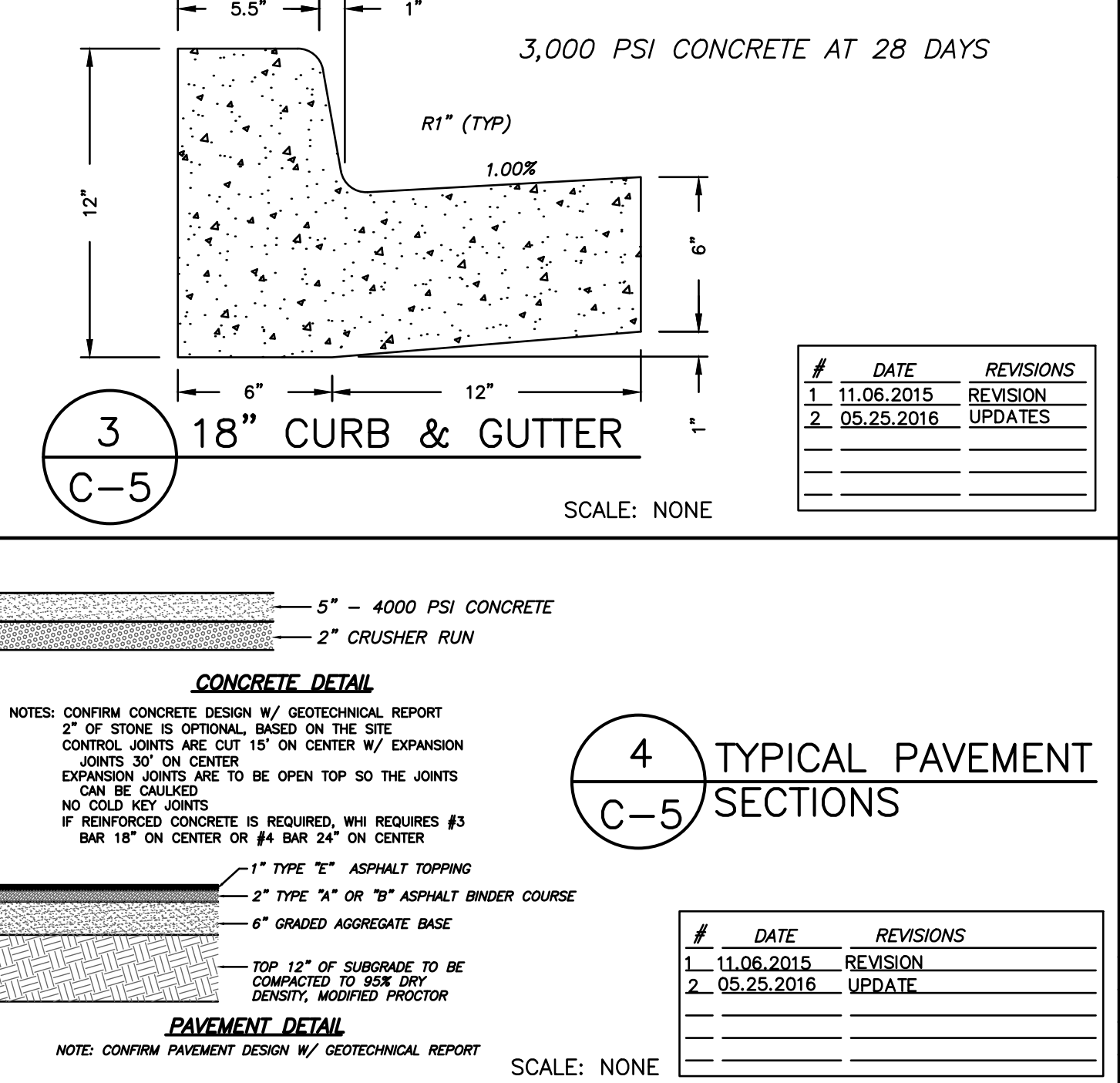
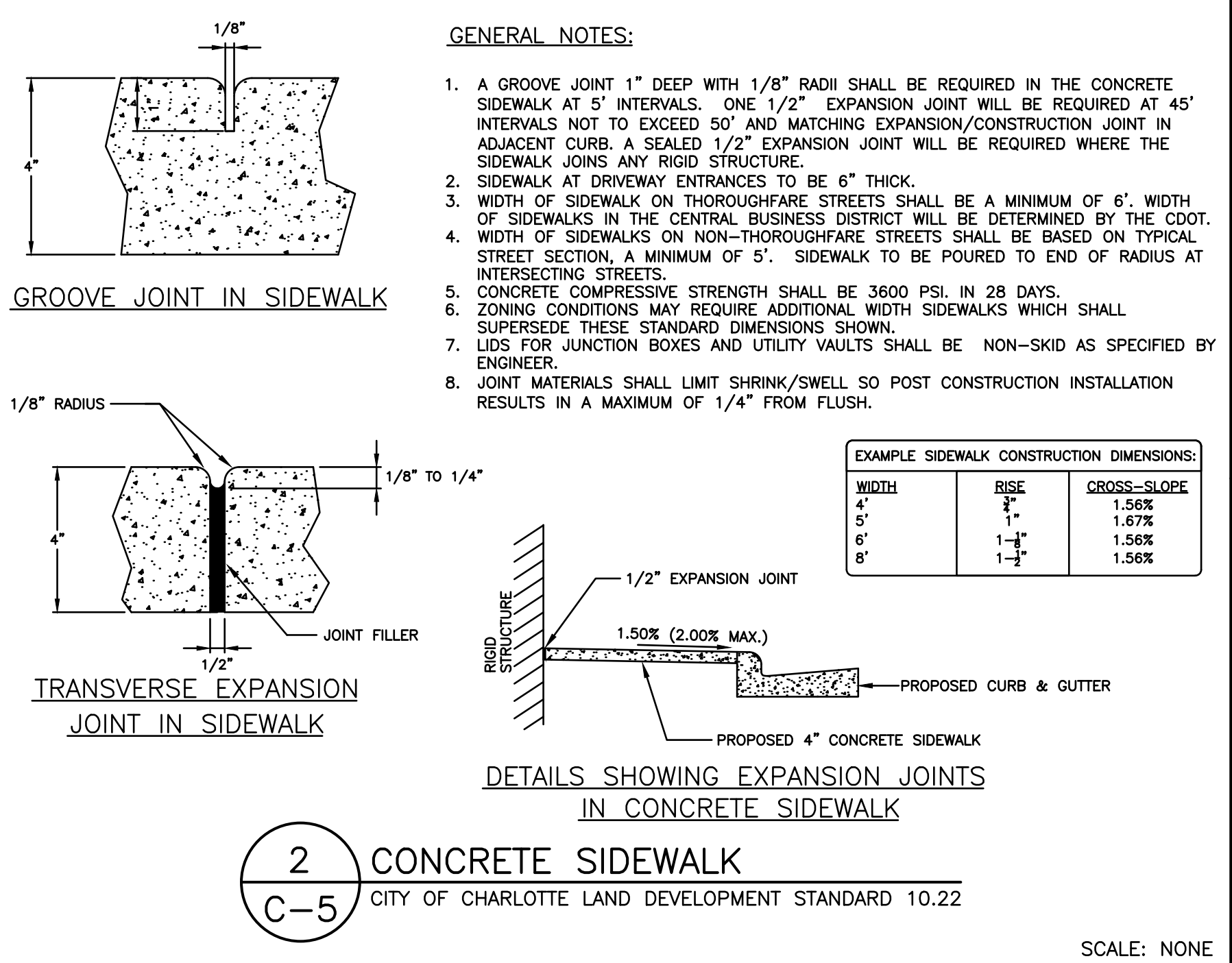
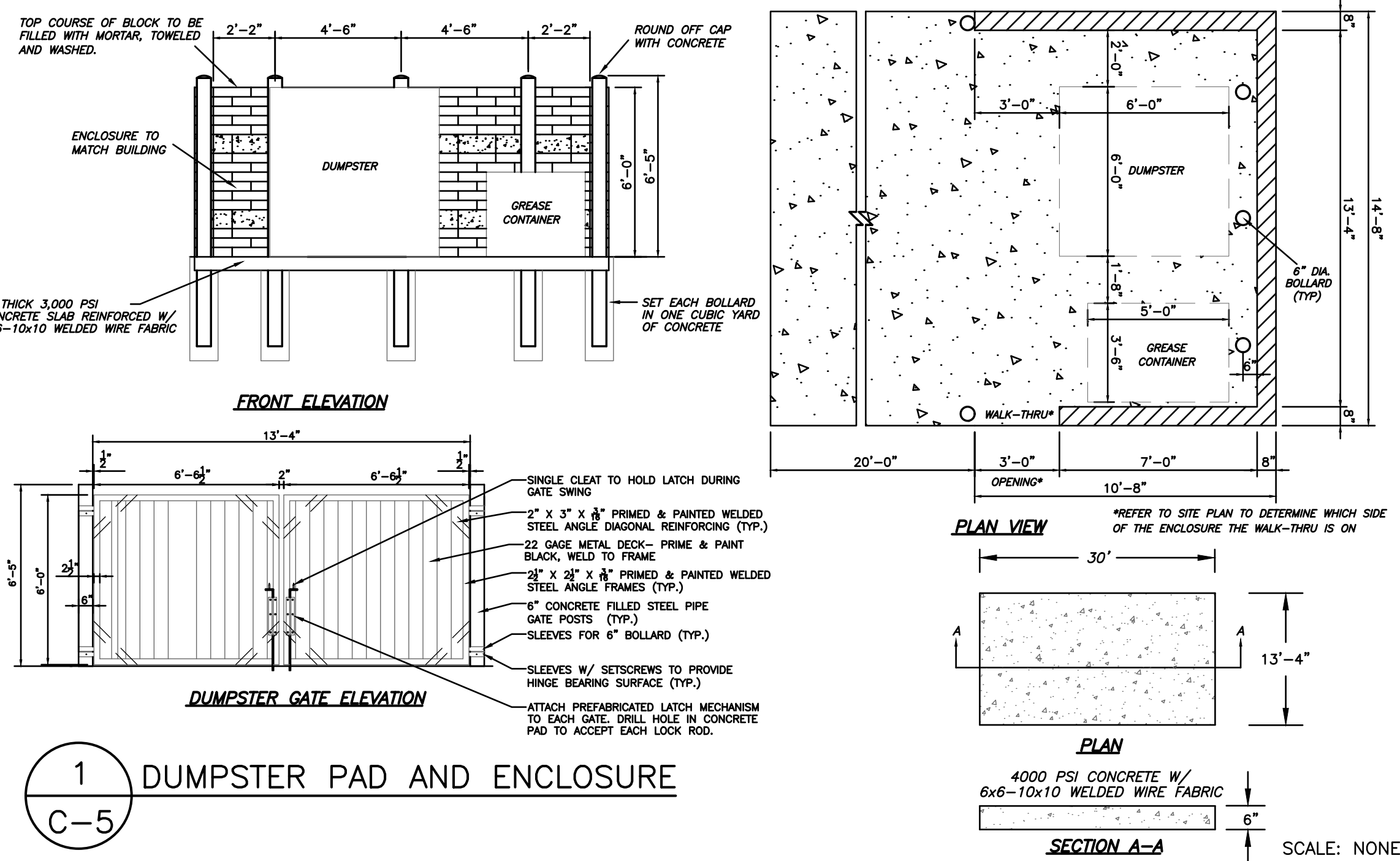
EST. 1962
PROJECT NO. 18015.01
FILE NO. 4568-B
SCALE: 1"=20'
DRAWN BY: MCV
CHECKED BY: DDS

WAFFLE HOUSE
ROZZELLE CROSSING SHOPPING CENTER
CHARLOTTE, NORTH CAROLINA
SITE DETAILS

REV	DATE	COMMENT
1	9/17/18	PERMITTING SET
2	12/15/18	REGULATORY COMMENTS



DATE: 9/17/18
SHEET NO. C-4
OF 7 SHEETS



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PROJECT NO. 18015.01
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WAFLE HOUSE SHOPPING CENTER
ROZZELLE CROSSING, NORTH CAROLINA
CHARLOTTE, NORTH CAROLINA

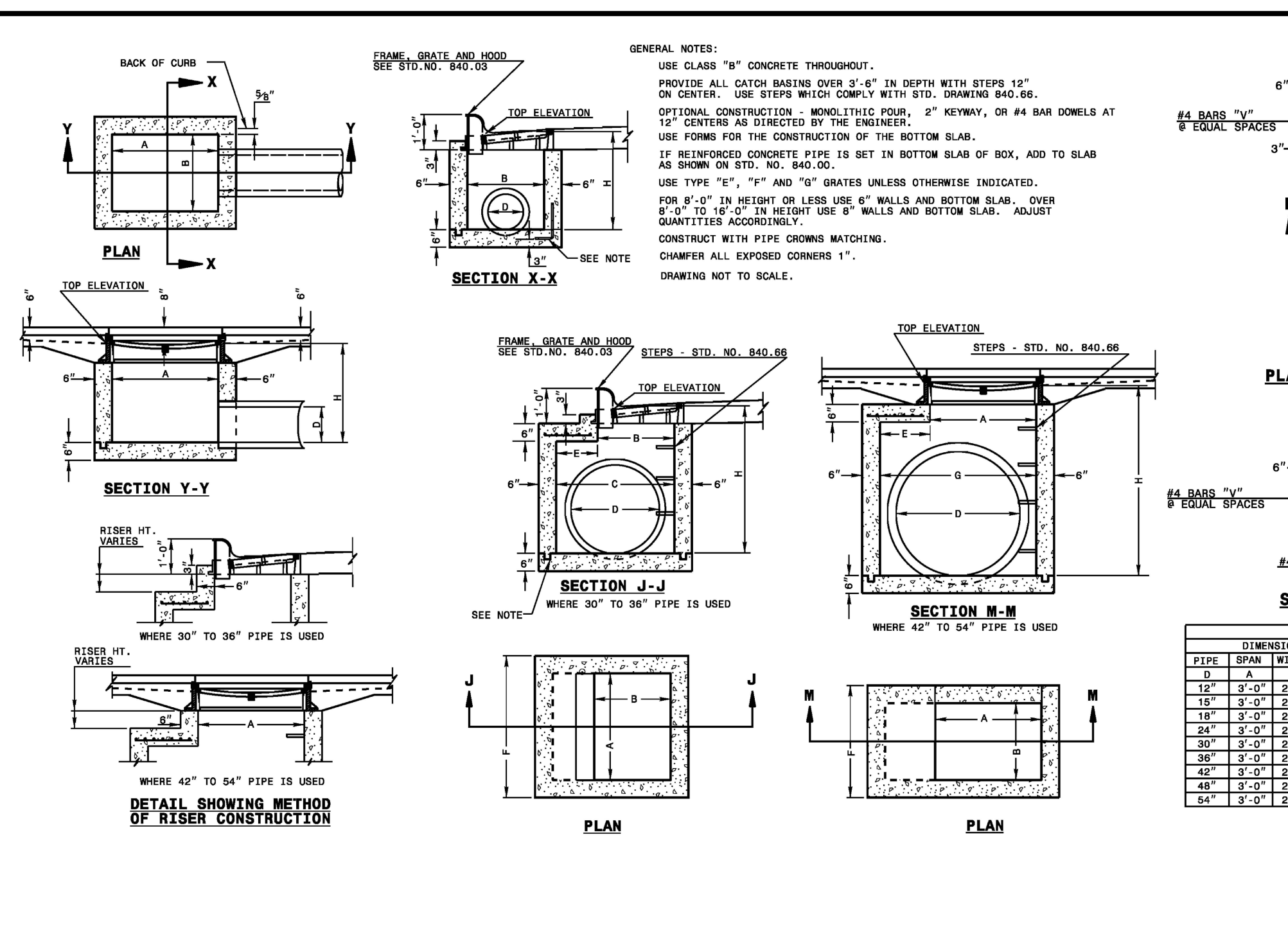
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REV	DATE	PERMITTING SET	COMMENT
9/17/18			

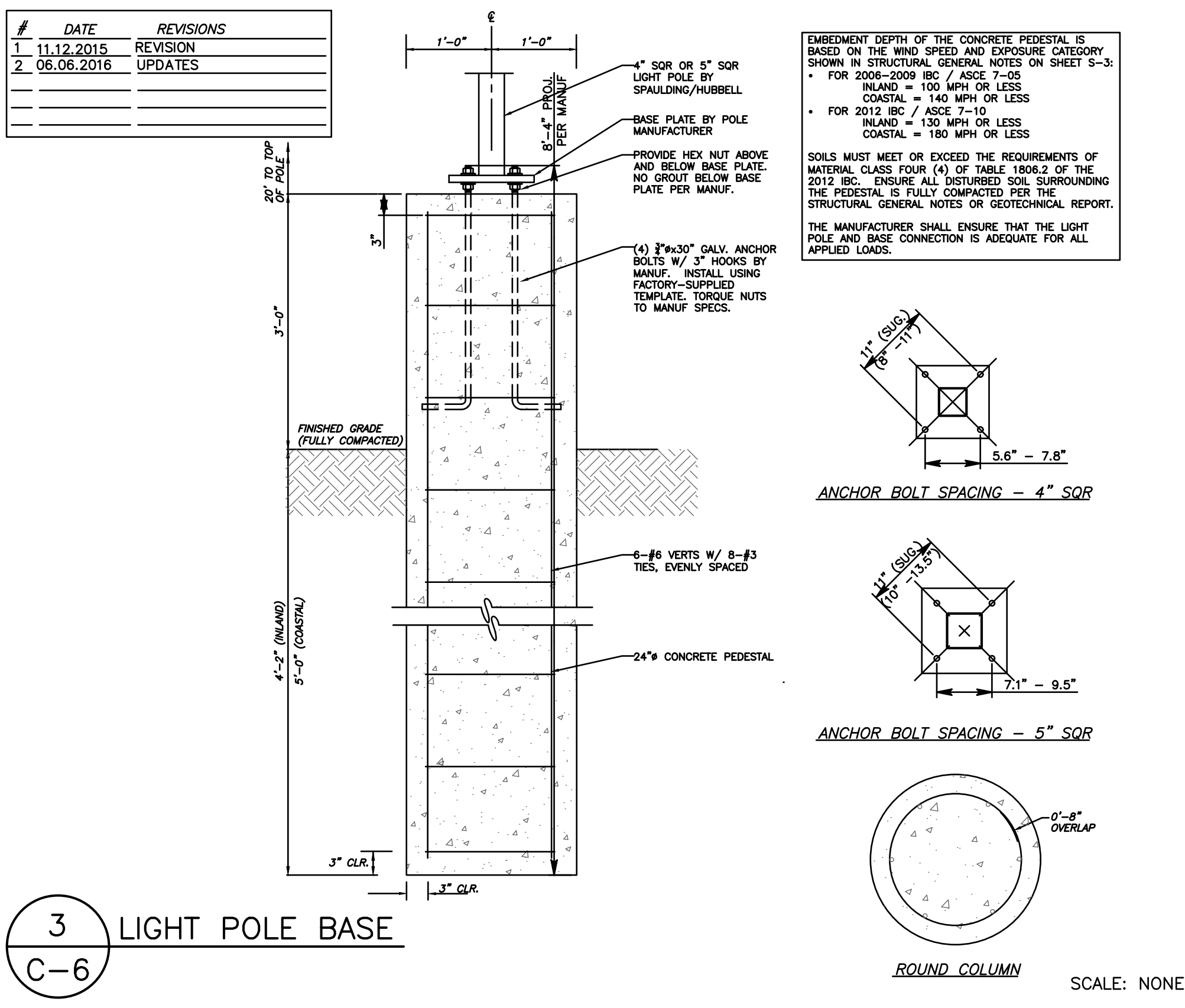
DATE: 9/17/18

SEAL 13037
NORTH CAROLINA PROFESSIONAL ENGINEER
DANIEL B. SMITH
9/17/18

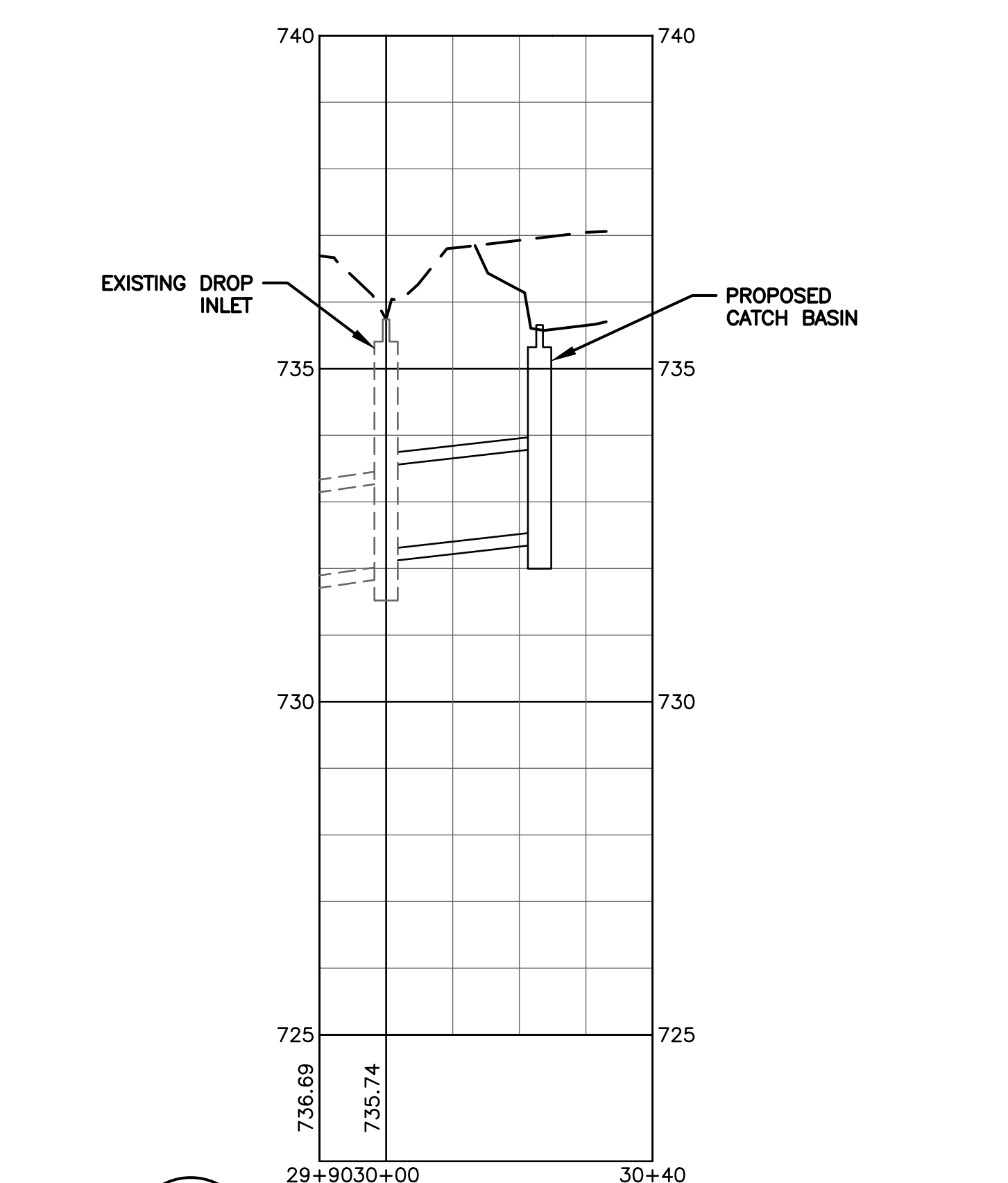
SHEET NO. **C-5**
OF 7 SHEETS



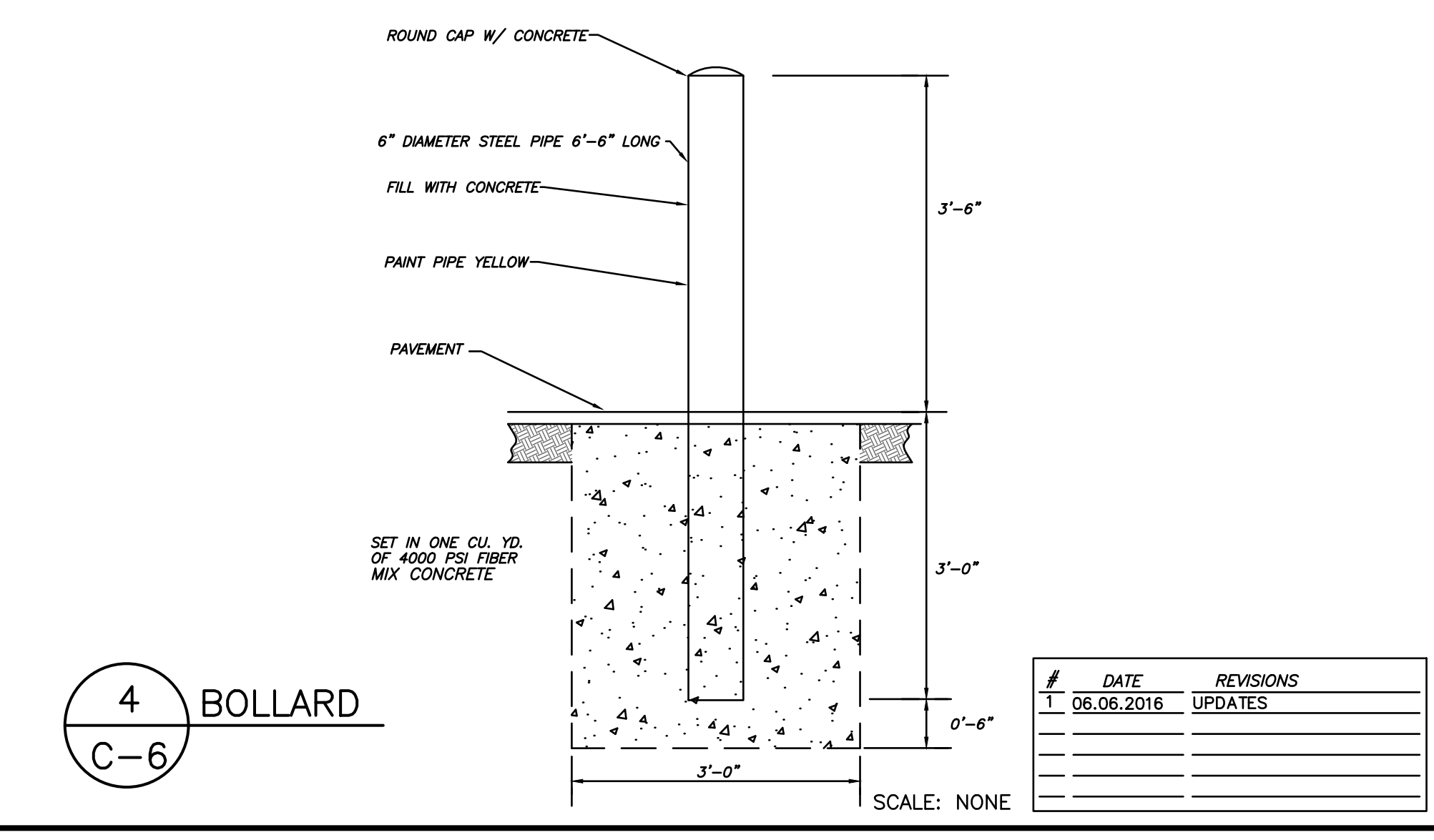
3 CATCH BASIN
C-6 NCDOT STD. DWG: 840.02



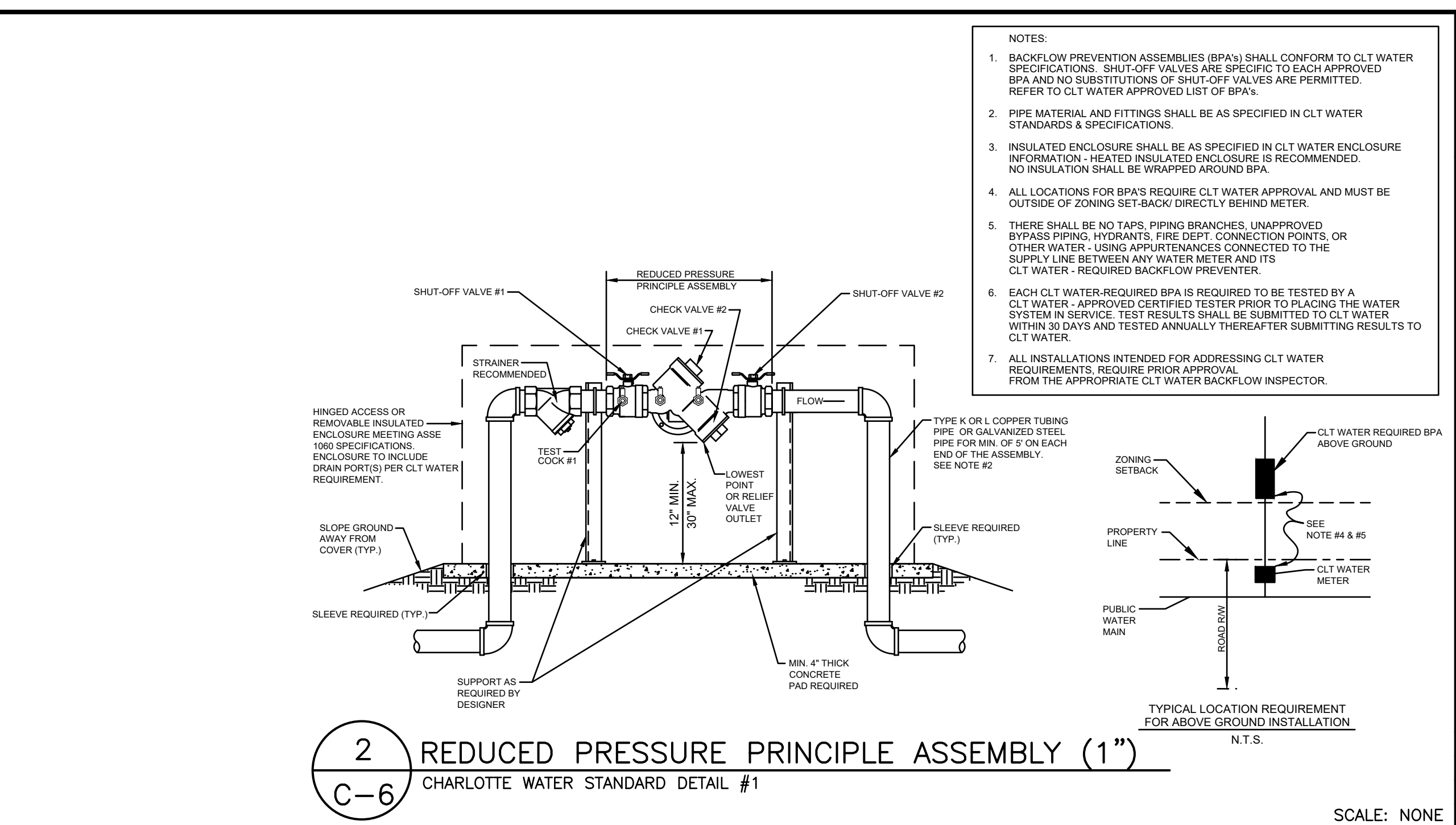
4 LIGHT POLE BASE
C-6



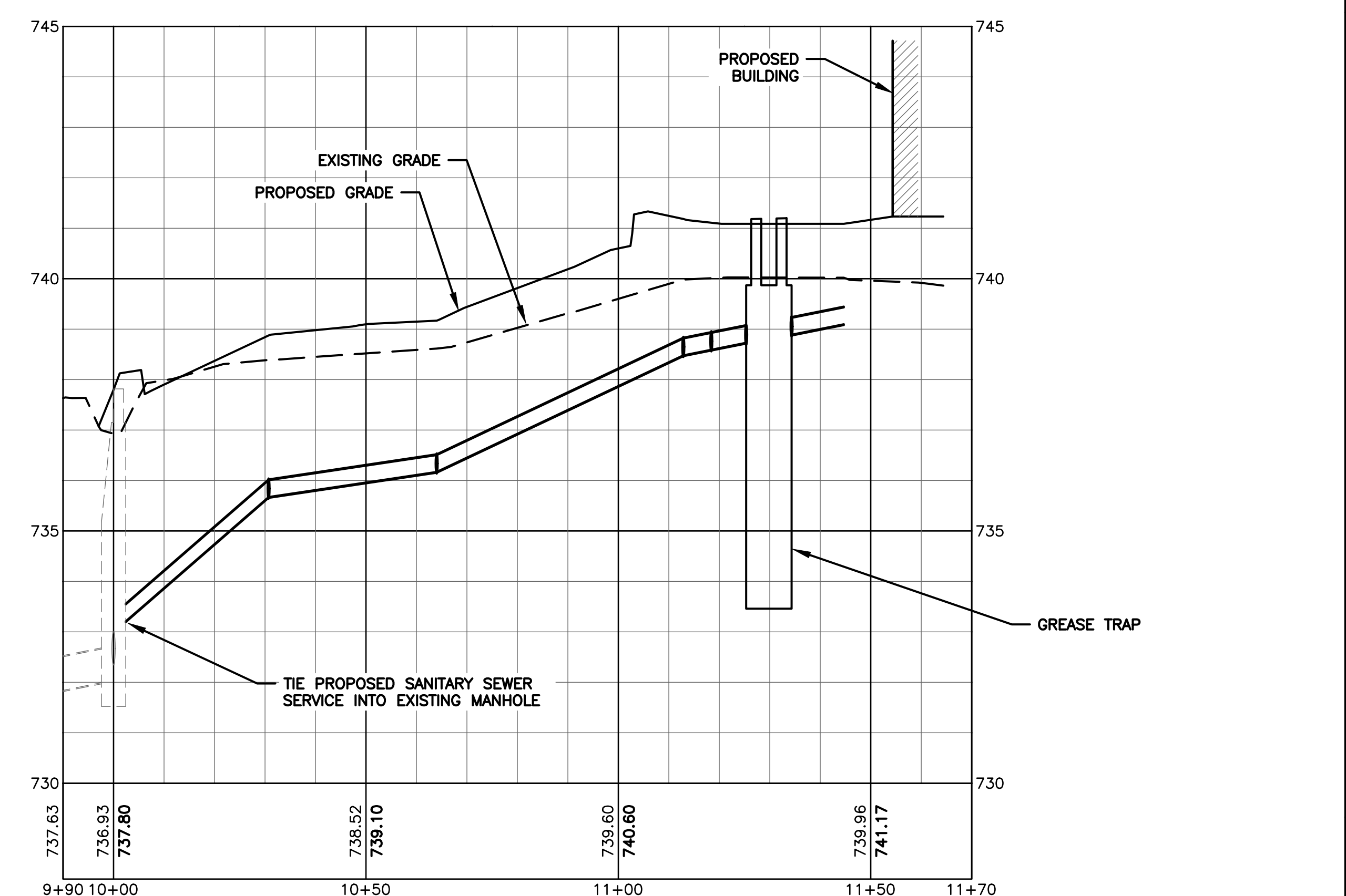
5 STORM DRAINAGE PROFILE
C-6 HOR: 1"=20', VERT: 1"=2'



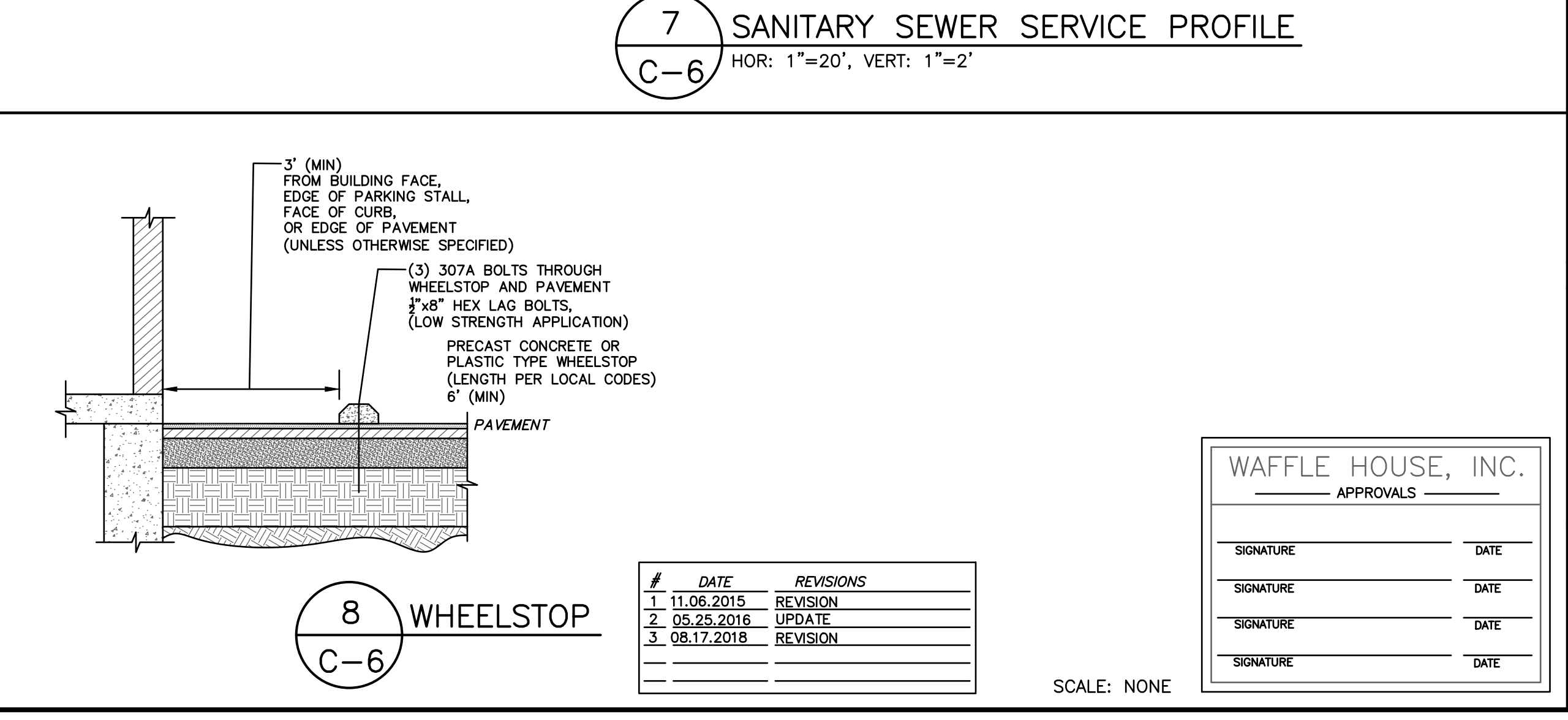
4 BOLLARD
C-6



2 REDUCED PRESSURE PRINCIPLE ASSEMBLY (1)
C-6 CHARLOTTE WATER STANDARD DETAIL #1



7 SANITARY SEWER SERVICE PROFILE
C-6 HOR: 1"=20', VERT: 1"=2'



8 WHEELSTOP
C-6

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WWW.ROBINSON-SAWYER.COM

PROJECT NO. 18015.01
FILE NO. 4568-B
SCALE: 1"=20'
DRAWN BY: MCV
CHECKED BY: DDS

WAFLE HOUSE, INC. APPROVALS

SIGNATURE DATE
SIGNATURE DATE
SIGNATURE DATE
SIGNATURE DATE

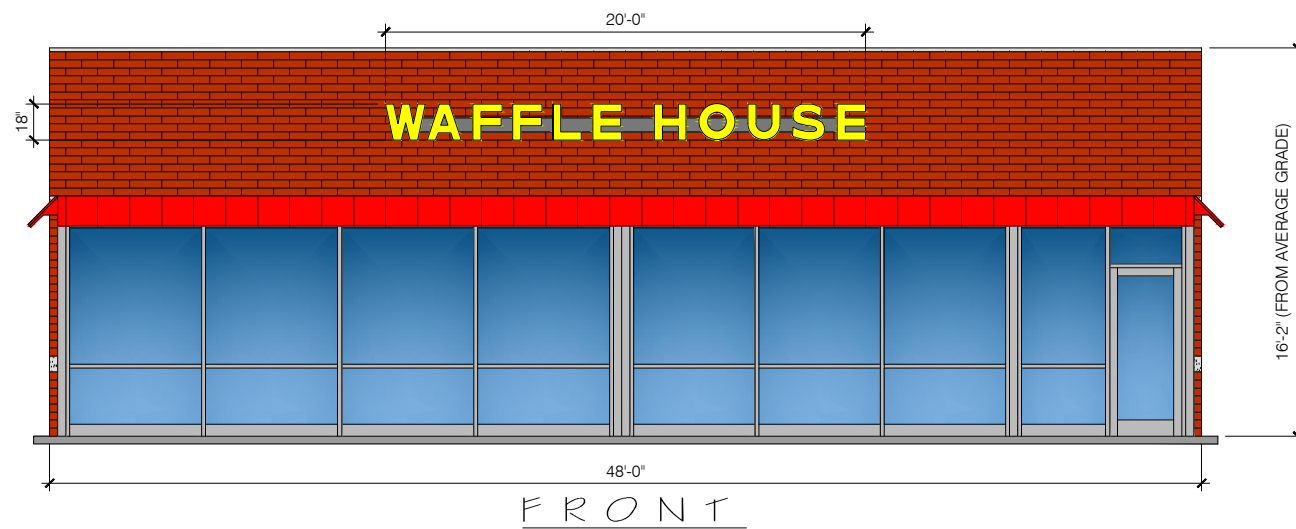
DATE: 9/17/18

REGULATORY COMMENTS
PERMITTING SET
DATE

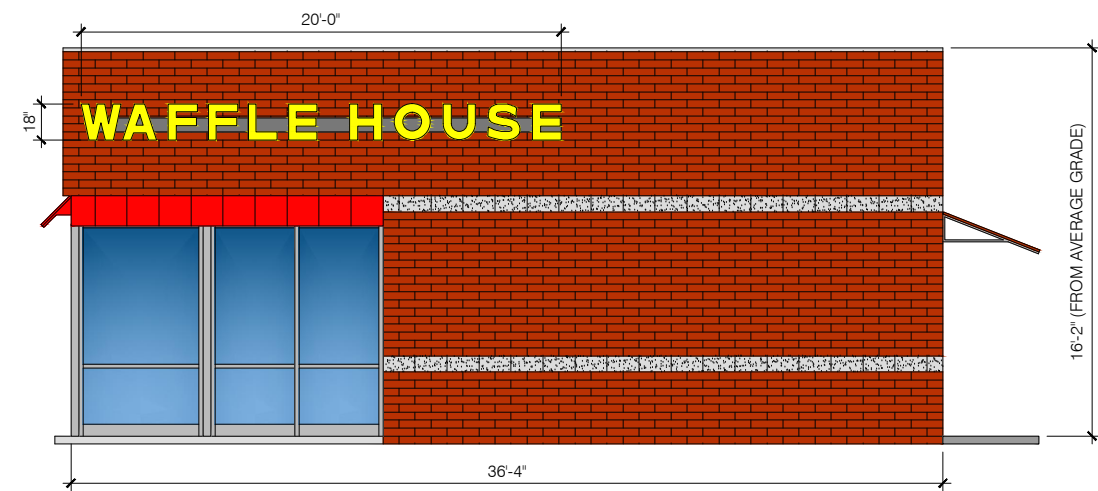
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SEAL 13037
12/15/18

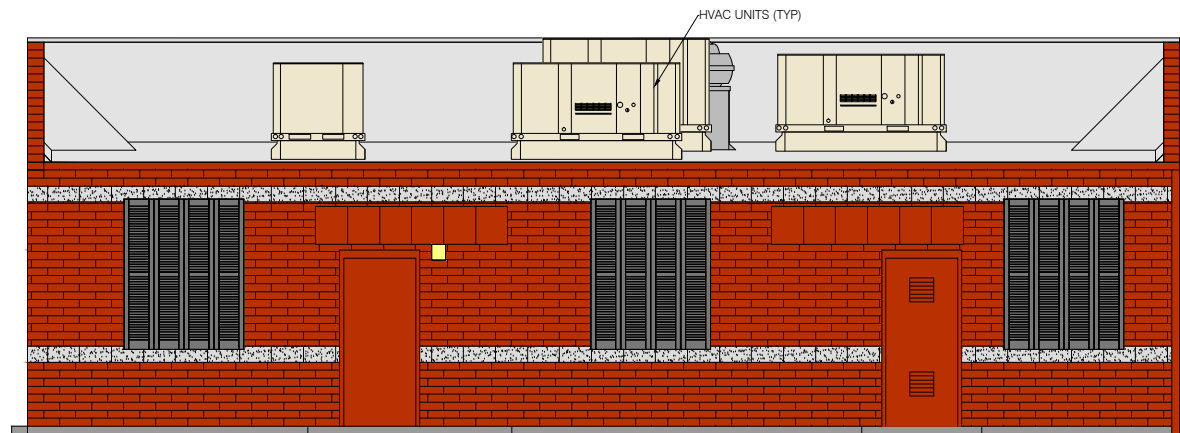
SHEET NO. C-6
OF 7 SHEETS



FRONT

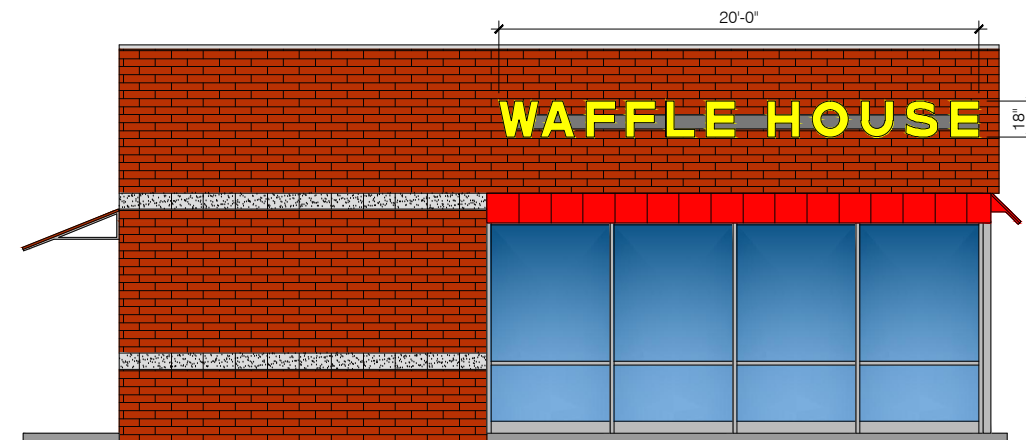


SIDE



REAR

NOTE: HVAC UNITS WILL BE SCREENED FROM THE PUBLIC RIGHT OF WAY LAWING SCHOOL ROAD



SIDE



PROPOSED WAFFLE HOUSE

MT. HOLLY HUNTERSVILLE RD.
CHARLOTTE, NC

LEFT HAND, MEDIUM PARAPET BUILDING
RED STANDING SEAM METAL AWNING
RICHFIELD BLEND QUIK-BRIK
W/ GRAY SPLIT-FACE BLOCK ACCENT BANDS & SHUTTERS
SCALE: 1/8"=1'-0"

Attached to Administrative

Approval

Solomon A. Fortune \$F
Solomon A. Fortune

NOVEMBER 29, 2018

MATERIALS CHART (FRONT FACADE)		
MATERIAL	SURFACE AREA SQ.FT.	PERCENT OF NET
RICHFIELD BLEND QUIK-BRIK	302	39%
GRAY SPLIT-FACE CMU	1	1%
GLAZING	415	53%
METAL DOORS	0	0%
AWNING	60	8%
SIGNAGE	30	4%
FACADE (GROSS OF WALL)	778	

MATERIALS CHART (SIDE FACADE)		
MATERIAL	SURFACE AREA SQ.FT.	PERCENT OF NET
RICHFIELD BLEND QUIK-BRIK	437	73%
GRAY SPLIT-FACE CMU	32	5%
GLAZING	114	19%
METAL DOORS	0	0%
AWNING	17	3%
SIGNAGE	30	5%
FACADE (GROSS OF WALL)	600	

MATERIALS CHART (REAR FACADE)		
MATERIAL	SURFACE AREA SQ.FT.	PERCENT OF NET
RICHFIELD BLEND QUIK-BRIK	414	75%
GRAY SPLIT-FACE CMU	60	11%
GLAZING	0	0%
METAL DOORS	49	9%
AWNING	26	5%
SIGNAGE	30	5%
FACADE (GROSS OF WALL)	549	

MATERIALS CHART (SIDE FACADE)		
MATERIAL	SURFACE AREA SQ.FT.	PERCENT OF NET
RICHFIELD BLEND QUIK-BRIK	365	61%
GRAY SPLIT-FACE CMU	21	4%
GLAZING	184	31%
METAL DOORS	0	0%
AWNING	27	5%
SIGNAGE	30	5%
FACADE (GROSS OF WALL)	597	

Attached to Administrative
Approval

Solomon A. Fortune \$F
Solomon A. Fortune

PROPOSED WAFFLE HOUSE

MT. HOLLY HUNTERSVILLE RD.
CHARLOTTE, NC

LEFT HAND, MEDIUM PARAPET BUILDING
RED STANDING SEAM METAL AWNING
RICHFIELD BLEND QUIK-BRIK
W/ GRAY SPLIT-FACE BLOCK ACCENT BANDS
SCALE: 1/8"=1'-0"

AUGUST 28, 2018

