

CHARLOTTE - MECKLENBURG
PLANNING COMMISSION

INTER - OFFICE COMMUNICATION

DATE: November 28, 2001

TO: Robert Brandon
Zoning Administrator

FROM: Martin R. Cramton, Jr.
Planning Director

SUBJECT: Administrative Approval for Petition No. 2001-03(c) by Crosland Commercial.

Attached is a revised technical data sheet for the above petition. The plan has been revised to allow the buildings on tracts 1 and 3 to be constructed of cedar shake materials. The Zoning Committee of the Planning Commission approved this plan at its November 28th meeting. This plan is consistent with the requirements of the conditional rezoning and the Zoning Committee has approved this plan. Please use this plan when evaluating requests for building permits and certificates of occupancy. Please replace sheet 1 of 3 from the original approval.

Development Summary

• **TRACT I**
 Total Site Area: 9.87 AC.
 Existing Zoning: R-3
 Proposed Zoning: NS
 Proposed Maximum Square Footage: 70,000 SF

• **TRACT II**
 Total Site Area: 46.64 AC.
 Existing Zoning: R-3
 Proposed Zoning: MX-2
 No. of Units: UPTO 229 UNITS
 Required Open Space: 4.66 AC
 Provided Open Space: 8.0 AC MIN.

• **TRACT III**
 Total Site Area: 3.00 AC.
 Existing Zoning: R-3
 Proposed Zoning: O-1 CD
 Proposed Maximum Square Footage: 30,000 SF

DEVELOPMENT STANDARDS
 Petition No. 2001-003(c)
 As Modified May 31, 2001

Unless more stringent standards are established by this Technical Data Sheet or these Development Standards, all development standards established under the Mecklenburg County Zoning Ordinance (the "Ordinance") for the NS zoning district classification shall be followed in connection with development taking place on Tract I of the Site. All development standards established under the Ordinance for the MX-2 Innovative zoning district classification shall be followed in connection with development taking place on Tract II of the Site and all development standards established under the Ordinance for the O-1 zoning district classification shall be followed in connection with development taking place on Tract III of the Site. The configurations, placements and sizes of the buildings outlined on the Schematic Site Plans accompanying this Rezoning Petition are schematic in nature and subject only to the provisions set forth below under Architectural Controls, may be altered or modified during design development and construction document phases within the maximum building envelope lines established on this Technical Data Sheet. Parking and street layouts may also be modified to accommodate final building locations.

PERMITTED USES

Tract I may be devoted only to the following NS uses:

- General office
- Financial institution
- Si-dine type restaurants with no drive through facilities
- Bakeries
- Florist, retail
- Barber/beauty salon
- Dry cleaner - drop off only
- Medical, dental and optical clinics and offices
- Retail jewelry stores

- A mailbox or kinko's type operation
- Automotive service stations
- Post Office
- Retail establishments
- Universities, colleges and junior colleges
- Government buildings
- Child care centers
- Vocational schools
- Dwellings, detached, duplex, triplex or quadplex
- Dwellings, multi-family and attached up to 12 units in a building

The gross floor area of all buildings constructed within Tract I may not exceed, in the aggregate, 70,000 square feet.

TRACT II

- That portion of Tract II designated as the "Historic Landmark Parcel" contains an existing farmhouse that may be devoted to general office use, provided, however, that hotel and motel uses shall not be permitted within Tract II. The gross floor area of all buildings constructed within Tract II may not exceed, in the aggregate, 30,000 square feet.
- That portion of Tract II that is not located within the Historic Landmark Parcel may be devoted to a maximum of 223 for sale single family dwelling units together with any incidental or accessory structures permitted in the MX-2 Innovative zoning district. Up to 171 of these dwelling units may be for sale single family attached dwelling units.
- All single family dwelling units located within the Mountain Island Lake Watershed Overlay District Critical Area will be single family detached dwelling units, and the remaining portion of Tract II that is not located within the Historic Landmark Parcel may contain a mixture of detached and attached single family dwelling units. Only single family detached dwelling units will be located within the building envelope limited to such use on the Technical Data Sheet. Either single family detached or attached dwelling units may be located within the building envelope designated for such use on the Technical Data Sheet.

Tract III may be devoted to any use allowed by right or under prescribed conditions in the O-1 zoning district, including, without limitation, residential uses, provided, however, that hotel and motel uses shall not be permitted within Tract III. The gross floor area of all buildings constructed within Tract III may not exceed, in the aggregate, 30,000 square feet.

BUFFERS AND OPEN SPACE

- All buffer areas required by the Ordinance shall conform to the standards of Section 12.302 of the Ordinance; subject, however, to the provisions of Section 12.304 thereof.
- As more particularly depicted on the Technical Data Sheet and the Schematic Site Plan for Tract II, the exterior 75 feet of the 100 foot common open space located along the northern boundary line of Tract II will remain an undisturbed buffer, provided, however, that Petitioner may install and locate utility lines that portion of this 75 foot undisturbed buffer that is situated at the northern corner of Tract II and located within the area designated as the "Utility Corridor" on this Technical Data Sheet and the Schematic Site Plan for Tract II. The interior 25 feet of the 100 foot common open space located along the northern boundary line of Tract II may be graded, landscaped and maintained by Petitioner or its successors in interest, and it may be improved only with utility lines and utility facilities and a pedestrian path that is between three and six feet in width.
- Except as otherwise provided in paragraph 2 above with respect to the 100 foot common open space located along the northern boundary line of Tract II and the 75 foot undisturbed buffer contained therein, Petitioner reserves the right to grade and install pedestrian sidewalks or pathways, walls, berms, fences, and utility lines and facilities within the buffer area.
- Petitioner commits to providing connectivity to all Tracts through the use of sidewalks.
- No buildings, parking spaces or maneuvering areas may be located within buffer areas.
- Internal buffers shall not be required between any single family attached and single family detached dwelling units.
- A 25-foot building separation shall be provided along the common property line of the attached homes and the Historic Property Site. This 25 foot area is to include a 25-foot landscape strip with plantings similar in nature to a Class C buffer which may be widened in selective areas at Petitioner's option. In addition to this 25-foot landscape strip, a minimum 10-foot rear or setback shall be provided on the Historic Property Site in order to create a total building separation of 35 feet.
- Where existing trees and natural vegetation have been cleared within buffer areas to accommodate pedestrian sidewalks or pathways or the installation of utilities, the cleared, unimproved areas will be landscaped with trees and shrubs in accordance with the requirements of the Ordinance.
- A minimum of 4.66 acres of common open space is required on Tract II. However, Petitioner shall set aside a minimum of 8 acres on Tract II as common open space. In calculating the amount of common open space, the buffer areas shall be included in the calculations.
- Where existing trees and natural vegetation have been cleared within buffer areas to accommodate pedestrian sidewalks or pathways or the installation of utilities, the cleared, unimproved areas will be landscaped with trees and shrubs in accordance with the requirements of the Ordinance.
- That portion of Tract I labeled as "Natural Area" will not be graded by Petitioner and will remain in its natural state, provided, however, that Petitioner reserves the right to supplement the area by planting additional trees, grass and shrubs, and Petitioner reserves the right to remove trees and other vegetation less than 12 inches in caliper.
- With the exception of the 100 foot common open space located along the northern boundary line of Tract II, buffers may be reduced or eliminated in the event that an adjacent parcel is either zoned district or devoted to a use which would not require a buffer or would require a lesser buffer under the Ordinance.

SETBACKS, SIDE YARDS AND REAR YARDS

- Unless wider areas are established on this Technical Data Sheet, all buildings constructed within Tract I shall satisfy or exceed the setback, rear yard and side yard requirements established under the Ordinance for the NS zoning district, and all buildings constructed within Tract II shall satisfy or exceed the setback, rear yard and side yard requirements established under the Ordinance for the O-1 zoning district.
- Building setbacks and side and rear yards within Tract I shall conform to the standards of Section 11.215(5) of the Ordinance, except as noted in the Innovative Development Standards set out below.
- Building setbacks and parking setbacks from Rozzelles Ferry Road, Tema Circle and Highway 16 will be established in the manner depicted on this Technical Data Sheet.
- As more particularly depicted on this Technical Data Sheet, a 75 foot building setback and a 30 foot parking setback and landscaped area will be established along the southeastern property line of Tract I. As more particularly depicted on this Technical Data Sheet, a 50 foot building setback and a 30 foot parking setback and landscaped area will be established along a portion of Tract I that abuts Highway 16, and a 50 foot building setback and a 20 foot parking setback and landscaped area will be established along the remaining portion of Tract I that abuts Highway 16 (excluding the Natural Area). The parking setback and landscaped areas on Tract I will be planted to Class B buffer standards.
- Buildings built along Rozzelles Ferry Road and Tema Circle within Tract I shall be built to the setback line. The number and locations of the buildings on the Schematic Site Plan for Tract I are conceptual and may be reconfigured, reduced or increased subject only to the build-to requirement set forth on the Schematic Site Plan.

SCREENING AND LANDSCAPED AREAS

- Screening shall conform with the standards and treatments specified in Section 12.303 of the Ordinance.
- All roof mounted mechanical equipment will be screened from view.
- Any dumpsters located within Tracts I, II or III that are visible from a public street or from an external adjoining property will be screened from view by a solid-enclosure with gates.
- Landscaping shall be installed along the frontage of Rozzelles Ferry Road and Old Rozzelles Ferry Road on Tract II. Such landscaping shall consist of twenty 3-gallon shrubs, three large maturing trees a minimum of ten feet in height at installation and six small maturing trees a minimum of five feet in height at installation along each street. Such landscaping shall consist of ten 3-gallon shrubs, five 5-foot in height evergreen or accent trees and two 10-foot in height large maturing trees per 100 linear feet to be installed in a minimum 15-foot wide landscape strip. The landscape strip may be located either within the public right-of-way associated with the street or on private property or a combination of the two.

ARCHITECTURAL CONTROLS

- All buildings constructed on Tracts I and II will be architecturally compatible in appearance and quality through the use of similar building materials, accent features and colors.
- No building constructed on Tracts I or II may contain more than three stories (above ground), or be more than 45 feet in height (above ground).
- The front elevation of any building to be constructed on Tract II may not exceed two stories in height above grade.
- Those buildings located on Tract I that abut Rozzelles Ferry Road will be designed and constructed so that each building has windows that face Rozzelles Ferry Road, and those buildings located on Tract I that abut Tema Circle will be designed and constructed so that each building has windows that face Tema Circle.
- The exterior surface areas of each building located on Tract I or Tract II shall consist predominantly of brick, masonry or natural or synthetic cedar tile materials.
- All buildings located on Tract I that directly abut Rozzelles Ferry Road or Tema Circle shall be built to the relevant setback line, however, the number, placements, configurations and sizes of such buildings depicted on the Schematic Site Plan for Tract I are conceptual and the same may be altered or modified during design development and construction document phases subject to the requirement that such buildings be built to the relevant setback line.
- Through the design and placement of the proposed convenience center on Tract I, Petitioner will endeavor to minimize the visibility of any gas pumps or islands associated with the convenience center proposed for Tract I from Rozzelles Ferry Road. The proposed convenience center building will be architecturally compatible with other buildings located on Tract I, and it will be constructed with an exposed roof with either a standing seam or slate roofing materials.
- PARKING
Off street parking spaces will satisfy the minimum standards established under the Ordinance. Parking shall be permitted within all building envelopes established for Tracts I and III.
- LIGHTING
All freestanding lighting fixtures installed within Tracts I and III will be uniform in design. The final spacing of lighting fixtures is to be determined by Petitioner.
- All freestanding lighting fixtures installed within Tract II will be uniform in design. The final spacing of lighting fixtures is to be determined by Petitioner.
- The maximum height of any freestanding lighting fixture, including its base, installed within Tracts I or III shall not exceed 30 feet, and the maximum height of any freestanding lighting fixture, including its base, installed within Tract II shall not exceed 20 feet.
- All freestanding lighting fixtures installed within Tract II shall be uniform in design. The final spacing of lighting fixtures is to be determined by Petitioner.
- Items for consideration will include intensity, cutoff angles, color, energy efficiency and shielding of sources of light, the intent being to eliminate glare towards the adjacent roads and properties.
- Wall pack lighting will not be allowed.

SIGNS

- All signs placed on the Site will be erected in accordance with the requirements of the Ordinance.
- Detached signs may not exceed 7 feet in height and the copy area of any sign located along Rozzelles Ferry Road, Tema Circle and Highway 16 may not exceed 50 square feet, and the copy area on either side of any sign installed along an internal road may not exceed 50 square feet.

ACCESS POINTS (DRIVEWAYS)

- The number of vehicular access points to the Site shall be limited to the number depicted on this Technical Data Sheet.
- The placement and configuration of each access point shall be subject to any minor modifications required to accommodate final site and architectural construction plans and designs and to any adjustments required for approval by the County Engineering Department and the North Carolina Department of Transportation.

- Petitioner reserves the right to use both public and private streets within the Site, and all private streets shall be maintained by a Property Owners Association.
- One stub street shall be provided at the southern portion of Tract II as more particularly depicted on this Technical Data Sheet.

- TRACT I: Petitioner agrees to install a left turn lane into Tract I with a minimum of 150 feet of storage and a 15:1 bay taper. If off-site right-of-way is not required to accommodate this left turn lane in its entirety, Petitioner will complete the left turn lane in its entirety by the date on which the first certificate of occupancy is issued for Tract I. If off-site right-of-way is required to accommodate this left turn lane in its entirety, then Petitioner will, on or before the issuance of the first certificate of occupancy for Tract I, construct that portion of the left turn lane that is adjacent to Tract I and make a cash payment to Mecklenburg County in an amount equal to the reasonable costs of acquiring the off-site right-of-way and constructing the remaining portion of the left turn lane. Petitioner may obtain plan approvals, building permits, and certificates of occupancy for any buildings associated with this rezoning while the process outlined herein is in progress. Petitioner agrees to dedicate the Rozzelles Ferry Road and Tema Circle right-of-way required along Tract I prior to the issuance of any certificate of occupancy for Tract I.

- TRACT II: Petitioner agrees to install a left turn lane into Tract II with a minimum of 150 feet of storage and a 15:1 bay taper. If off-site right-of-way is not required to accommodate this left turn lane in its entirety, Petitioner will complete the left turn lane in its entirety by the date on which the 50th certificate of occupancy is issued for Tract II. If off-site right-of-way is required to accommodate this left turn lane in its entirety, then Petitioner will, on or before the issuance of the 50th certificate of occupancy for Tract II, construct that portion of the left turn lane that is adjacent to Tract II and make a cash payment to Mecklenburg County in an amount equal to the reasonable costs of acquiring the off-site right-of-way and constructing the remaining portion of the left turn lane. Petitioner may obtain plan approvals, building permits, and certificates of occupancy for any buildings associated with this rezoning while the process outlined herein is in progress. Petitioner agrees to dedicate the Rozzelles Ferry Road right-of-way required along Tract II prior to the issuance of any certificate of occupancy for Tract II.

- TRACT III: Petitioner agrees to install a left turn lane into Tract III from Rozzelles Ferry Road with a minimum of 150 feet of storage and a 15:1 bay taper. If off-site right-of-way is not required to accommodate this left turn lane in its entirety, Petitioner will complete the left turn lane in its entirety by the date on which the first certificate of occupancy is issued for Tract III. If off-site right-of-way is required to accommodate this left turn lane in its entirety, then Petitioner will, on or before the issuance of the first certificate of occupancy for Tract III, construct that portion of the left turn lane that is adjacent to Tract III and make a cash payment to Mecklenburg County in an amount equal to the reasonable costs of acquiring the off-site right-of-way and constructing the remaining portion of the left turn lane. Petitioner may obtain plan approvals, building permits, and certificates of occupancy for any buildings associated with this rezoning while the process outlined herein is in progress. Petitioner agrees to dedicate the Rozzelles Ferry Road and Tema Circle right-of-way required along Tract III prior to the issuance of any certificate of occupancy for Tract III.

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CHARLOTTE - MECKLENBURG
PLANNING COMMISSION

INTER - OFFICE COMMUNICATION

DATE: March 24,2004

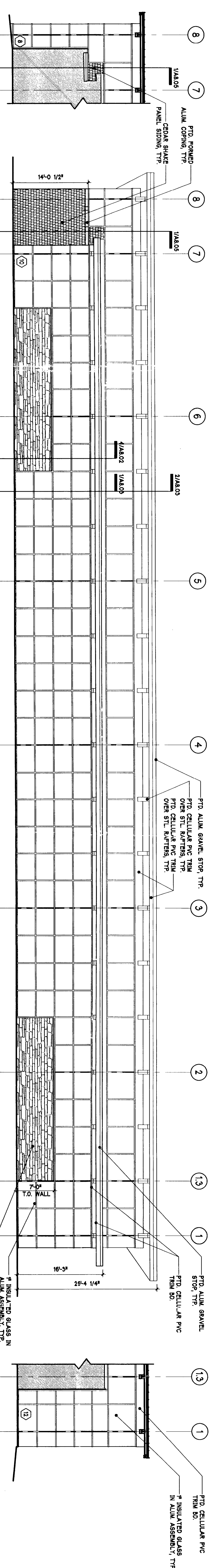
TO: Robert Brandon
Zoning Administrator

FROM: Debra Campbell
Interim Planning Director

SUBJECT: Administrative Approval for Petition No. 2001-03(c) by Crosland Commercial.

Attached are elevations for the library at this site. The elevations reflect a design that is compatible with the shops presently under construction. Since these elevations are consistent with the shops, I am administratively approving these elevations. Please use these elevations when evaluating requests for building permits and certificates of occupancy.

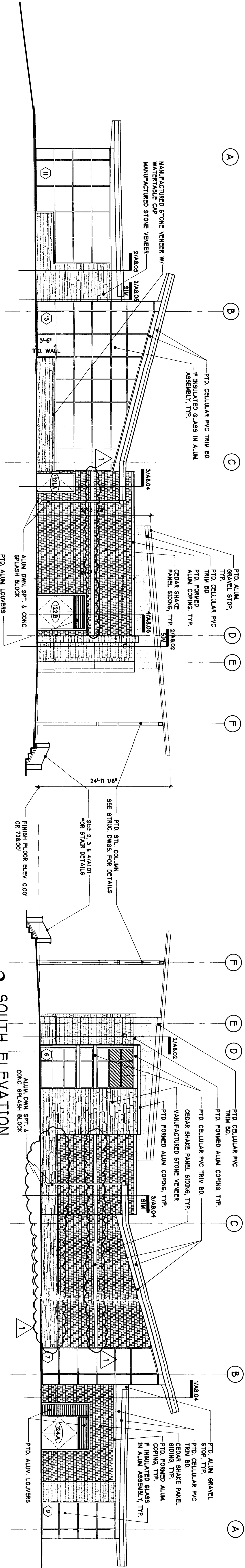
Note all other conditions from the originally approved rezoning plan and all ordinance requirements still apply.



7 EAST ELEVATION
 SCALE 1/8" = 1'-0"

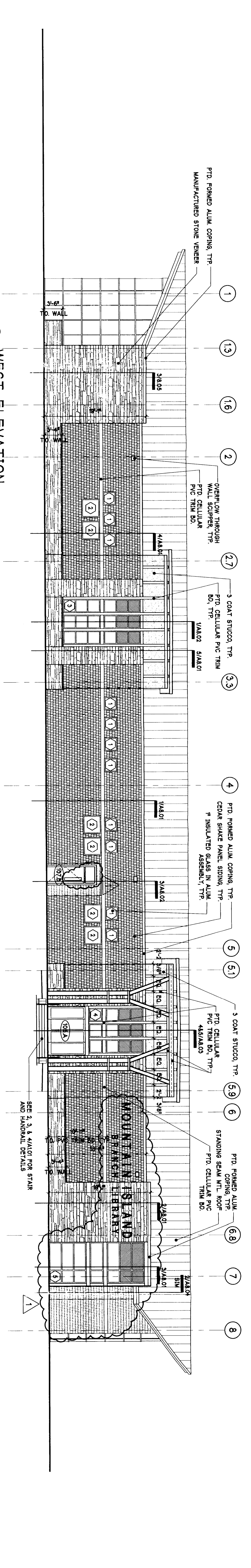
6 EAST ELEVATION
 SCALE 1/8" = 1'-0"

5 EAST ELEVATION
 SCALE 1/8" = 1'-0"



4 NORTH ELEVATION
 SCALE 1/8" = 1'-0"

3 SOUTH ELEVATION
 SCALE 1/8" = 1'-0"

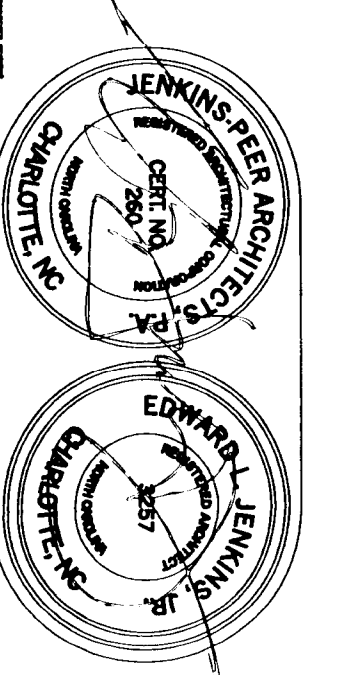


2 WEST ELEVATION
 SCALE 1/8" = 1'-0"

1 BUILDING SECTION
 SCALE 1/8" = 1'-0"

PLCMC
 Mountain
 Island
 Branch
 Library

24 MARCH 2004
 CODE REVIEW COMMENTS
 Project 02PLC028
 Drawn ACH
 Checked BDS
 Date 21 January 2004
 Jenkins+Peer Architects Copyright 2004
**ELEVATIONS,
 BUILDING SECTION**



ATTACHMENT TO ADMINISTRATIVE
 JANUARY 21, 2004

DATE: 24 MARCH 2004
 APPROVED BY: [Signature]
 Construction Documents

A4.01

2001-03(c)

CHARLOTTE - MECKLENBURG
PLANNING COMMISSION

INTER - OFFICE COMMUNICATION

DATE: July 6, 2004

TO: Robert Brandon
Zoning Administrator

FROM: Debra Campbell
Planning Director

SUBJECT: Administrative Approval for Petition No. 2001-03(c) by Crosland Commercial.

Attached is a site layout plan and elevations for the BP that will be located on Tract 1. The elevations reflect a design that is compatible with the shops presently under construction. Since these elevations are consistent with the shops, I am administratively approving these elevations. Please use these elevations when evaluating requests for building permits and certificates of occupancy.

Note all other conditions from the originally approved rezoning plan and all ordinance requirements still apply.

The following buildings have either already been built or are under permit review:
 Building One 7150 sf
 Building Two 7150 sf
 Building Three 3750 sf
 Building Four 9800 sf
 Library 18,000 sf
 Mt. Island BP-Amoco 4119 sf (Includes store and car wash)
 Total: 49,969 sf (cannot exceed 70,000 sf)
 Maximum building square footage is 70,000 sf per Site Plan of Mountain Island Village, last revised 2/06/02.

PARKING CALCULATIONS:
 OFF-STREET PARKING: 1 SPACE PER 600 SQ FT = 7 SPACES REQUIRED FOR A 3140 SQ FT BUILDING.
 13 SPACES PROVIDED INCLUDING ONE HANDICAP VAN ACCESSIBLE SPACE.

MOUNTAIN ISLAND VILLAGE
 CROSLAND-WY LLC
 DB 12570 PG 901
 NATURAL AND UNDISTURBED AREA
 ZONING: NS

There shall be no taps, piping branches, unapproved bypass piping, hydrants, Fire Dept connection points, or other water-using appurtenances connected to the supply line between any water meter and its CMUD-required backflow preventer.

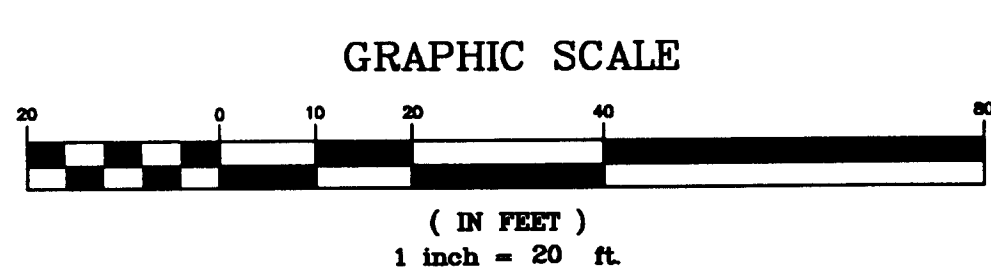
1 1/2" Reduced Pressure Principle Backflow Prevention Assembly Installed above-ground within insulated enclosure per CMUD requirements. Enclosure to include drain port(s) for discharge water per CMUD requirements. See detail on Sheet S-2.

Mountain Island Village Developer (Crosland) is responsible for sidewalk construction within the Sidewalk Easement and within the R/W of Rozzelle's Ferry Road. Crosland is also responsible for the extension of curb and gutter and any pavement improvements along Rozzelle's Ferry Road. This curb, pavement, and sidewalk will be constructed concurrently with BP Amoco Site. No Fire Protection System to be installed. No Irrigation System to be installed. Mountain Island BP Land Developer is responsible for all Site lighting and will comply with adjacent sites and conditional notes on Mountain Island Village Site Plan. Drawings are under review by MCDEP. Awaiting compliance letter.

For Groundwater Protection see Petroleum Drawings #1, 2, and 3.

Right-of-way use permit will be obtained prior to beginning work in the right-of-way of Rozzelle's Ferry Road.

BEFORE YOU DIG!
 CALL 1-800-632-4949
 N.C. ONE-CALL CENTER
 IT'S THE LAW!



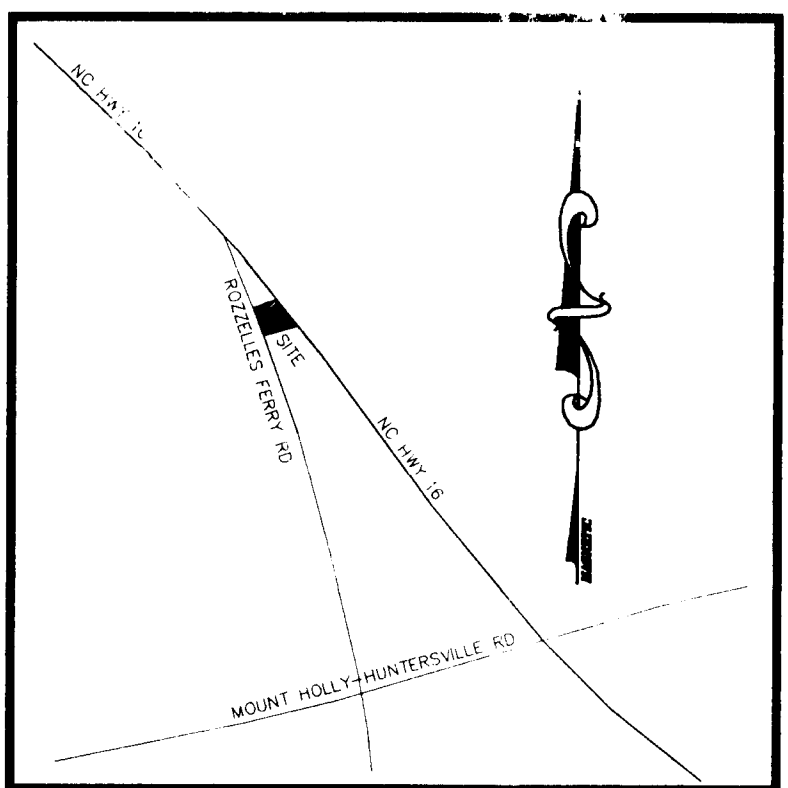
SEE SECTION 12.304 OF CHARLOTTE CODE. THIS SITE LIES 12-14 FEET HIGHER THAN BROOKSHIRE BLVD., THEREFORE SCREEN AND BUFFER WOULD SERVE "NO MEANINGFUL PURPOSE" OWNER REQUESTS RELIEF FROM CLASS B BUFFER REQUIREMENT.

59 YAUPON HOLLY OR CHINESE HOLLY SHRUBS 2' SPREAD, 2' HT. MIN. PLANTED 5' O.C. PER SECTION 12.303 OF CHARLOTTE CODE.

DO NOT USE THIS DRAWING TO LAY OUT CANOPY FOOTS. SEE CANOPY DRAWINGS PROVIDED BY CANOPY VENDOR.

NOTES:

- INSTALL MADISON 3500 AMOCO SALES BUILDING SEE MANUF. DWGS FOR FOOTING LOCATIONS WITH SIGNAGE PER CMUDS 50.10A,B,C.
- INSTALL NEW HANDICAPPED ACCESS RAMP (PER CMUDS 10.34).
- INSTALL NEW 44 X 96 CANOPY W/ COLUMN; SEE MANUF. DWGS FOR FOOTING LOCATIONS.
- INSTALL 6 PUMP ISLANDS W/ 6 GALBARO PIPES INSTALL (2) 4' X 4' ISLANDS WITH BUMPER POST FOR DIESEL DISPENSERS.
- ISLAND PAD & APRONS TO BE 6" THICK CONCRETE WITH 6# - W29 X 2.9 WELDED WIRE FABRIC.
- INSTALL 1-20,000 G. & 1-20,000(12K) G. DOUBLE WALL FIBERGLASS UST'S.
- INSTALL NEW DOUBLE WALL FIBERGLASS PIPING.
- INSTALL NEW 18" STANDARD CURB & GUTTER (PER CMUDS 10.17A).
- INSTALL NEW 44 X 22 CARWASH.
- INSTALL (2) NEW VACUUM UNITS.
- INSTALL (2) NEW TELEPHONES.
- INSTALL NEW VENT PIPES.
- EXISTING TRASH DUMPSTER LOCATION.
- INSTALL 1/2" EXPANSION JOINT MATERIAL & ALL CURB ABUTMENTS TO WALKS, PLATFORMS, SLABS AND WALLS.
- ALL YARD PAVING TO BE TYPE "A" ASPHALT (SEE BP/AMOCO STANDARD SPECIFICATIONS).
- GENERAL CONTRACTOR TO PAINT (1) 18" X 24" HANDICAP SPACE, (2) 9' X 20' PARKING SPACES, AND TRAFFIC CONTROL STRIPING PARKING SPACES TO CONCRETE NOT ASPHALT.
- INSTALL NEW LANDSCAPING TO MEET ADEA REQUIREMENTS.
- GENERAL CONTRACTOR TO PAINT 4" W. YELLOW TRAFFIC CONTROL STRIPING AS REQUIRED BY MECKLENBURG COUNTY ENGINEERING DEPARTMENT.
- INSTALL COUNTY APPROVED BACKFLOW PREVENTER - SEE NOTES APPROXIMATE LOCATION OF BACKFLOW PREVENTER.
- APPROXIMATE LOCATION OF EXISTING MHI FIELD VERIFY MONTHLY (CIPR) (PER CMUDS 10.34).
- SIDEWALKS MUST BE A MINIMUM OF 48" WIDE AND HAVE A MAXIMUM SLOPE OF 1 IN 20.



IMPERVIOUS AREA = 44,610 SF
 LOT AREA = 63,138 SF
 IMPERVIOUS PERCENTAGE = 70%
 WATERSHED OVERLAY DISTRICT:
 LAKE WYLIE - PROTECTED AREA
 MAX. 70% IMPERVIOUS AREA

LANDSCAPE NOTES:

- Landscaping to be in accordance with the City of Charlotte Tree Ordinance.
- Large maturing trees every 40 feet within setback along road right-of-way.
- Additional trees are required as follows:
 A tree for every 10,000 SQ FT of impervious area = 0.5 trees for this site. Every parking space must be within 60 feet of a tree.
- Buffer along N.C. Highway 16 shall be to Class B standards per the City of Charlotte Zoning Ordinance.
 Certain trees along N.C. Highway 16 need to be removed (see sheet S-1). These trees shall be replaced upon completion of grading. See sheet S-1 for specific tree locations to be affected.
- No soil disturbance or compaction, construction materials, traffic, burial pits, trenching or other land disturbing activity allowed in the tree protection zone.
- Tree barricades must be installed before any demolition, grading, or construction begins, and not removed until final inspection.
- Tree protection barricades must meet or exceed Tree Ordinance Standards (in City of Charlotte Tree Ordinance Guidelines, Appendix 3) or Land Development Standards Manual 40.02.
- Before grading/clearing/construction begins, call 704-336-6769 for inspection of tree protection barricades by Urban Forester.
- No grubbing within tree protection zone. Leave soil and leaf litter undisturbed. Supplement with 1-2 inches of mulch. Re-seed with grass only in disturbed/graded areas.
- Brush, vines, and small trees (<8 in. diameter, or as small as 2 in. caliper) may be hand-cleared only, cut flush with ground surface. Existing trees may be limbed up 6 feet (leaving at least 2/3 of the branches) to improve visibility.
- Exposed tree roots must be clearly cut with a sharp pruning tool; backfill ASAP to minimize exposure to the air.
- Tree barricades must be installed before any demolition/clearing/grading/construction, and not removed until after final inspection by Urban Forester.
- Tree protection fence is to be located 1 foot per tree diameter inch away from the tree in the setback or right-of-way.
- All utilities will remain outside of tree protection zone.

GENERAL NOTES:

- ZONING: NS (CITY OF CHARLOTTE ETJ)
- TAX PARCEL: #023-122-29.
- TOTAL DENUDED AREA IS ESTIMATED TO BE 1.28 ACRES.
- A GRADING PLAN MUST BE SUBMITTED FOR ANY LOT GRADING EXCEEDING ONE ACRE THAT WAS NOT PREVIOUSLY APPROVED.
- ALL "STD." NUMBERS REFER TO THE CHARLOTTE/MECK. LAND DEVELOPMENT STANDARDS MANUAL.
- ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
- ANY GRADING BEYOND THE LIMITS OF CONSTRUCTION SHOWN ON THE PLAN IS A VIOLATION OF THE CITY/COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
- GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE CITY/COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
- ANY TEMPORARY SEDIMENT BASIN THAT IS TO BE CONVERTED TO A PERMANENT STORMWATER DETENTION FACILITY REQUIRES A PAVED SPILLWAY WHEN CONSTRUCTED IN FILL MATERIAL.
- STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON LARGE DENUDED AREAS AND ESPECIALLY WHEN SPECIFICALLY REQUIRED AS PART OF THE CONSTRUCTION SEQUENCE SHOWN ON THE PLAN. ALL GRADED SLOPES MUST BE SEEDED AND MULCHED WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS, WHICHEVER IS SHORTER. ALL REMAINING AREAS, 15 WORKING DAYS OR 90 CALENDAR DAYS, WHICHEVER IS SHORTER.
- ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE CITY/COUNTY ENGINEERING DEPARTMENT.
- ANY LAND-DISTURBING ACTIVITY > 1 ACRE REQUIRES COMPLIANCE WITH ALL CONDITIONS OF THE GENERAL PERMIT TO DISCHARGE STORM WATER UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (PERMIT NO. NCC010000). ANY PERMIT NONCOMPLIANCE IS A VIOLATION OF THE CLEAN WATER ACT AND MAY REQUIRE ENFORCEMENT ACTION BY THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT, HEALTH, AND NATURAL RESOURCES. (FOR QUESTIONS CONTACT MOORESVILLE REGIONAL OFFICE WATER QUALITY STAFF AT 663-1699)

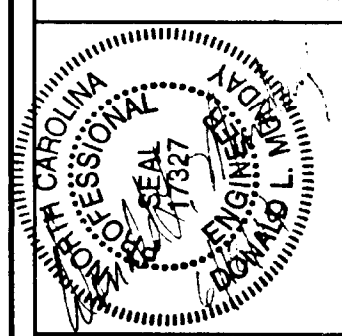
- TYPICAL JIL TYPE IS (C6B2).
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- DEVELOPER TO PROVIDE STREET SIGNS PER CMUDS# 50.05 (9" SIGNS ONLY)
- IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATIONS OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR BASED ON FIELD CONDITIONS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MIN. OF 0.5% SLOPE ON THE CURB.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- THE PURPOSE OF THE STORM DRAINAGE EASEMENT IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTIONS TO STORM WATER FLOW IS PROHIBITED.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- RETAINING WALLS DESIGNED FOR CRITICAL AREAS (I.E., ON PROPERTY LINES AND R/W) MAY REQUIRE THE SEAL.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
- NON-STANDARD ITEMS (I.E.: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY IMPROVEMENT AGREEMENT WITH THE CITY DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION.

ATTACHED TO ADMINISTRATIVE APPROVAL
 DATED: July 6, 2004
 BY: DEBRA D. CAMPBELL
 Date of Issue: JUN 24 2004

PIEDMONT DESIGN
 ENGINEERING/SURVEYING/PLANNING
 Associates, P.A.
 Suite 104 Westfield Center 125 East Plaza D
 Mooresville, N.C. 28115
 Phone: 704-661-1775

PREPARED FOR:
Mark Oil Co.
 P.O. Box 32064
 Charlotte, NC 28232
 704-375-4249

SITELINE
 BP Amoco 2211 Vinnie's Way
 Mountain Island Village
 CHARLOTTE, NORTH CAROLINA

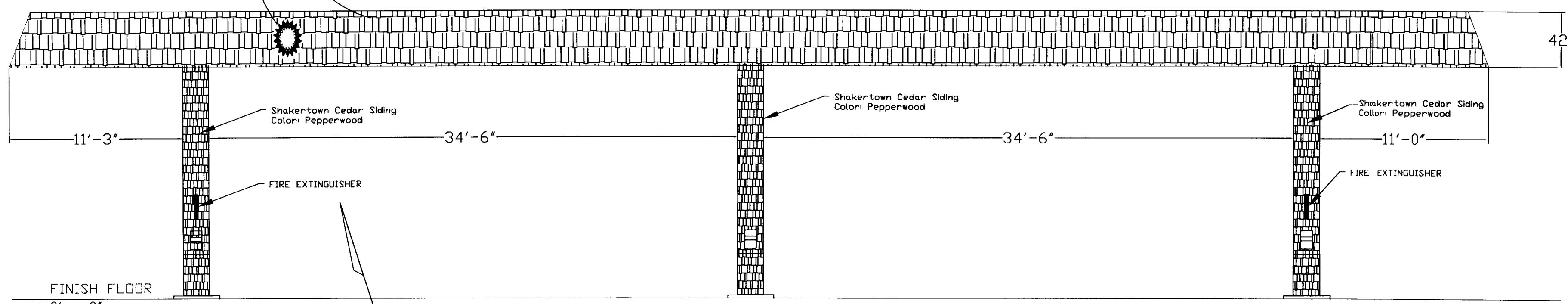


REVISIONS	BY
REVISION NOTES PER CLIENT 8/13/04	JHH
REVISION NOTES PER CITY OF CHARLOTTE 8/17/04	JHH
REVISIONS PER CITY OF CHARLOTTE 8/17/04	JHH
REVISION OF BACKFLOW PREVENTION 8/17/04	JHH
ADDITION OF CURB AND GUTTER AND SIDEWALK 8/17/04	JHH
REVISIONS PER CITY OF CHARLOTTE 8/17/04	JHH

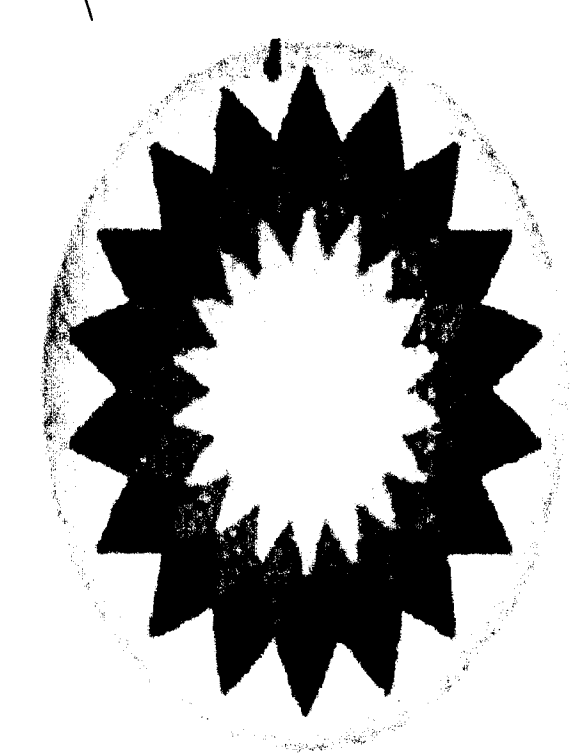
Date: 8/13/2003
 Scale: 1" = 20 FT
 1" INTERVAL
 Drawn: JHH
 Checked: DLM
 Sheet: 03-06-14
S-1
 6/17/04

2001-03 (e) 023-12099
 1686 Tema Co

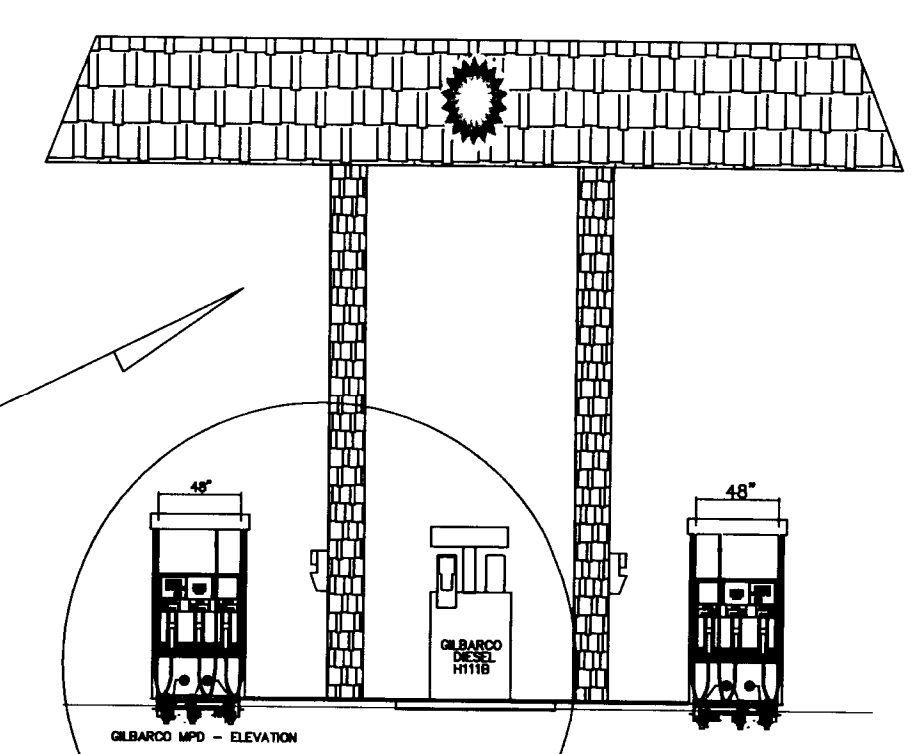
BP OIL SPECIFIED 36" HELIOS DISC- (4) TOTAL TO BE INSTALLED ON CANOPY. (SEE DETAIL 1)
 CEDAR SHAKE ROOFING SHINGLES TO MATCH ROOFING ON OTHER BUILDING IN CROSSLAND PROJECT.



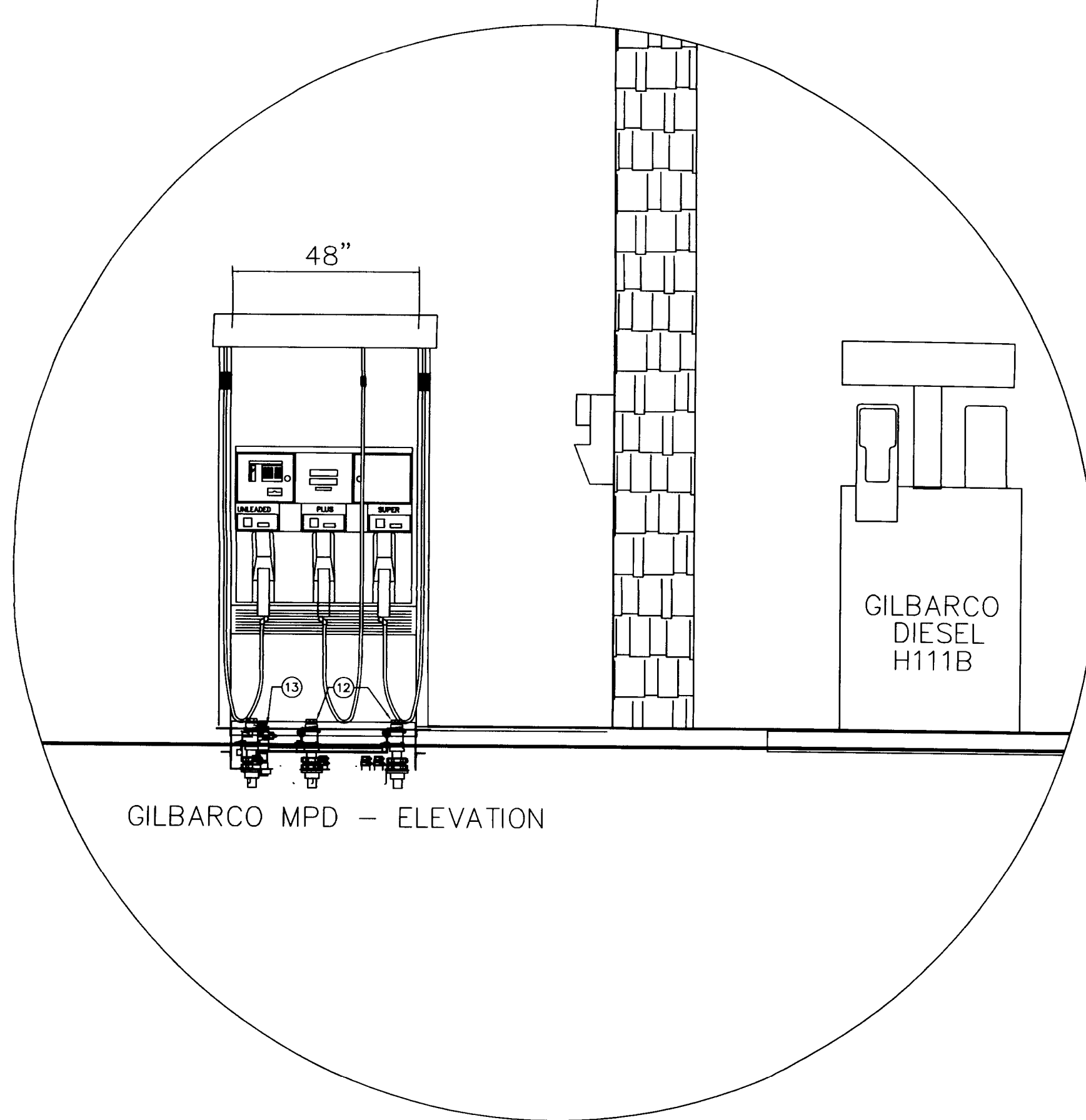
2 REAR ELEVATION
 SCALE: 3/16" = 1'-0"



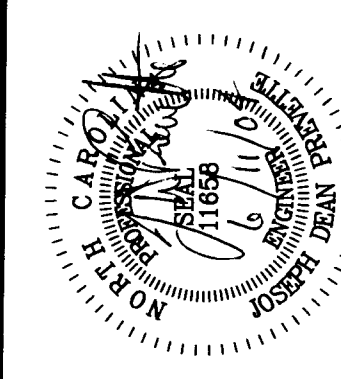
HELIOS DETAIL 1



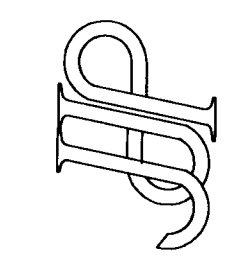
SIDE ELEVATION
 SCALE: 3/16" = 1'-0"



GILBARCO MPD - ELEVATION



J. Dean Prevette
 Professional Engineer
 741 ROMANY ROAD
 CHARLOTTE, N.C. 28203 - 704 622 1713



PROJECT TITLE:
 MOUNTAIN ISLAND BP STATION
 MARK OIL COMPANY
 2211 VINNIES WAY CHARLOTTE, NC

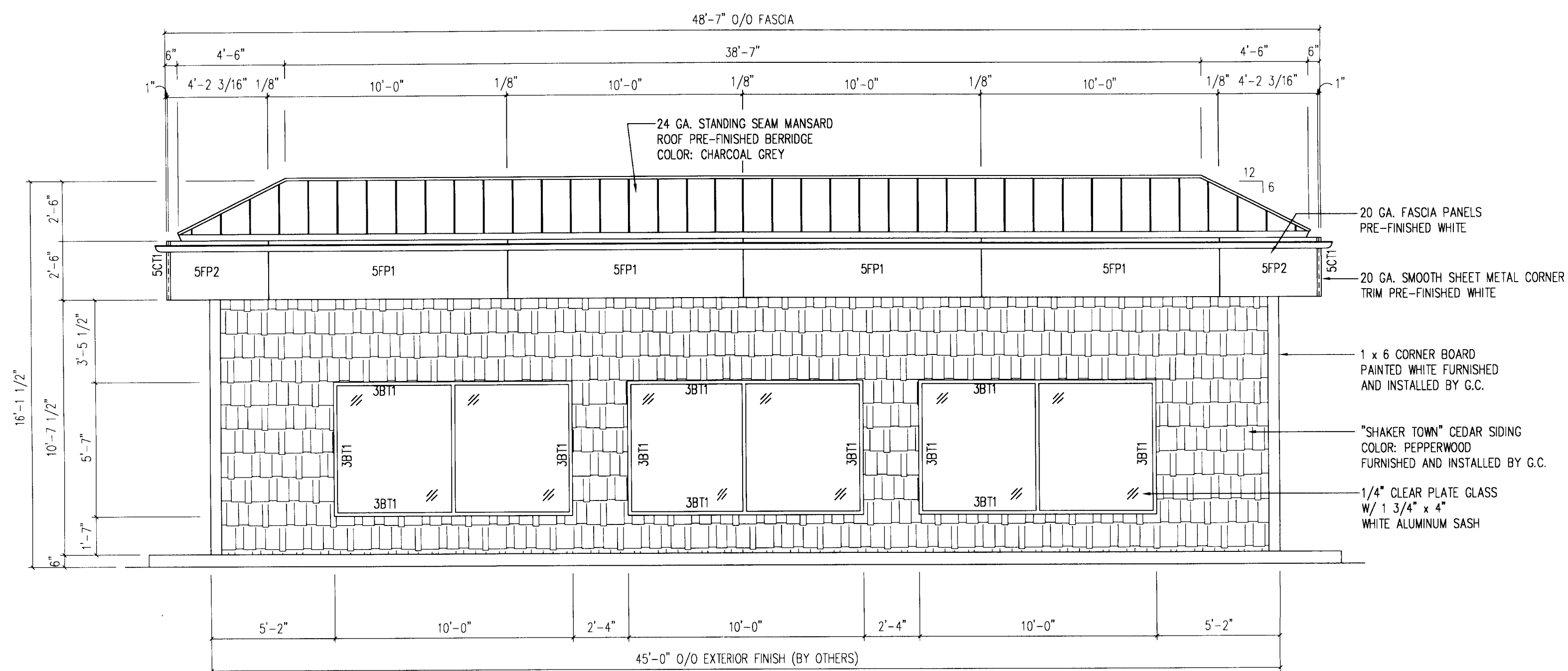
SHEET TITLE:
 CANOPY LOGO DETAILS

DATE: 05.18.04
 DESIGN: FINAL
 REVISIONS: 06.11.04
 DRAWING NUMBER:
 DRAWN BY: J. PREVETTE
 CHECKED BY:

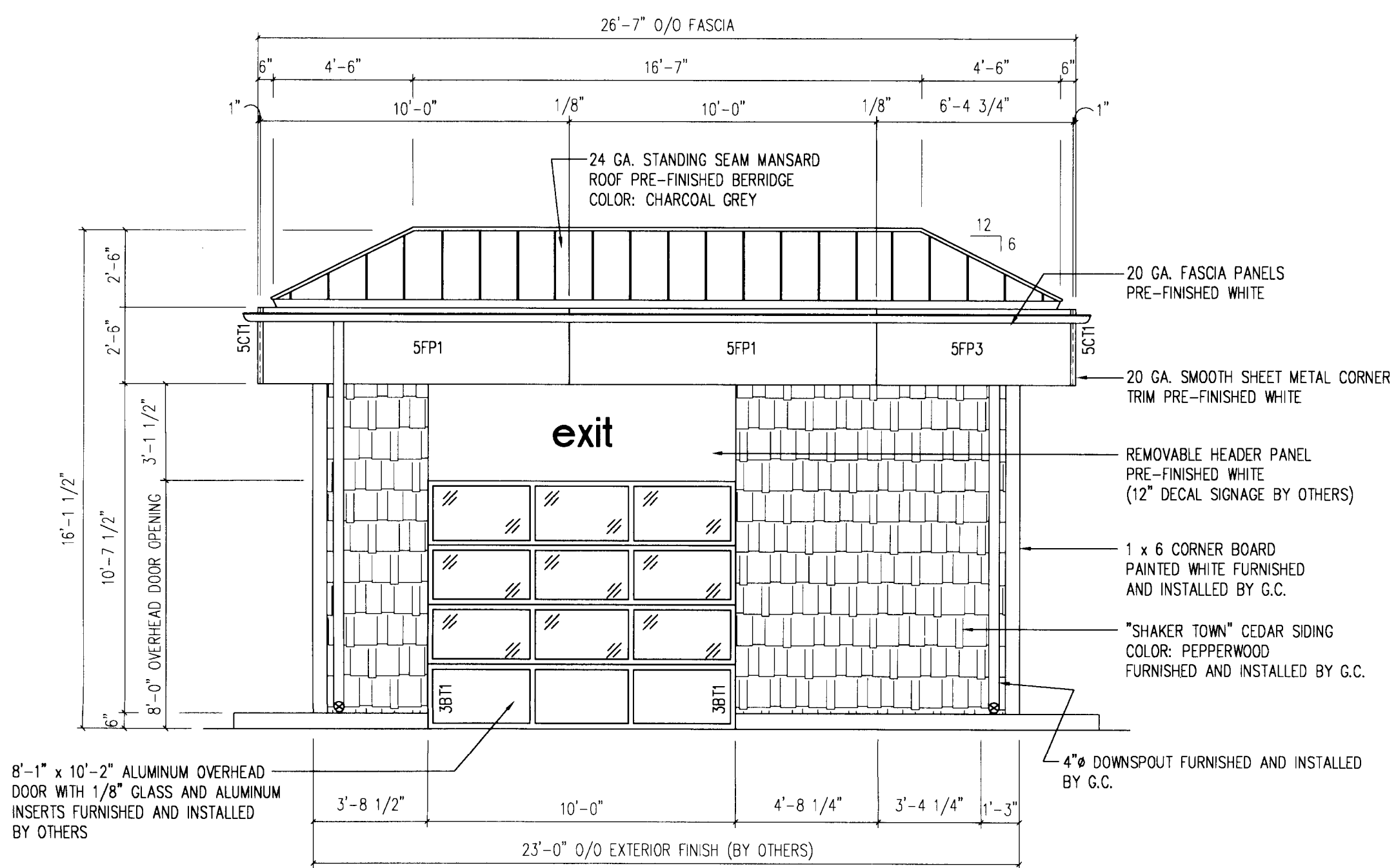
ATTACHED TO ADMINISTRATIVE
 APPROVAL
 DATED: July 6, 2004
 BY: DEBRA D. CAMPBELL

SHEET
CANOPY EL.
 OF 1

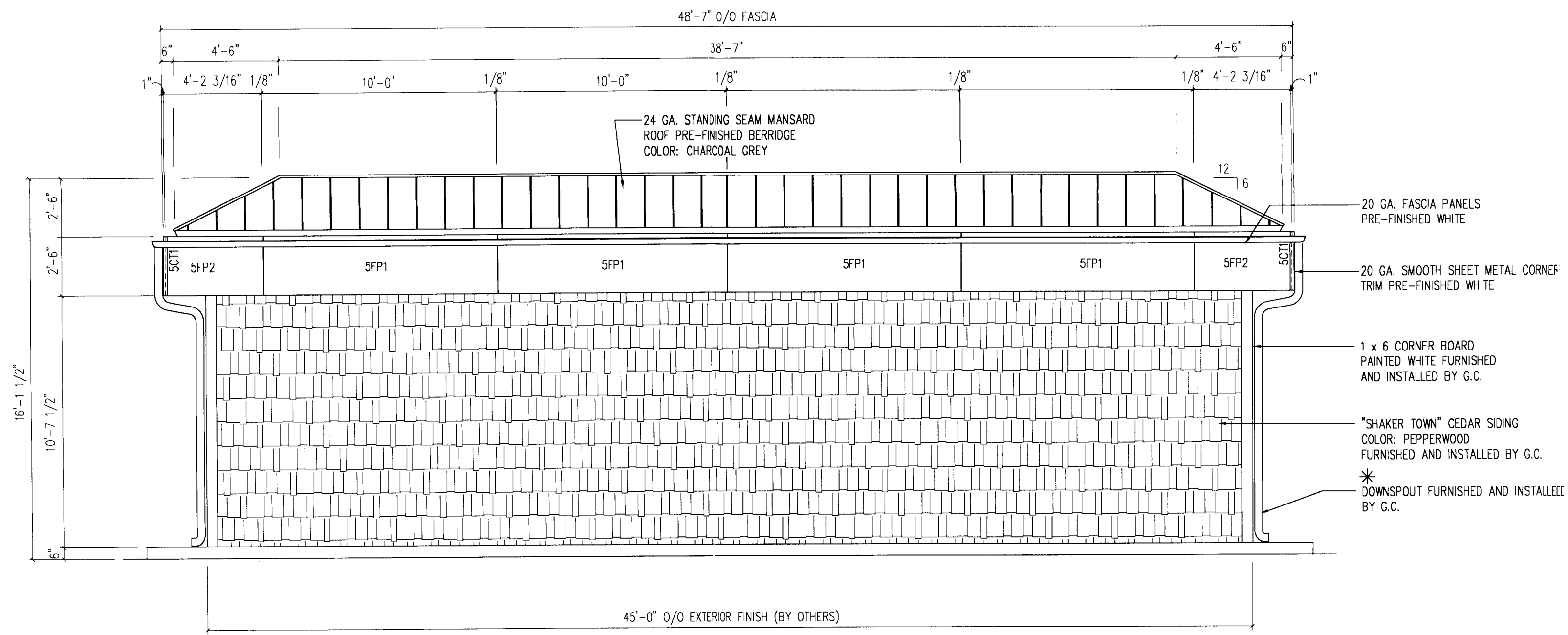
2001-03(c)



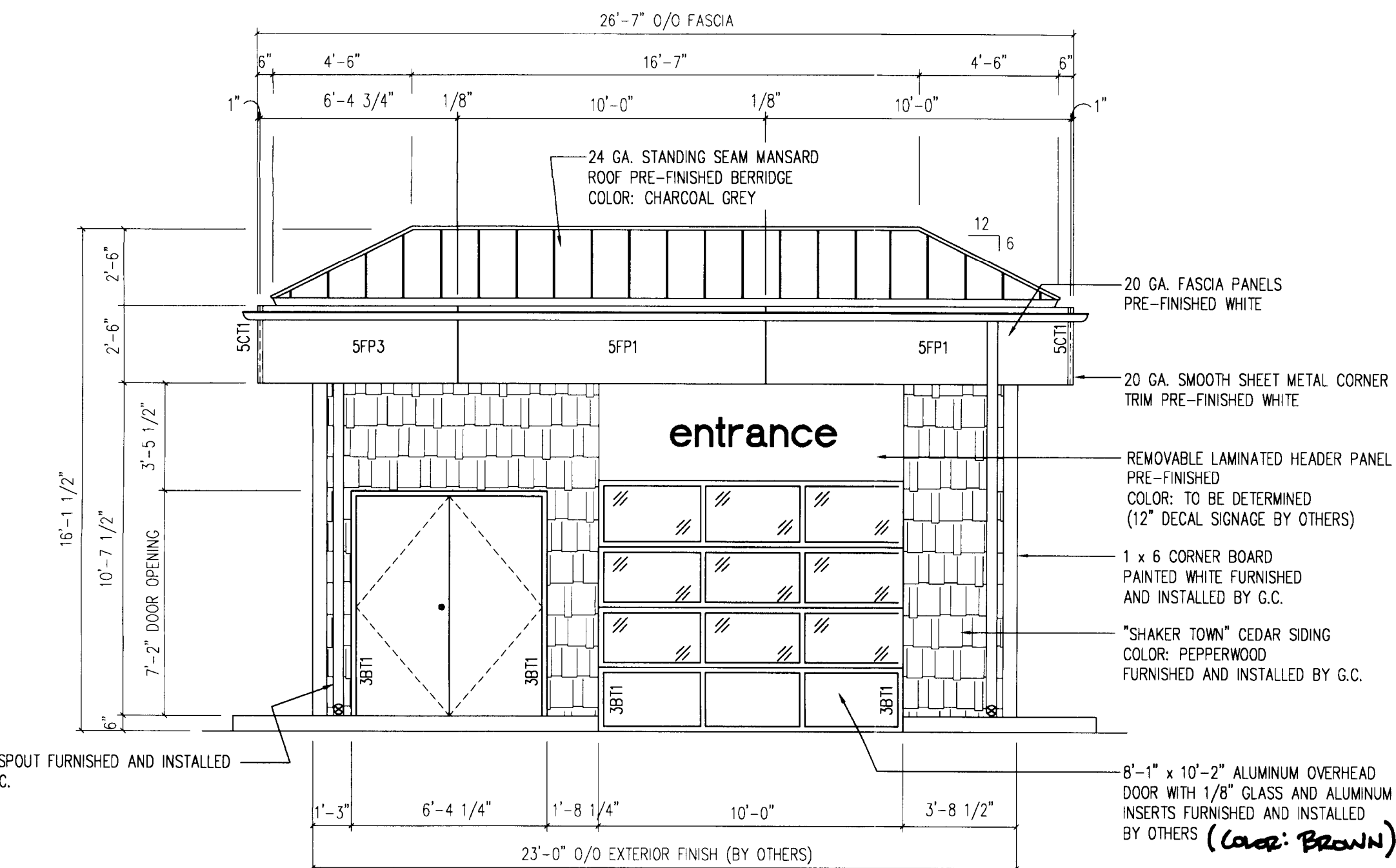
ELEVATION
SCALE: 1/4" = 1'-0"



ELEVATION
SCALE: 1/4" = 1'-0"



ELEVATION
SCALE: 1/4" = 1'-0"



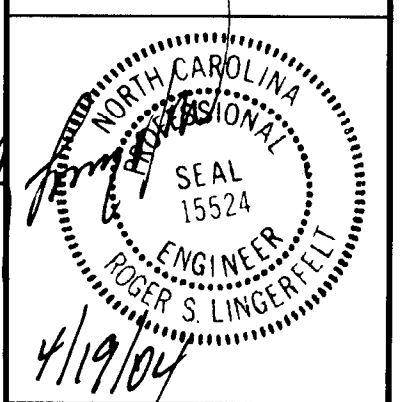
ELEVATION
SCALE: 1/4" = 1'-0"

REV.	DATE	DESCRIPTION

PROJECT: MOUNTAIN ISLAND BP
22' x 44' FIELD ERECTED GARWASH ELEVATIONS
LOCATION: 2211 WINNIESS WAY CHARLOTTE, NC

MADISON
1035 IRIS DRIVE, S.W. • CONVERS, GA 30094
770 483-4401 • FAX 770 785-7987

THE SYMBOL OF QUALITY



MODEL No.	
MASTER FILE NAME	D4103_591
DRAWN BY DATE	G. MALCOM 03-24-04
CHECKED BY DATE	
SCALE	1/4" = 1'-0"
REV. DATE	
DRWG. No.	A-3W
SHEET 4 OF 6	
JOB No. W30192	HAND SHOWN

ATTACHED TO ADMINISTRATIVE APPROVAL
DATED: July 6, 2004
BY: DEBRA D. CAMPBELL
2001-0300

* GUTTER SPECIFICATIONS: BERGER BROS. CO. 6" HALF ROUND, 6" C END CAPS, AND 4" DOWNSPOUT OUTLETS, FURNISHED AND INSTALLED BY B.S.
* 4" PLAIN ROUND DOWNSPOUTS, 4" DOWNSPOUT ELBOWS, AND DOWNSPOUT STRAPS, FURNISHED AND INSTALLED BY G.C.

CHARLOTTE - MECKLENBURG
PLANNING COMMISSION

INTER - OFFICE COMMUNICATION

DATE: August 10, 2004

TO: Robert Brandon
Zoning Administrator

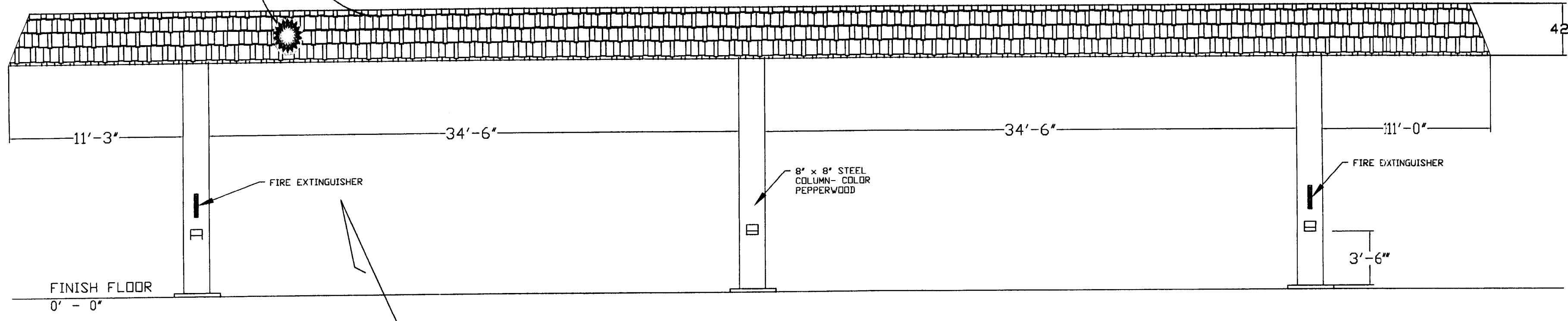
FROM: Debra Campbell
Planning Director

SUBJECT: Administrative Approval for Petition No. 2001-03(c) by Crosland Commercial.

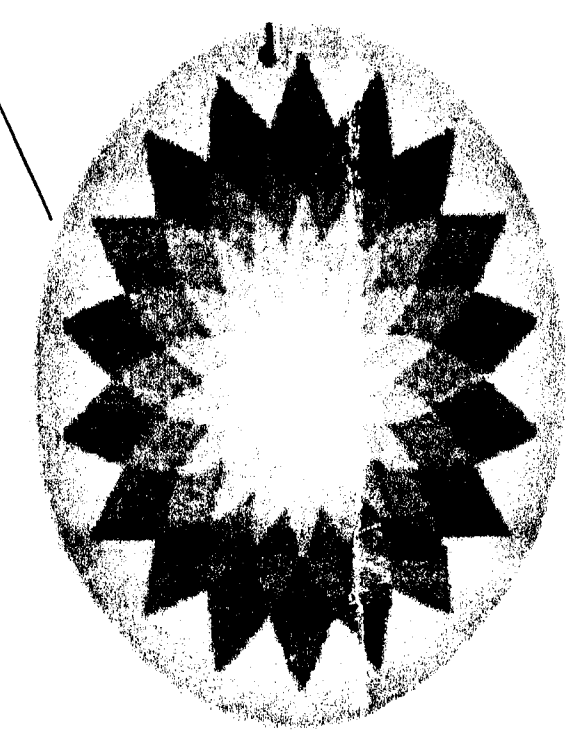
Attached is a revised elevation for the BP canopy that will be located on Tract 1. The canopy elevation has been revised to change the material on the columns to reflect the Fire Departments comments. Since this elevation is consistent with the shops, I am administratively approving this elevation. Please use this elevation when evaluating requests for building permits and certificates of occupancy.

Note all other conditions from the originally approved rezoning plan and all ordinance requirements still apply.

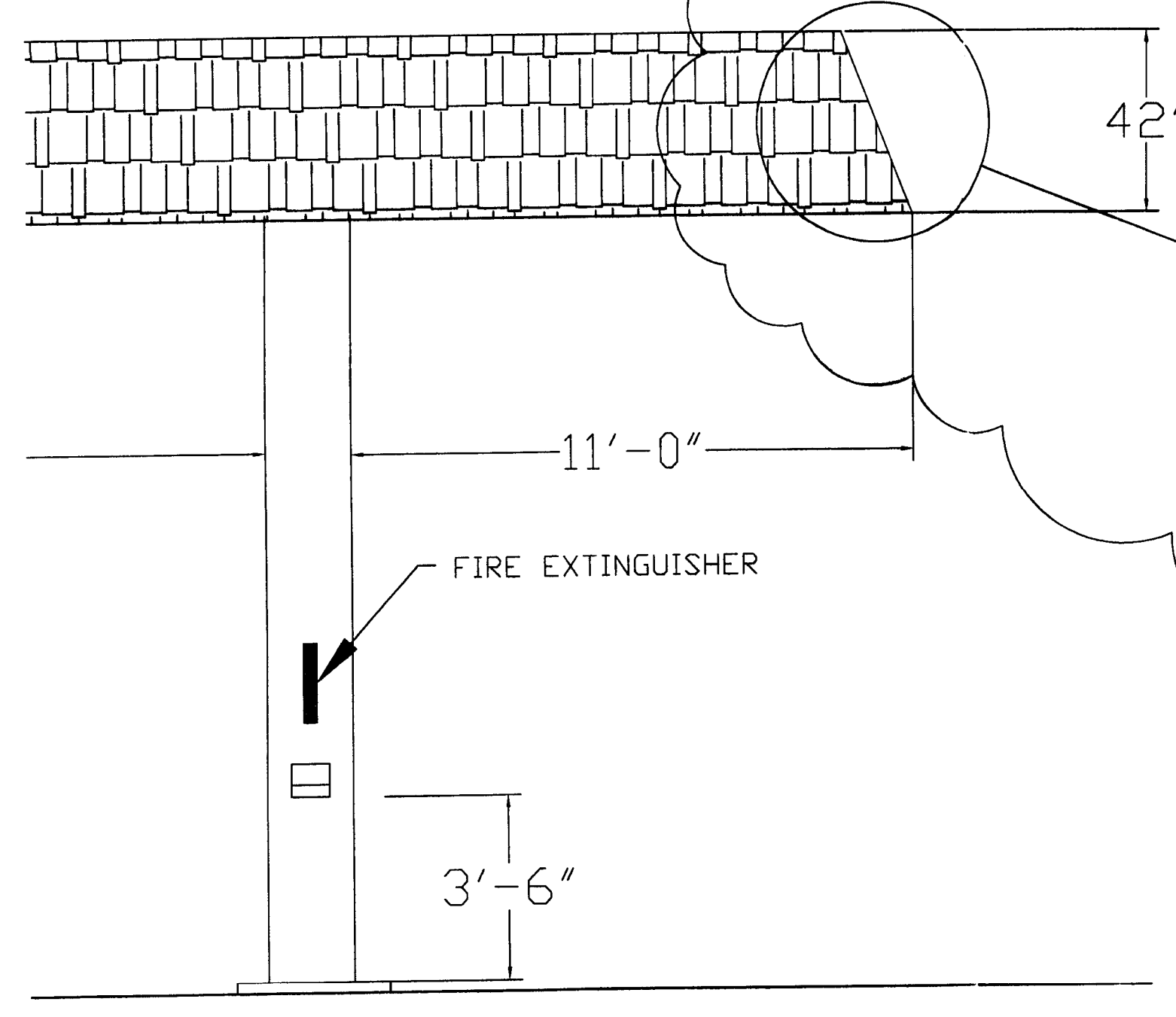
BP OIL SPECIFIED 36" HELIOS DISC- (4) TOTAL TO BE INSTALLED ON CANOPY. (SEE DETAIL 1)
CEDAR SHAKE ROOFING SHINGLES TO MATCH ROOFING ON OTHER BUILDING IN CROSSLAND PROJECT.



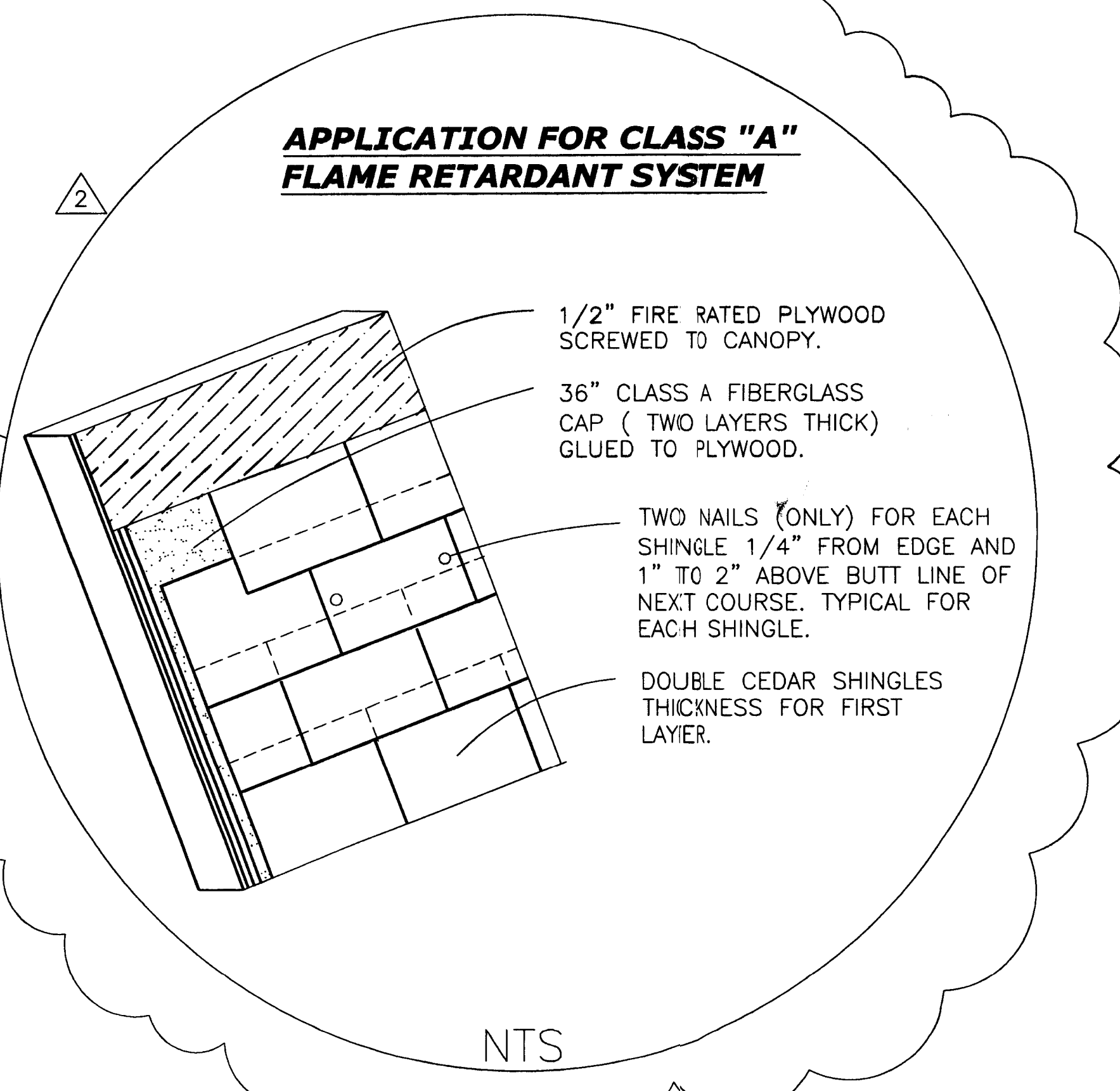
2 REAR ELEVATION
SCALE: 3/16" = 1'-0"



HELIOS DETAIL 1



NTS



NTS

Fire Retardant Application Instructions

Preliminary
For any roofing project, ensure that all decking meets the applicable code requirements. Also, remove dry rot and old flashings. Both "A & B" utilize Class "B" product.

Installation

For Class C:
Class C rated shakes or shingles shall be placed over spaced or solid sheathing same as untreated products.

For Class B:
Utilize minimum 1/2" exterior grade plywood or spaced sheathing, and fastened to code. Next, install a 36" ASTM recognized 30lb. felt along the eaves. Apply the first row of shakes as starter along the eave with no gap. Next, install a 30lb. ASTM 18" shake felt 10" back from starter shakes, then apply second or "overlay" shakes over the starter course. Apply the next 18" felt 20" back from the "first course or field material" and duplicate up the roof deck, setting each course of shakes 10" back from the previous. Finish this application with the applicable hip and ridge.

For Class A:
Utilize a minimum of 1/2" exterior grade plywood or spaced sheathing. Beginning at the eave, a 36" wide (65 lb. minimum) Class "A" fiberglass cap sheet is rolled out and nailed to prevent movement. Next, an additional cap sheet (65 lb. minimum) is applied to achieve double thickness at eave. The remainder of the deck is exposed 26" to the weather. Once the underlay is applied, interlace as described in class "B" application above. This results in a class "A" system.

Please Note:
Shakes or shingles should be applied using two fasteners. Only approved fasteners (Hot Dipped Galvanized, Stainless Steel, or Copper) should be used. Cold Rolled, Electro Plated or common fasteners are not recommended or warranted. Please check with local building officials for proper fastener length and approved types.

All material on Fire retardant Roof-Start, Main Course and Ridge need to be treated to protect your safety and warranty.

Tel: (604) 462-7116
Fax: (604) 462-7152
Toll-Free: 1 800 663-8301
Email: Sales@watkinsawmills.com



Instructions for Applying FSR Cedar Shingles as a Class "C" or "B" Roof Covering

FSR pressure-treated western red cedar shingles labeled "Class C" or "Class B" are applied over a substrate of 1/2 inch (12.7 mm) by 4 inch (102 mm) spaced sheathing boards or not less than 1/2 inch (12.7 mm) thick plywood with exterior glue which shall be installed in accordance with the applicable code.

Roof Pitch and Exposure
Proper weather exposure is important, and depends largely on roof slope. On roof slopes of 4" rise in 12" horizontal run (1/3) and steeper, the standard exposures are: 5" for 15" shingles, 5-1/2" for 18" shingles and 7-1/2" for 24" shingles. On roof slopes less than 4/12 to a minimum of 3/12, reduced exposures are recommended.

Roof Application
Shingles are normally applied in straight, single courses. Shingles must be coubled at all eaves. Butts of first-course shingles should project 1-1/2" beyond the first sheathing board. Spacing between adjacent shingles (joints) should be 1/4" to 3/8". Joints in any one course should be separated not less than 1-1/2" from joints in adjacent courses, and joints in alternate courses should not be in direct alignment.

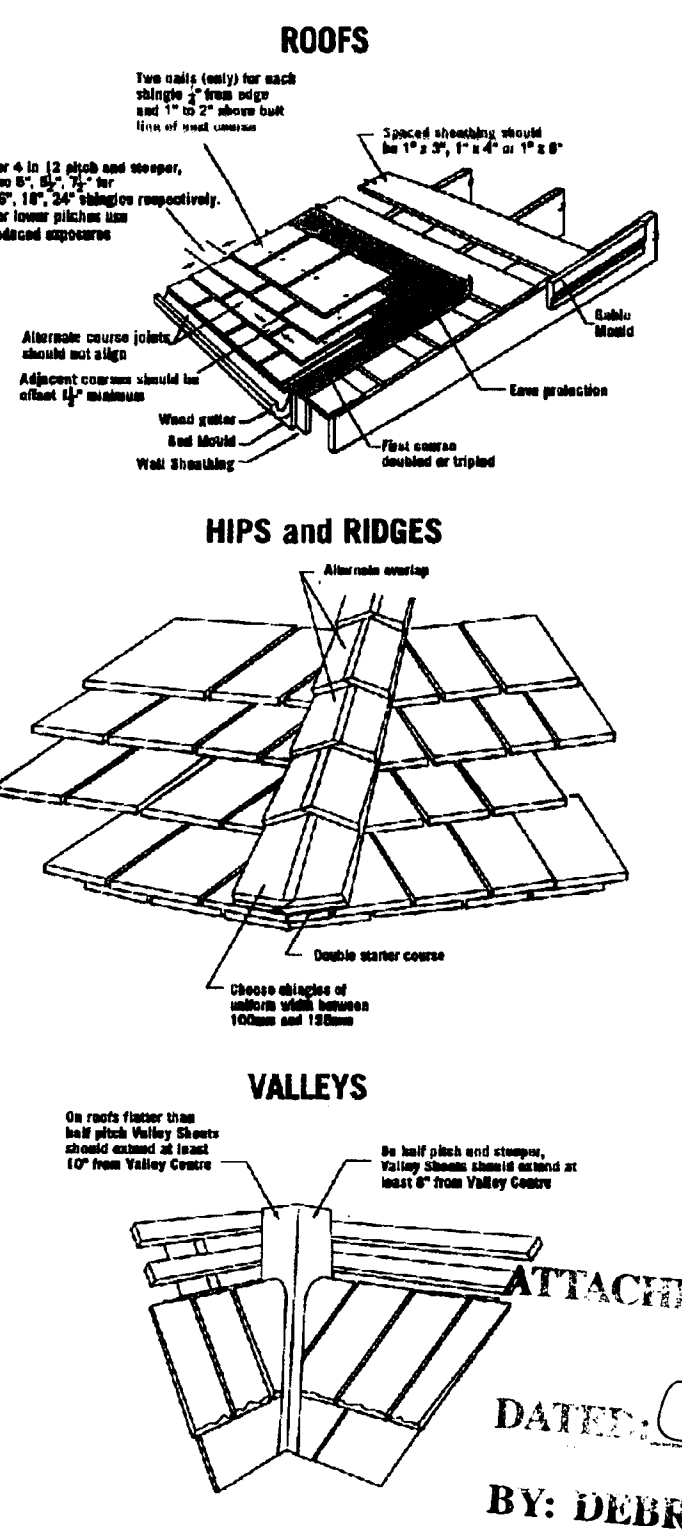
Fasteners
Hot-dipped zinc coated nails or stainless steel staples are recommended. However, any U.B.C. approved corrosion-resistant fasteners can be used. Apply each shingle with two (2) fasteners. Each fastener should be placed not more than 3/4" from the side edge of the shingle and not more than 1" above the exposure line. Use 3c (1-1/4") nails for 16" and 18" shingles, and 4c (1-1/2") for 24" shingles. In all cases, fasteners should be long enough to penetrate at least 3/4" or through the sheathing. Drive them flush, but not so that the head crushes the wood.

Valleys, Hips and Ridges
The roof valley flashing shall be not less than No. 28 gauge pre-painted baked enamel metal applied over an underlay of not less than Type 15 felt. The metal shall extend at least 1" from the center line each way. Hips and ridges can be site-bursted, or factory-formed. Weather exposure should be the same as that used in applying shingles in the field of the roof (see above), and nails should be of sufficient length (usually 8d) to firmly reach the hip and ridge shingles to the underlying sheathing. Flashing and counter-flashing should be applied as illustrated.

Appearance Matters: Both fire retardant treated and non-treated cedar shakes and shingles contain natural oils. These extractives can migrate out of the wood causing stains on the surface of the wood. These extractives may also bleed through joint or stain applications. Contact your local paint dealer for products that may help control the extractive bleeding. FSR Treatment Inc. is not responsible for any appearance defects caused by extractive bleeding.

Warning: Both raw and fire retardant treated cedar products contain a level of formic acid that can cause corrosion to unprotected metal and concrete surfaces. Pre-painted galvanized or pre-painted aluminum pipes are recommended. Initial water runoff over both raw and fire retardant cedar can cause staining. A low pressure wash of the roof immediately after application is recommended. FSR Treatment Inc. is not responsible for any direct or indirect damages caused by water runoff.

Tel: (604) 462-7116 Fax: (604) 462-7152
Toll-Free: 1 800 663-8301
Email: Sales@watkinsawmills.com
Website: www.watkinsawmills.com



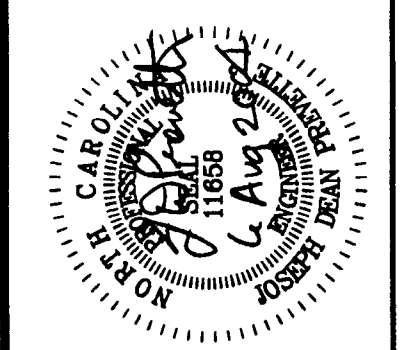
ATTACHED TO ADMINISTRATION
DATE: August 10, 2005
BY: DEBRA D. CAMPBELL

REVISION 2- ADDED SHAKE ATTACHMENT DETAIL

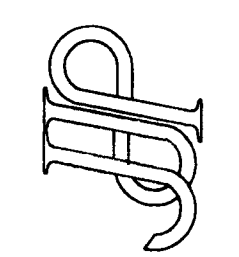
PROJECT TITLE:
MOUNTAIN ISLAND BP STATION
MARK OIL COMPANY
2211 VINNIES WAY CHARLOTTE, NC
SHEET TITLE:
CANOPY LOGO DETAILS

DATE: 05.18.05
DESIGN: J.P.
FINAL:
REVISIONS: 08-05-04
DRAWING NUMBER:
DRAWN BY: J. PREVETTE
CHECKED BY:

CANOPY EL.
SHEET # OF SHEETS:
1 OF 1



J. Dean Prevette
Professional Engineer
741 ROMANY ROAD
CHARLOTTE, N.C. 28203 - 704 622 1713



2001-03(C)