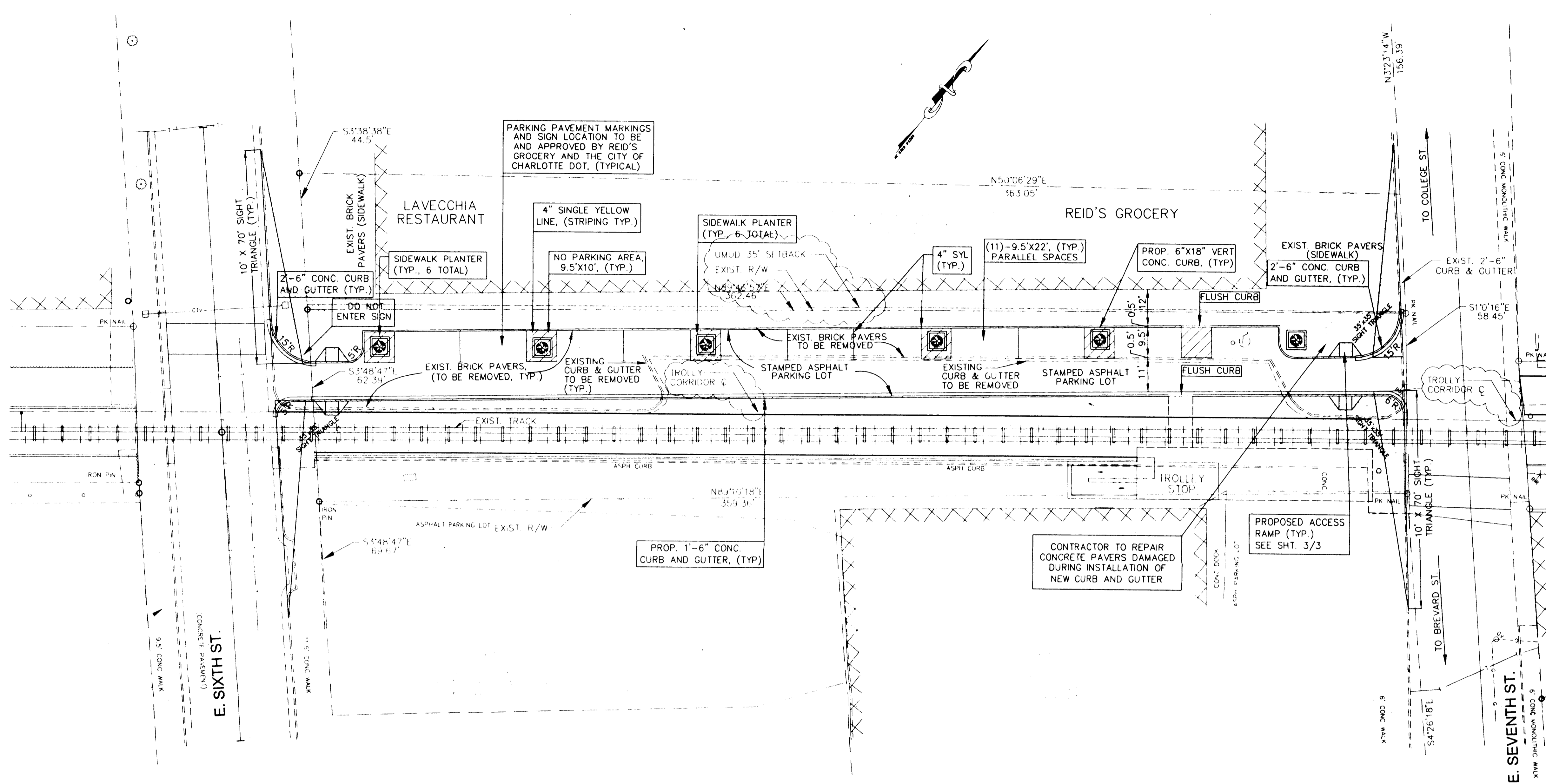
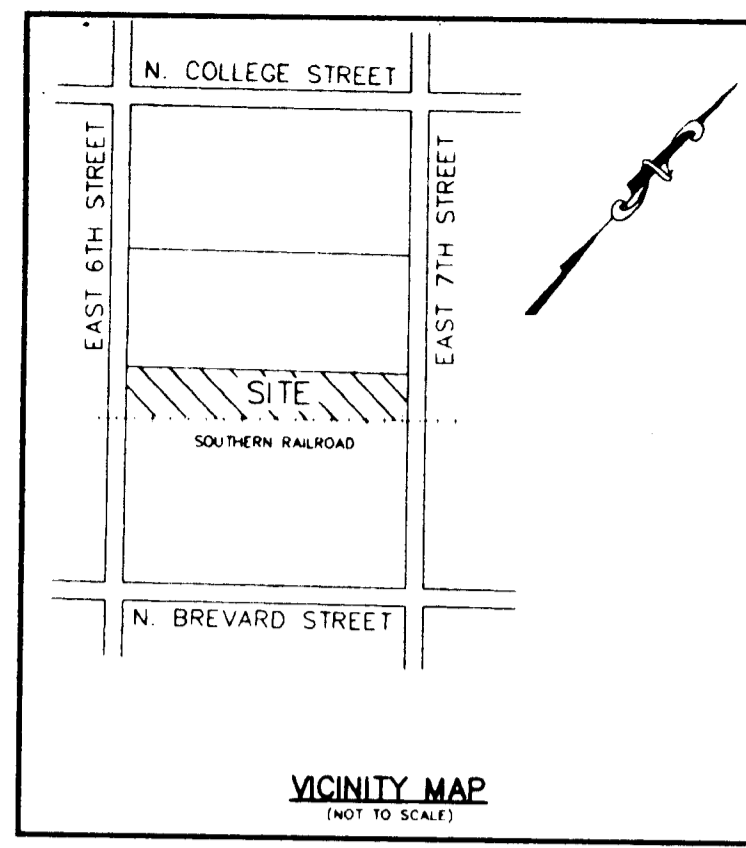


W. DICKSON & CO., INC. ALL RIGHTS RESERVED. REPRODUCTION OR USE OF THIS DOCUMENT WITHOUT WRITTEN CONSENT OF W. DICKSON & CO., INC. IS PROHIBITED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. THIS PLAN SHALL BE CONSIDERED VOID IF IT DOES NOT MATCH THE ORIGINAL DRAWING. ANY CHANGES SHALL BE INDICATED BY A REVISION TABLE.



GENERAL NOTES AS PER CITY OF CHARLOTTE TREE ORDINANCE

- TREES LOCATED WITHIN THE STREET RIGHT-OF-WAY AND THE TREE PROTECTION ZONE (BUILDING SETBACK WHERE PROPERTY ABUTS THE PUBLIC RIGHT-OF-WAY) SHALL BE PROTECTED FROM DAMAGE OR REMOVAL PER THE CITY OF CHARLOTTE TREE ORDINANCE (CHAPTER 21, CITY CODE).
- ANY PROPOSED CONSTRUCTION OR GRADING ADJACENT TO TREES OR THEIR ROOT SYSTEM MUST BE APPROVED BY THE URBAN FORESTRY STAFF OF THE CITY ENGINEERING DEPARTMENT AND/OR THE CITY ARBORIST. THIS INCLUDES THE FOLLOWING: STORM DRAINAGE, UNDERGROUND UTILITIES, DRIVEWAYS, SIDEWALKS, ETC. UTILITIES MAY BE TUNNELED IN THE ROOT ZONE AT A 24" MIN. DEPTH IF PLANS HAVE BEEN APPROVED SHOWING THE LOCATION AND METHOD.
- IN SOME CASES, PERMITS MAY BE ISSUED TO ALLOW TEMPORARY (30 DAYS) ACCESS ACROSS THE TREE PROTECTION ZONE. MULCH, 4" TO 6" DEEP, WILL BE REQUIRED TO ACT AS A CUSHION TO PREVENT SOIL COMPACTION. DO NOT STORE MATERIALS OR PARK MACHINERY IN THE PROTECTED ROOT ZONE.
- NO FILL DIRT DEEPER THAN ONE INCH (1") SHALL BE ALLOWED UNDER THE DRIP LINE OF THE TREE.
- NO GRUBBING IS PERMITTED IN THE PROTECTED ROOT ZONE. STUMPS, DEAD TREES AND ANY SHRUB GROWTH TO BE REMOVED SHALL BE CUT FLUSH OR GROUND OUT.
- DO NOT REMOVE BARRIERS UNTIL COMPLETION OF PROJECT, AND THEN FILL ALL HOLES.
- ROOT PRUNING SHALL BE KEPT TO AN ABSOLUTE MINIMUM. THE CUT SHALL BE MADE NO MORE THAN SIX INCHES (6") BEHIND THE BACK OF THE CURB AND TO A DEPTH OF TWO (2) FEET BELOW THE SOIL SURFACE. ROOT PRUNING EQUIPMENT SHALL BE KEPT SHARP TO ENSURE THAT ROOTS ARE CUT CLEANLY AND ARE NOT BROKEN OR TORN BY DULL OR UNSUITABLE EQUIPMENT. ANY EXPOSED ROOTS SHALL BE COVERED WITH SOIL AS SOON AS POSSIBLE TO MINIMIZE EXPOSURE TO AIR.
- PRUNING OF EXISTING TREES SHALL BE DONE ACCORDING TO NAA (NATIONAL ARBORISTS ASSOCIATION) STANDARDS IN A MANNER THAT PRESERVES THE NATURAL CHARACTER OF THE CROWN. A PERMIT IS REQUIRED FOR PRUNING TREES IN THE STREET RIGHT-OF-WAY AND TREE PROTECTION ZONE.
- TREES SHALL BE FERTILIZED BY THE DRILL HOLE OR DEEP ROOT LIQUID INJECTION METHOD PER NAA STANDARDS.
- TREES THAT DIE AS A RESULT OF THE CONTRACTOR'S NEGLIGENCE TO THESE SPECIFICATIONS SHALL BE REMOVED AND REPLACED WITH A NEW TREE PER CITY STANDARD 40.14 AND/OR 40.15 AS FOLLOWS:

DEAD OR DYING TREE	NEW (REPLACEMENT) TREE
LESS THAN 12 INCHES DBH	ONE (1) 4" CALIPER TREE
12-20 INCHES DBH	TWO (2) 4" CALIPER TREES
21-28 INCHES DBH	THREE (3) 4" CALIPER TREES
29-36 INCHES DBH	FOUR (4) 4" CALIPER TREES
MORE THAN 36 INCHES DBH	FIVE (5) 4" CALIPER TREES

PLANTING TREES & SHRUBS:

- DIG PLANT POCKET FOR TREES A MINIMUM OF 24" WIDE AND 18" DEEP. USE 1/2" SAND OR OTHER SPECIFIED FILL.
- DIG PLANT POCKET FOR SHRUBS A MINIMUM OF 12" WIDE AND 12" DEEP. USE 1/2" SAND OR OTHER SPECIFIED FILL.
- LOOSEN SUBSOIL TO A DEPTH OF 4" LOOSEN EARTH ON SIDES OF POCKET TO BREAK THE GLAZE CAUSED BY DIGGING.
- SET PLANTS AT THE SAME DEPTH AS GROWN AT NURSERY.
- FILL PREPARED SOIL TO 1/2" THE DEPTH OF BALL, PACK FIRMLY, AND SETTLE WITH WATER.
- LOOSEN AND REMOVE BURLAP AND ALL LACING FROM UPPER HALF OF BALL.
- BACKFILL WITH PREPARED SOIL WHICH, AFTER COMPACTION, HAS SAUCER SHAPE POCKET AROUND PLANT PERIMETER TO HOLD WATER.
- COVER PLANT POCKET AREA WITH 5"-6" MULCH.
- PRUNE, WRAP & BRACE AS SPECIFIED.
- THOROUGHLY WATER ALL PLANTS ON A WEEKLY BASIS UNTIL ESTABLISHED.

SPECIFICATIONS:

- ALL SPECIFICATIONS FOR THE MEASUREMENTS, QUALITY, AND INSTALLATION OF TREES AND SHRUBS SHALL BE IN ACCORDANCE WITH THE "AMERICAN STANDARDS FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERIES.
- THE LANDSCAPE ARCHITECT AND/OR LANDSCAPE DESIGNER RESERVES THE RIGHT TO SELECT PLANT MATERIALS IN NURSERY.
- ALL PLANTING OPERATIONS SHALL BE UNDER THE SUPERVISION OF AN EXPERIENCED PLANTSMAN.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE FULL YEAR TO BE IN A HEALTHY GROWING CONDITION. PLANT MATERIALS WHICH DO NOT FULFILL THIS GUARANTEE SHALL BE REPLACED AT NO COST TO THE OWNER. REPLACEMENT SHALL BE GUARANTEED THROUGHOUT THE ORIGINAL GUARANTEE PERIOD. PLANTS THAT DIE WITHIN 30-60 DAYS SHALL BE REPLACED IMMEDIATELY.
- ALL PLANT MATERIALS, TOPSOIL, PINEBARK MULCH, PINE NEEDLES, FERTILIZERS, ETC., SHALL BE SUBJECT TO OWNERS APPROVAL. REJECTED MATERIALS SHALL BE REMOVED FROM SITE WITHOUT DELAY.
- BEDS CONTAINING BED AREAS SHALL BE TILLED TO A DEPTH OF 12" AND THE SOIL CONDITIONED BY CLEAN WELL ROTTED MANURE. IF EXISTING SOIL IS CONSIDERED UNDESIRABLE BY OWNER OR DESIGNER, IT SHALL BE REPLACED WITH APPROVED TOPSOIL.
- BEDS SHALL BE TREATED TO ELIMINATE WEEDS AND WEED SEEDS.
- QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF CONTRACTOR IN ESTIMATING ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN, AND SHALL CHECK QUANTITIES ON PLAN PRIOR TO BIDDING.
- PLANTINGS AT ENTRANCE / EXITS MUST BE LOCATED AND/OR INSTALLED IN A MANNER SO AS NOT TO RESTRICT SIGHT DISTANCE.
- MINIMUM TREE SIZE IS 2" INCH CALIPER, 8 FEET TALL. ALL MULTI-STEM PLANTS MUST BE TREE FORM (MAXIMUM 3 TO 5 TRUNKS) AND MINIMUM 8 FEET TALL.
- FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL, SUB-BASE AND CONSTRUCTION DEBRIS. REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL/PLANTING MIX - OR - UNCOMPACT AND AMEND TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES.
- THIS PARKING IS ALLOWED ON A TEMPORARY BASIS AND WILL BE ELIMINATED ONCE LIGHT RAIL OR ADDITIONAL TROLLEY NEEDS ARISE ALONG THIS CORRIDOR.
- THE PETITIONER WILL REMOVE ALL PARKING LOT IMPROVEMENTS WITHIN 60 DAYS AFTER THE CITY ISSUES A NOTICE TO DO SO.

GENERAL NOTES

TREE GRATES AND ASSOCIATED IRRIGATION SYSTEMS ARE REQUIRED AT VARIOUS LOCATIONS IN THE UPTOWN MIXED USE DEPARTMENT (UMUD) TO COMPLY WITH THE UPTOWN STREETScape GUIDELINES. THE GRATES WILL BE REPLACED WITH TEMPORARY TREE PLANTERS. THE PLANTERS WILL BE WATERED PERIODICALLY BY THE CITY. EXISTING HOSE BIBS CAN BE FOUND ALONG THE EXISTING BUILDING. ALL OTHER INSTALLATIONS OF IRRIGATION SYSTEMS WITHIN THE RIGHT-OF-WAY OF CITY OR STATE MAINTAINED STREETS REQUIRE AN ENCROACHMENT AGREEMENT EXECUTED THROUGH CDOT OR NCDOT. THE CITY'S ENCROACHMENT AGREEMENT REVIEW/APPROVAL PROCESS MAY INCLUDE ADDITIONAL REQUIREMENTS. CONTACT CDOT OR NCDOT FOR ADDITIONAL INFORMATION INCLUDING COST, SUBMITTAL, AND LIABILITY INSURANCE COVERAGE REQUIREMENTS.

A DRAINAGE SYSTEM IS REQUIRED AS SHOWN FOR ALL IRRIGATED PLANTING AREAS LOCATED ADJACENT TO STREET. ALL IRRIGATION/DRAINAGE SYSTEMS NOT ASSOCIATED WITH TREE PITS AT LOCATIONS IN COMPLIANCE WITH THE UPTOWN STREET GUIDELINES, REQUIRE AN ENCROACHMENT AGREEMENT EXECUTED THROUGH CDOT OR NCDOT FOR CITY OF STATE MAINTAINED ROADS, RESPECTIVELY. CONTACT CDOT OR NCDOT FOR ADDITIONAL INFORMATION INCLUDING COST, SUBMITTAL, AND LIABILITY INSURANCE COVERAGE REQUIREMENTS, AND LIABILITY INSURANCE COVERAGE REQUIREMENTS.

PLANTING MIX:
PLANTING MIX WITHIN THE PLANTER SHALL BE NATURAL, FERTILE, AGRICULTURAL TOPSOIL, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT MAY BE DEVELOPED BY AMENDING THE EXISTING SOIL OR REMOVING THE EXISTING SOIL AND REPLACING WITH NEW SOIL. IT SHALL BE OF UNIFORM COMPOSITION THROUGHOUT, WITH ADMIXTURE OF SUBSOIL. IT SHALL BE FREE OF STONES, LUMPS, LIVE PLANTS AND THEIR ROOTS, STICKS, AND OTHER EXTRANEOUS MATTER. PLANTING MIX SHALL NOT BE USED WHILE IN A FROZEN OR MUDDY CONDITION. UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS THE FOLLOWING SPECIFIED PERCENTAGES OF CONSTITUENTS:
CLAY - MINIMUM 10% - MAXIMUM 30% CLAY (RED CLAY, WELL PULVERIZED); CLAY SHALL BE STERILE
SILT - MINIMUM 30% - MAXIMUM 50%
COARSE SAND - MINIMUM 30% - MAXIMUM 45%. COARSE SAND AND FREE OF ROCK, 1.0mm TO 0.5mm IN DIAMETER
ORGANIC MATERIAL - MINIMUM 5% ORGANIC MATERIAL IS DEFINED AS COMPOST/HUMUS SUCH AS SAWDUST OF LEAF MOLD THAT HAS COMPLETED THE DECOMPOSITION PROCESS. PERCENTAGE OF ORGANIC MATERIAL SHALL BE DETERMINED BY LOSS ON IGNITION, OF MOISTURE FREE SAMPLES DRIED AT 65 DEGREES
PLANT MIX SHALL HAVE AN ACIDITY RANGE OF PH 5.5 TO PH 7.0
ELEMENTS - THE PLANTING MIX SHALL HAVE THE FOLLOWING NUTRIENTS AT THE SPECIFIED PERCENT BASE SATURATION, TO BE DETERMINED BY SOIL TEST REQUIRED BY THE CITY OF CHARLOTTE:
CALCIUM - 55% TO 80%
MAGNESIUM - 10% TO 30%
POTASSIUM - 5% TO 8%
A SAMPLE OF THE PROPOSED PLANTING MIX SHALL BE SUBMITTED TO A REPRESENTATIVE OF CITY/COUNTY ENGINEERING DEPARTMENT 15 CALENDAR DAYS PRIOR TO INSTALLATION AND BE APPROVED PRIOR TO INSTALLATION.

INSPECTION SCHEDULE

DESCRIPTION	DATE
3 PER CITY COMMENTS	2/26/01
2 PER CITY COMMENTS	1/11/01
1 ADDED SIGHT TRIANGLES	1/26/01

LANDSCAPE SCHEDULE

SCHEDULE FOR LANDSCAPE INSPECTIONS (BUT NOT LIMITED TO THE FOLLOWING):

- SUBDRAINAGE INSPECTION
- TREE PIT/WELL OR PLANTING STRIP INSPECTION
- SOIL MIX APPROVALS/INSPECTIONS
- TREE APPROVALS/INSPECTIONS - PRIOR TO PURCHASING THE TREES, TO BE MADE BY THE CITY ARBORIST OR ASSISTANT CITY ARBORIST - 336-4262. THIS MAY INCLUDE PHOTO APPROVAL OR PARTICIPATION IN TAGGING THE TREES
- TREE PLANTING INSPECTION
- IRRIGATION SYSTEM INSPECTION
- FINAL WALK THROUGH

INSPECTIONS TO BE PERFORMED BY THE LAND DEVELOPMENT DIVISION (URBAN FORESTRY SECTION) EXCEPT FOR THE TREE APPROVALS AS NOTED

STANDARDS PROVIDED IN THE LAND DEVELOPMENT STANDARDS MANUAL WILL NEED TO BE FOLLOWED FOR PLANTING METHODS TO BE USED IN TREE PIT PLANTING

SITE SUMMARY

EAST SEVENTH STREET
TAX NUMBER: 080-024-13
DEED BOOK: 8693, PAGE 402
ZONED: UMUD
TOTAL SITE AREA: 0.621 ACRES

NOTES:

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR TO COORDINATE ALL UTILITY RELOCATIONS, WATER LINES, STORM DRAINAGE, LIGHT POLES, PUMPHOUSES, ETC. WITH APPROPRIATE UTILITY COMPANIES AND THE CITY OF CHARLOTTE.
- CONTRACTOR TO COORDINATE ALL CONSTRUCTION IN R/W'S WITH NCDOT AND CITY OF CHARLOTTE. PLEASE CONTACT GUS JORDI (CDOT) AT 336-2261 FOR A RIGHT-OF-WAY USE PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY.
- ALL TRAFFIC SIGNS, STRIPE PAINTING ETC. TO CONFORM TO THE PRINCIPLES OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
- THERE IS NO NCGS MONUMENT WITHIN 2000' OF THIS SITE.
- ALL CONSTRUCTION TO CONFORM TO CHARLOTTE-NECKLEBURG LAND DEVELOPMENT STANDARDS.
- THE OPTIONAL COMPONENT OF THIS PROJECT IS TO ALLOW THE PROPOSED TEMPORARY PARKING IN THE TROLLEY/RAIL CORRIDOR SETBACK WHICH IS ONLY TO BE UTILIZED FOR TRANSIT RELATED FACILITIES NECESSARY TO SUPPORT A TRANSIT SYSTEM.
- THIS SITE WILL BE CHANGED FROM UMUD (UPTOWN MIXED USE DISTRICT) TO UMUD-O (UPTOWN MIXED USE DISTRICT OPTIONAL).

CONTRACTOR TO COORDINATE CURB ELEVATIONS WITH CITY ENGINEERING

ALL EXISTING STORM DRAINAGE ON SITE IS TO BE VERIFIED IN FIELD FOR LOCATION, SIZE AND INVERT INFORMATION. THE CONDITION OF THE PIPE AND/OR THE EXISTING INVERT ELEVATIONS AT THE PROPOSED TIE IN POINTS MAY REQUIRE THE CONTRACTOR TO REPLACE THE EXISTING PIPE ON SITE WITH EQUIVALENT NEW PIPE TO ACCOMMODATE THE INTENDED STORM DRAIN DESIGN. CONTRACTOR TO COORDINATE WITH ARCHITECT/ENGINEER & CITY OF CHARLOTTE.

THE DEPARTMENT OF TRANSPORTATION WILL NEED AN ENCROACHMENT AGREEMENT FOR ANY NON-STANDARD ITEMS (PAVERS, IRRIGATION, ETC.) IN THE RIGHT-OF-WAY. CALL MICHAEL DAVIS AT 336-4830.

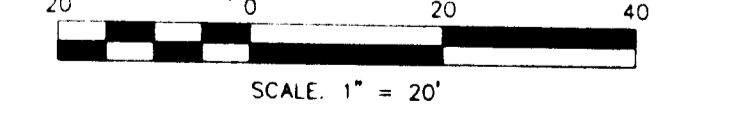
INTERIOR & EXTERIOR SIGNS AND PAVEMENT MARKINGS FOR PARALLEL SPACES TO BE SUBMITTED TO C.D.O.T. FOR REVIEW & APPROVAL PRIOR TO INSTALLATION.

PLANT SCHEDULE

SYMBOL	COMMON NAME	BOTANICAL NAME	QNTY	SIZE	SPACING	ROOT	NOTE
TREES:							
	CRAPMYRTLE	LAGERSTROEMIA INDICA "WM TOOVEY"	6	8' HT	N/A	B&B	3 TO 5 STEMS (5 STEMS MAXIMUM) MATCHED SPECIMENS LIMBED UP TO 6" (LOWER LIMBS)
GROUND COVER:							
	PERIWINKLE	VINCA MINOR	216	N/A	12" oc	2" POTS	

APPROVED BY CITY COUNCIL

DATE 03/19/01



2001-010

REV. NO.	DESCRIPTION	DATE
3	PER CITY COMMENTS	2/26/01
2	PER CITY COMMENTS	1/11/01
1	ADDED SIGHT TRIANGLES	1/26/01

W. DICKSON
Engineers • Planners • Surveyors
Landscape Architects

616 COLONNADE DRIVE
CHARLOTTE, NC 28205
(704) 334-5348

Asheville, NC
Atlanta, GA
Boca Raton, FL
Charlotte, NC
Columbia, SC
Hickory, NC
Raleigh, NC
Wilmington, NC

RELEASED FOR: _____ DATE: _____
APPROVALS: _____
BIDDING: _____
CONSTRUCTION: _____
RECORD DWS: _____

REID'S PARALLEL PARKING
FOR
BANK OF AMERICA
525 NORTH TRYON STREET
CHARLOTTE, NC 28255

LAYOUT AND LANDSCAPE PLAN