



127 W. Worthington Avenue  
Suite 206  
Charlotte, NC 28203  
704.376.6000  
Fax 704.376.5550  
www.narmourwright.com  
email: nwa@narmourwright.com

Not for Construction,  
Final Pricing, or Permit

**Dilworth at Lexington**  
Townhomes on  
Lexington and Oriole

DATE:  
October 12, 2001

REVISIONS:  
February 14, 2001  
January 6, 2002

PROJECT NUMBER:  
00-105  
DRAWN BY:  
JDC/KDM  
CHECKED BY:  
MSE

**Architectural  
Site Plan**

**A1.0**  
2001-027



127 W. Worthington Avenue  
Suite 206  
Charlotte, NC 28203  
704.376.6000  
Fax 704.376.5550  
www.narmourwright.com  
email: nwa@narmourwright.com

Not for Construction,  
Final Pricing, or Permit

**Townhomes on  
Lexington and Oriole**

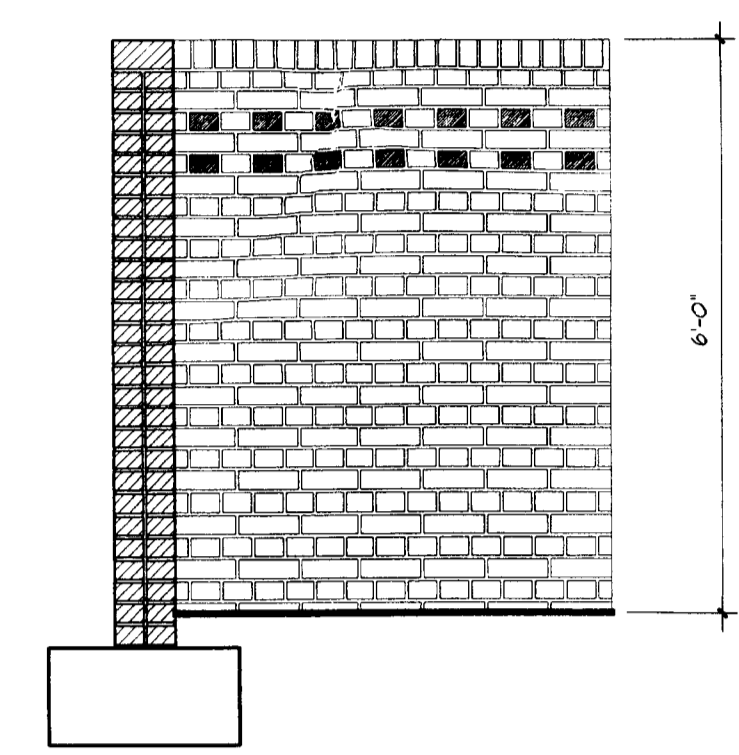
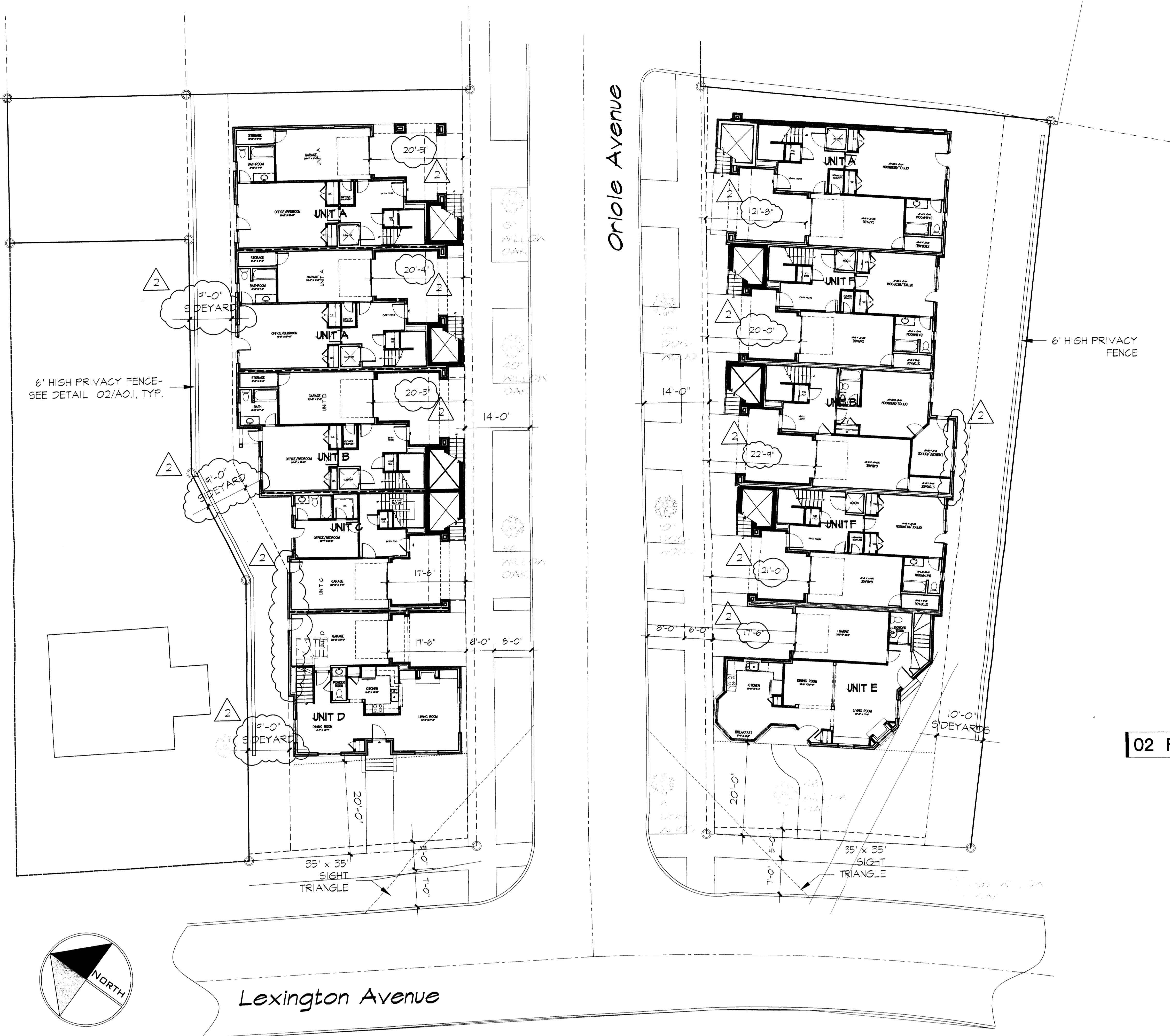
DATE:  
May 8, 2001

REVISIONS:  
February 14, 2001  
March 25, 2001  
January 5, 2002

PROJECT NUMBER:  
00-105  
DRAWN BY:  
NWA  
CHECKED BY:  
NWA

**Technical  
Data Plan**

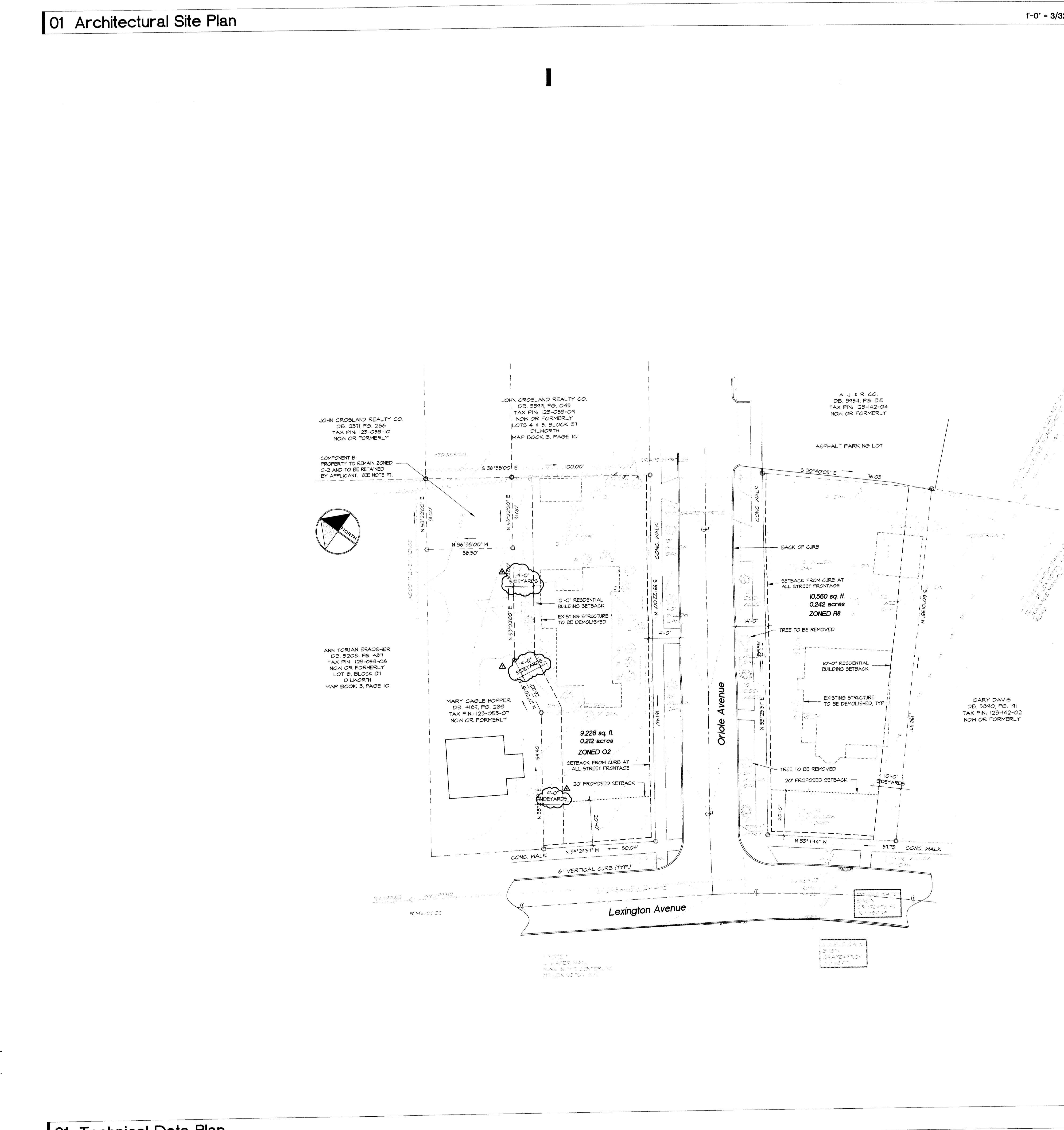
**TD1**

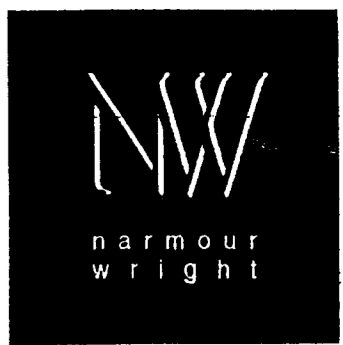


**DEVELOPMENT DATA SUMMARY**

TOTAL SITE AREA	28.4 ACRES
EXISTING ZONING	RM-10
PROPOSED ZONING	MUD (C2)
PROPOSED DENSITY	10 TOWNHOMES
REQUIRED OPEN SPACE	NOT REQUIRED (150,000 SF)
PROPOSED PARKING	2 CARSPER UNIT (22 TOTAL) (ONE GARAGE/ONE DRIVE)

- Grading permits in accordance with Ord. 18 of the City Code.
- No Storm Water Detention is required due to site of project. The rezoning is included in the existing Storm Water Services Myrtle Capital Improvement Project (CIP) area. The applicant will work with the City Storm Water Services Project Manager to coordinate construction planning with the CIP.
- Driveway permits in accordance with the Charlotte Streets Regulations. All sites shall conform to the Zoning Ordinance.
- Signage shall be permitted as regulated by the Zoning Ordinance.
- A fire hydrant is located within 150' of the most remote location of the project.
- The property consists of two components, the most residential portion consisting of 484 acres and another portion consisting of 0.21 acres to be referred to as "Component B". Component B shall be accessed by a private pedestrian way to be located in the rear and extending to Oriole Avenue in accordance with MUD provisions. The area of the lot is for future connection with the properties that have street frontage on either Horseshoe Street or Lexington Avenue, or for use on Lexington Avenue with the most residential portion with that such use shall be determined in the future. No unit development shall occur on the lot in conjunction with the most residential portion of this rezoning. The property with Component B shall be all Mixed Use Development District uses permitted by right that are also permitted by right in the Official District for C-2 development. The only property uses for the most residential portion shall be dwelling units together with all accessory and incidental uses normal to the principle dwelling units.
- All minimum development standards established for the Mixed Use Development District of Charlotte's City Zoning Ordinance shall be met.
- During final site and architectural design error modifications may be allowed which adhere to all applicable requirements of the rezoning plan. Including variation for building footprints, except that all minimum setbacks shall be maintained. Final site and architectural design and construction shall be consistent with the rezoning. As part of its right to create error modifications, applicants may reduce the number of developments only from the maximum allowable number of ten to not less than eight units.
- Each dwelling unit shall be allowed one garage which shall be accessible only from Oriole Avenue. No garage shall protrude beyond the main building structures. A minimum standard of loading from doors a minimum of 3'-0" in front of garages shall be provided. The parking pad dimensions between the garage face and the interior edge of sidewalk shall be no less than 10'-0".
- A maximum building height of 40' shall be allowed according to the height definition of Charlotte's City Zoning Ordinance.
- Applicant has met with City Engineer Don McQueen. Due to utility relocation in accordance with removal of certain trees providing tree and vegetation retaining trees are not. Applicant will submit a tree preservation plan to the Charlotte Division for demolition permit issuance. Special construction standards will be utilized for both driveway and buildings in order to avoid sewer root damage to both existing trees on-site and neighboring trees on-site and neighboring lots.
- No unit shall include use of 1600 recycled rebar feet.
- The main exterior materials shall include color stone siding and brick. The main roofing materials shall include architectural shingles. Some metal roofing may be utilized. In no case shall the exterior include siding of aluminum or vinyl.
- Applicant acknowledges that the property is under the jurisdiction of the Charlotte Historic District Commission and that site and architectural design shall be a result of approval of the body subsequent to rezoning.
- The rear elevation of the building on the parcel number 125-055-05 shall conform to historical guidelines on the second or third floor.
- Building shall be setback a minimum of 14' from existing back of curb except Lexington Avenue where the setback shall be established as 20' from the existing right of way line.
- Any proposed street sidewalks outside of the existing street right-of-way shall be reserved by agreement for the City of Charlotte.





127 W. Worthington Avenue  
 Suite 206  
 Charlotte, NC 28203  
 704.376.6000  
 Fax 704.376.5550  
 www.narmourwright.com  
 email: nwa@narmourwright.com

For Public Hearing  
 Petition # 01-027

Not for Construction,  
 Final Pricing, or Permit

Townhomes on  
 Lexington and Oriole

DATE:  
 January 04, 2001

REVISIONS:

△ February 16, 2001

PROJECT NUMBER

00-105

DRAWN BY:

NWA

CHECKED BY:

NWA

APPROVED BY CITY COUNCIL

DATE 1/10/01

Architectural  
 Elevations

A0.2



03 Schematic Streetscape- Elevation From Oriole Avenue

Not To Scale



02 Schematic Rear Elevation - North Building

Not To Scale



01 Schematic Streetscape- Elevation Facing Lexington

Not To Scale