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Management Company

City of Charlotte – Planning Dept. Scanning Rezoning Files

Petition # _____

Document type:

- Applications
- Correspondence
- Department Comments
- Land Use Consistency
 - Mail Info
 - Mapping
 - Other
- Site Plans



* 0 0 B R E A K 0 0 *

Petition #: 2000-163

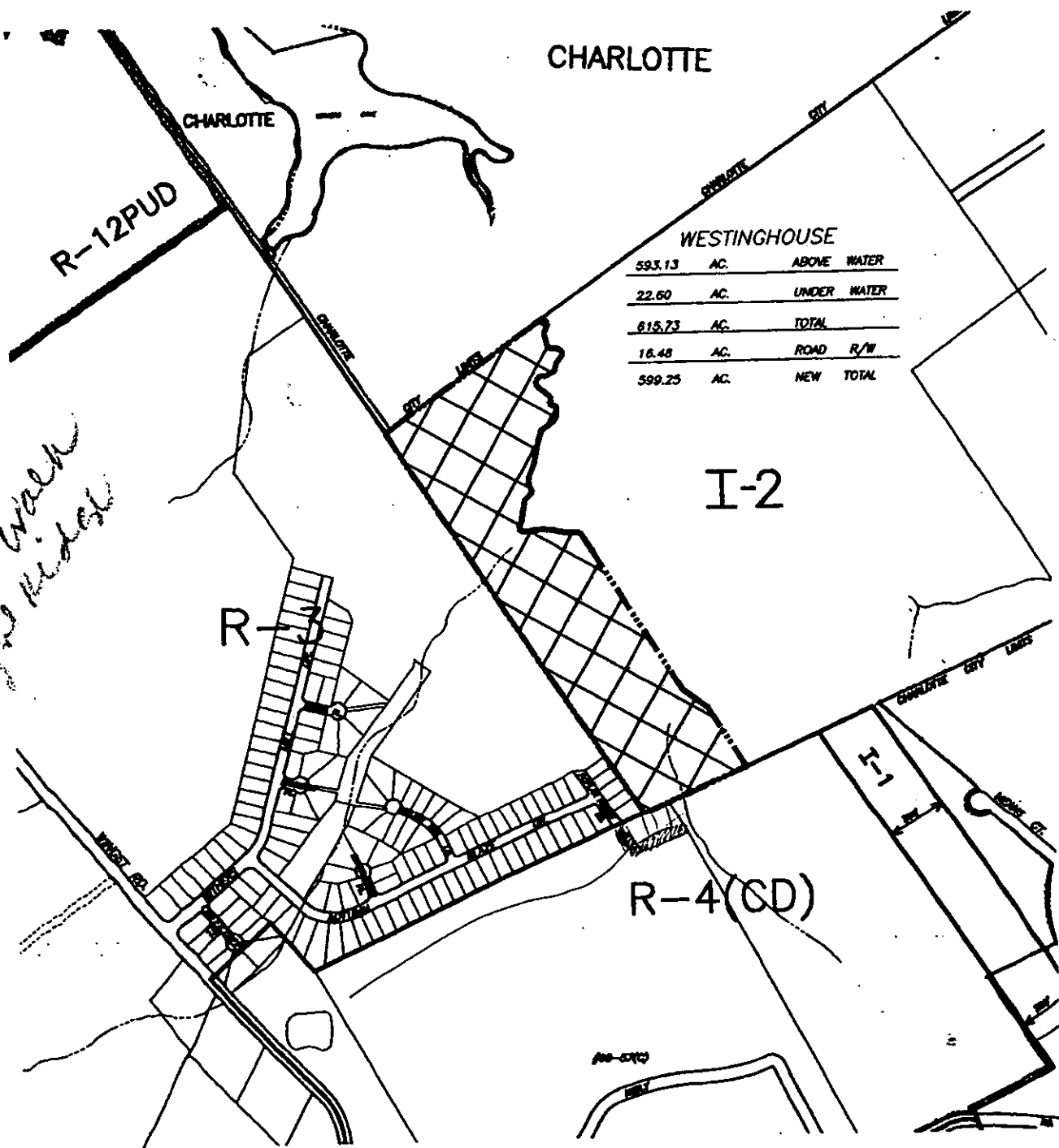
Petitioner: Crosland Land Company

Hearing Date: December 18, 2000

Classification (Existing): I-2

Zoning Classification (Requested): R-5

Location: Approximately 31 acres located east of Winget Road and Autumn Blaze Drive, north of Neely Road.



*Planters Walk
Way to Ridge*

Zoning Map #(s): 151

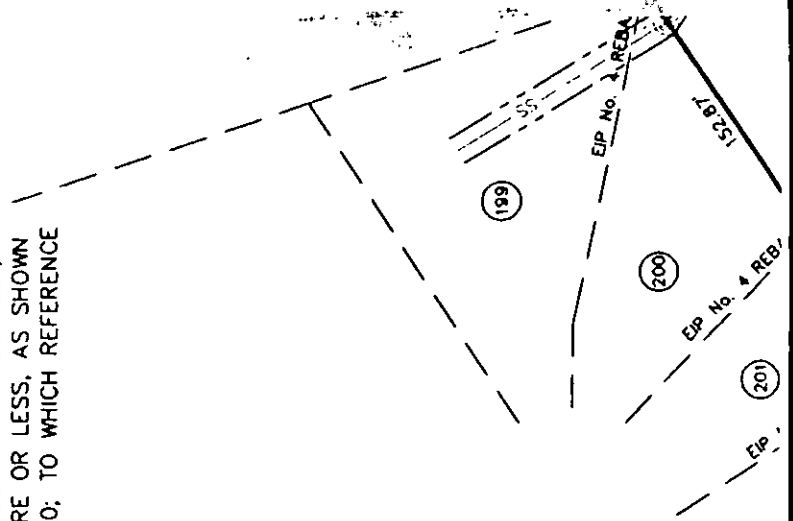
Scale: No Scale

199 63317

LEGAL DESCRIPTION

LYING AND BEING IN THE STEELE CREEK TOWNSHIP, MECKLENBURG COUNTY, N.C. BEGINNING AT AN EXISTING #4 REBAR. SAID REBAR BEING A CORNER OF SIEMENS REAL ESTATE INC. (DB. 9880 PG. 604) AND THE CROSLAND GROUP, INC. (DB. 8502 PG. 916). SAID #4 REBAR BEING LOCATED S 32°55'40" E 196.17 FEET FROM AN EXISTING #4 REBAR. THENCE WITH THE EASTERLY LINE OF SIEMENS REAL ESTATE INC. N 55°24'40" E 1000.40 FEET (PASSING A NEW #4 REBAR AT 950.40 FEET) TO A POINT IN THE CENTERLINE OF A CREEK. THENCE WITH THE CENTERLINE OF SAID CREEK THE FOLLOWING THIRTY ONE (31) CALLS:

(1) S 34°35'20" E 16.38 FEET; (2) S 16°56'48" W 63.73 FEET; (3) S 16°01'13" E 63.53 FEET; (4) S 84°17'35" E 63.80 FEET; (5) S 25°41'10" E 29.00 FEET; (6) S 34°50'54" W 55.80 FEET; (7) S 17°39'30" W 39.08 FEET; (8) S 58°40'29" W 46.65 FEET; (9) S 88°46'21" W 32.66 FEET; (10) S 47°43'48" W 30.72 FEET; (11) S 08°45'58" E 29.65 FEET; (12) S 51°13'35" E 71.53 FEET; (13) S 29°37'04" E 28.68 FEET; (14) S 29°15'13" W 26.97 FEET; (15) S 69°58'11" E 44.52 FEET; (16) S 06°44'22" W 55.79 FEET; (17) S 40°35'55" W 36.99 FEET; (18) S 55°27'48" W 63.83 FEET; (19) S 16°30'42" W 48.47 FEET; (20) S 12°48'43" W 109.76 FEET; (21) S 21°21'23" W 85.46 FEET; (22) S 03°54'28" W 34.41 FEET; (23) S 22°33'46" E 47.02 FEET; (24) S 45°11'06" W 56.44 FEET; (25) S 09°26'54" W 101.12 FEET; (26) S 20°50'14" W 40.23 FEET; (27) S 51°35'30" E 26.53 FEET; (28) N 84°40'45" E 102.83 FEET; (29) S 87°50'43" E 43.35 FEET; (30) S 76°06'24" E 75.93 FEET; (31) N 88°55'49" E 65.18 FEET TO A POINT; THENCE LEAVING SAID CREEK S 32°13'41" E 939.97 FEET (PASSING A NEW #4 REBAR AT 100.00 FEET) TO A NEW #4 REBAR. THENCE S 54°47'30" E 142.13 FEET TO A NEW #4 REBAR. THENCE S 32°48'55" E 363.39 FEET TO A NEW #4 REBAR. SAID #4 REBAR BEING A POINT OF POSSIBLE DISCREPANCY AS PER DB. 10462 PG. 199. THENCE S 65°00'27" W 556.64 FEET TO A NEW #4 REBAR. SAID POINT BEING A POINT OF POSSIBLE DISCREPANCY THENCE N 33°34'06" W 2110.10 FEET TO AN EXISTING CONCRETE MONUMENT WITH AN IRON PIN. THENCE LEAVING SAID CONCRETE MONUMENT N 35°17'57" W 195.16 FEET (PASSING AN EXISTING #4 REBAR AT 41.29 FEET, 111.27 FEET, AND 181.28 FEET) TO THE POINT AND PLACE OF BEGINNING. CONTAINING 30.845 ACRES, MORE OR LESS, AS SHOWN ON MAP TITLED "BOUNDARY SURVEY OF: QUEENS PROPERTIES, INC." DATED 9-22-00; JOB No. CPI008.000; TO WHICH REFERENCE IS HEREBY MADE FOR A MORE COMPLETE DESCRIPTION.



WITHERS GROVE
PHASE 2 MAP 5