

NOTES: E.W.T. HARRIS BLVD. & THE PLAZA MINI-STORAGE SITE

GENERAL PROVISIONS
 Unless more stringent standards are established by the Technical Data Sheet or these Development Standards, all development standards established under the Mecklenburg County Zoning Ordinance (the "Ordinance") for the B-D zoning district classification shall be followed in connection with development taking place on the site.

The configurations, placements and sizes of the buildings outlined on the Schematic Site Plan below are schematic in nature and subject only to the provisions set forth below under Architecture Controls, may be altered or modified during design development and construction document phases within the maximum building envelope lines established on this Technical Data Sheet. Parking layouts may also be modified to accommodate final building locations.

PERMITTED USES
 1. The Site may only be used for a self-storage facility. The Petitioner also reserves the right to any accessory uses associated with this self-storage facility that are permissible under the Ordinance.

BUFFERS
 1. Buffer areas established on this Technical Data Sheet for this Site shall conform to the standards of Section 12.302 of the Ordinance, subject, however, to the provisions of Section 12.304 thereof and subject further to any wider buffers which are established on this Technical Data Sheet.

SETBACKS, SIDE YARDS AND REAR YARDS
 1. Unless wider areas are established on this Technical Data Sheet, all buildings constructed within the Site shall satisfy or exceed the setback, rear yard and side yard requirements established under the Ordinance for the B-D zoning district.

SCREENING AND LANDSCAPED AREAS
 1. Screening shall conform with the standards and treatments specified in Section 12.303 of the Ordinance. Landscaping shall be planned and approved to accommodate the development taking place on the Site. All landscaping will meet or exceed requirements of the Ordinance.

PARKING
 1. Parking areas depicted on this Technical Data Sheet may vary in size and location but in all events, off-street parking will meet the minimum standards established under the Ordinance.

LIGHTING
 1. A uniform lighting system will be employed throughout the Site.

SIGNS
 1. All signs placed on the Site will be erected in accordance with the requirements of the Ordinance. All signs will not exceed 100 square feet each.

SIDEWALKS
 1. A 5-foot sidewalk shall be installed along the Site's frontage on Harris Boulevard, if allowed by NCDOT. It shall be within the purview of the City of Charlotte Engineering Department to determine whether NCDOT will allow sidewalks. Such sidewalk to be located within the public right-of-way and to be separated from the curb by an 8-foot planting strip also located in the public right-of-way.

ACCESS POINTS (DRIVEWAYS)
 1. The number of vehicular access points to the Site shall be limited to the one access point depicted on the Technical Data Sheet on E.W.T. Harris Boulevard. Exit only onto The Plaza.

FIRE PROTECTION
 1. Adequate fire protection in the form of fire hydrants will be provided to the Mecklenburg County Fire Marshal's specifications. Plans for each building will be submitted to the Fire Marshal's office for approval before the construction of this building commences.

ARCHITECTURAL CONTROLS
 1. Building height shall not exceed one story. Perimeter walls shall not exceed an average height of 12 feet with all architectural features below 20 feet. All buildings shall be located within perimeter walls.

STORM WATER MANAGEMENT
 1. Storm water runoff from the Site will be managed through proven techniques which satisfy the standards, if any, imposed by the Mecklenburg County Engineering Department.

PUBLIC ROADWAY IMPROVEMENTS
 1. Curb and gutter currently exists along E.W.T. Harris Boulevard and The Plaza. Curb cut at the petitioners expense, to be made for entrance and exit drive.

OPERATIONS
 1. The operation/facility will have only one (1) occupancy license.

AMENDMENTS TO REZONING PLAN
 1. Future amendments to the Technical Data Sheet and these Development Standards may be applied for by the then Owner or Owners of the parcel or parcels involved in accordance with the provisions of Chapter 6 of the Ordinance.

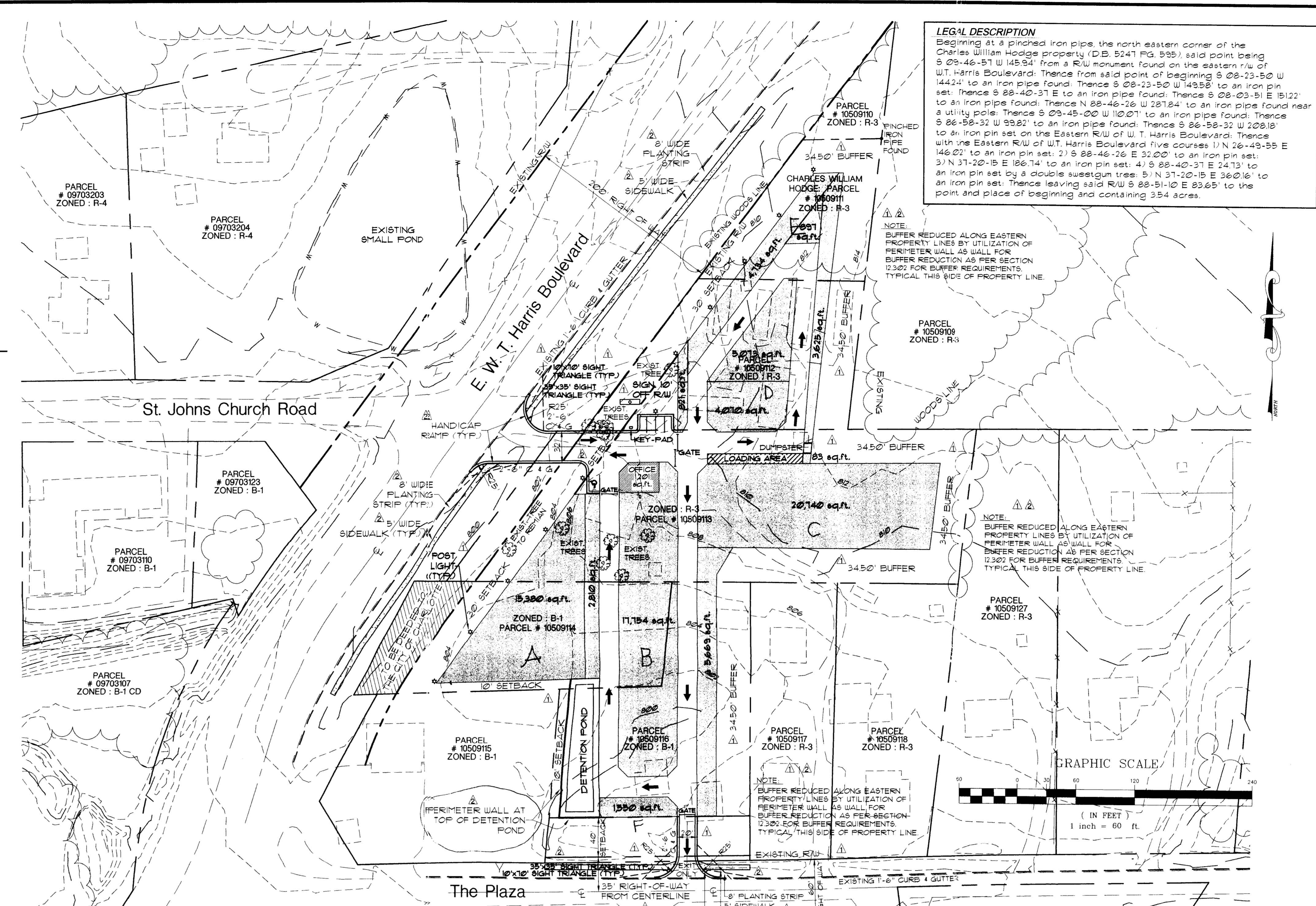
BINDING EFFECT OF THE REZONING APPLICATION
 1. If the Petitioner's Rezoning Petition is approved, the development program established under these Development Standards, the Technical Data Sheet and other supportive documents shall, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and the current and subsequent owners of the Site and their respective heirs and devisees, personal representatives, successors in interest and assigns.

STORM WATER MANAGEMENT
 2. The detention pond indicated on the Technical Data Sheet shall be a facility designed to provide both water quality and storm water detention for the Site.

PUBLIC ROADWAY IMPROVEMENTS
 2. No work by tenants will be allowed outside or inside units except common practices in storing contents.

AMENDMENTS TO REZONING PLAN
 2. Business hours will be limited to 7:00 a.m. to 7:00 p.m. Monday through Saturday and 9:00 a.m. to 5:00 p.m. Sunday. No on-site management will live on property.

BINDING EFFECT OF THE REZONING APPLICATION
 2. Throughout these Development Standards, the terms "Petitioner" and "Owners" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of the Petitioner and the Owners.



STORM WATER MANAGEMENT

1. Storm water runoff from the Site will be managed through proven techniques which satisfy the standards, if any, imposed by the Mecklenburg County Engineering Department.

2. The detention pond indicated on the Technical Data Sheet shall be a facility designed to provide both water quality and storm water detention for the Site.

3. The perimeter wall shall extend around entire detention pond such that the pond is screened from view of vehicular traffic along Harris Boulevard and The Plaza.

4. Storm water detention will not be located in the buffer areas or setbacks.

PUBLIC ROADWAY IMPROVEMENTS

1. Curb and gutter currently exists along E.W.T. Harris Boulevard and The Plaza. Curb cut at the petitioners expense, to be made for entrance and exit drive.

OPERATIONS

1. The operation/facility will have only one (1) occupancy license.

2. No work by tenants will be allowed outside or inside units except common practices in storing contents.

3. Business hours will be limited to 7:00 a.m. to 7:00 p.m. Monday through Saturday and 9:00 a.m. to 5:00 p.m. Sunday. No on-site management will live on property.

AMENDMENTS TO REZONING PLAN

1. Future amendments to the Technical Data Sheet and these Development Standards may be applied for by the then Owner or Owners of the parcel or parcels involved in accordance with the provisions of Chapter 6 of the Ordinance.

BINDING EFFECT OF THE REZONING APPLICATION

1. If the Petitioner's Rezoning Petition is approved, the development program established under these Development Standards, the Technical Data Sheet and other supportive documents shall, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and the current and subsequent owners of the Site and their respective heirs and devisees, personal representatives, successors in interest and assigns.

2. Throughout these Development Standards, the terms "Petitioner" and "Owners" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of the Petitioner and the Owners.

"FOR PUBLIC HEARING"
 PETITION NUMBER 01-029

SITE DATA	
PROP. SITE USAGE - STORAGE	APPROX. : 484 ACRES
PROP. ZONING - B-D (DISTRIBUTIVE BUSINESS)	APPROX. : 262.19 SQ. FT.
REAR YARD SETBACK - 10'-0" (MINIMUM)	APPROX. : 0.16 ACRES
SIDE YARD SETBACK - 10'-0" (MINIMUM)	APPROX. : 6,096 SQ. FT.
FRONT SETBACK - 20'-0" (MINIMUM)	
TOTAL SITE AREA	
APPROX. : 484 ACRES	
APPROX. : 262.19 SQ. FT.	
TOTAL AREA DEEDED TO CITY	
APPROX. : 0.16 ACRES	
APPROX. : 6,096 SQ. FT.	
PARKING DATA	
ONE SPACE PER 300 SQ. FT. OF OFFICE SPACE	
4 REQUIRED - 5 PROVIDED	
TOTAL BUILDING SPACE	
APPROX. : 194 ACRES	
APPROX. : 84,607 SQ. FT.	
TOTAL OPEN SPACE	
APPROX. : 256 ACRES	
APPROX. : 116,153 SQ. FT.	

Dewberry & Davis, Inc.
 A Dewberry Company
 600 Lexington Avenue
 Charlotte, NC 28203
 Telephone: (704) 346-0401
 Fax: (704) 332-3468
 www.dewberry.com

REVISIONS	DATE	BY	DESCRIPTION
1	12/20/00	CFC	ISSUED FOR PLAN COMM. COMMENTS
2	12/20/00	CFC	REVISED PER PLAN COMM. COMMENTS
3	12/20/00	CFC	REVISED PER PLAN COMM. COMMENTS

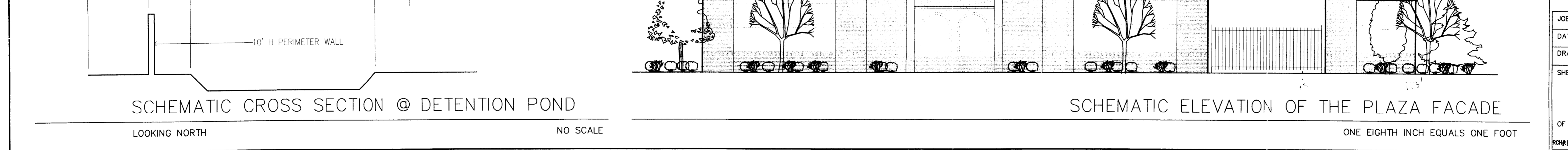
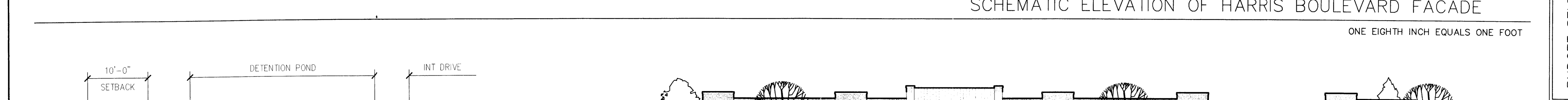
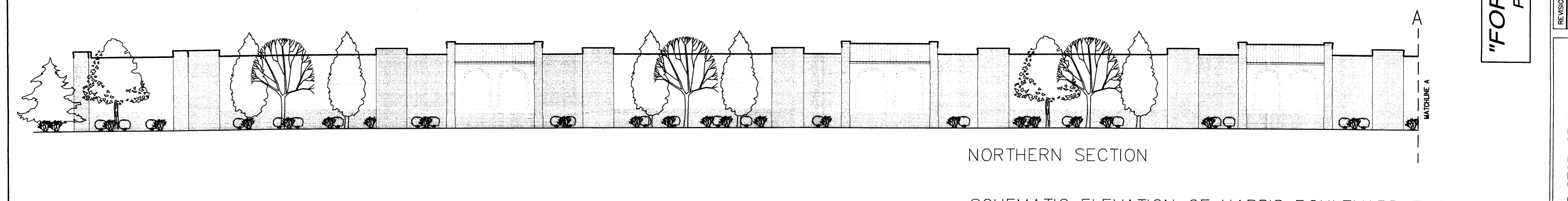
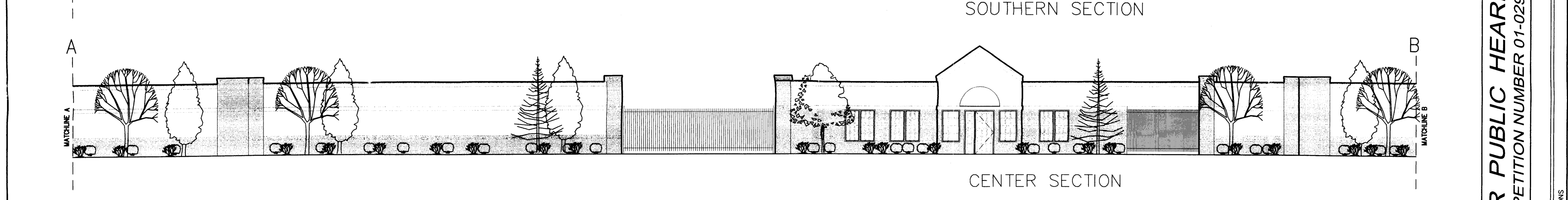
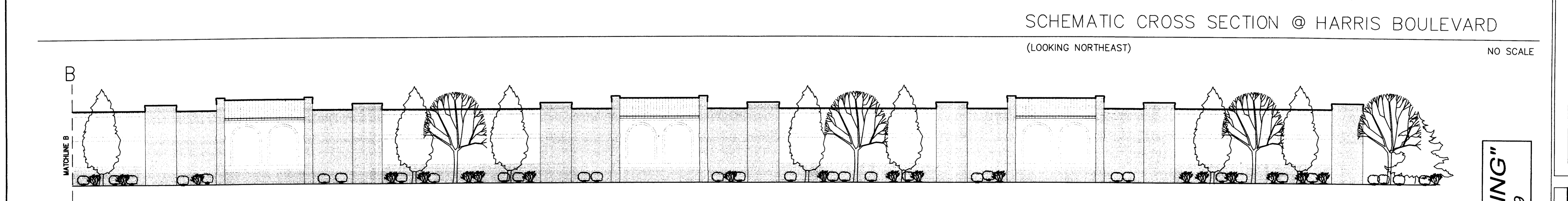
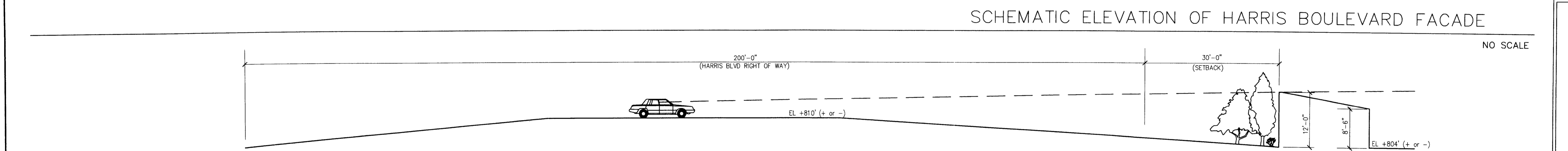
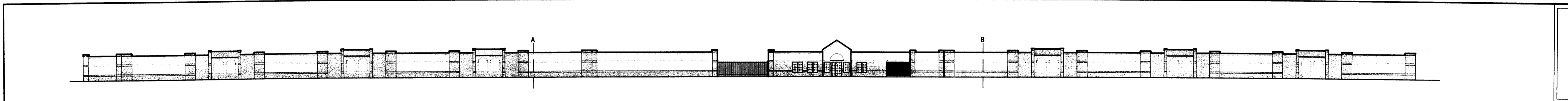
E.W.T. HARRIS BLVD. & THE PLAZA MINI-STORAGE SITE
 ENSI DEVELOPMENT CORPORATION
 CHARLOTTE, NORTH CAROLINA

TECHNICAL DATA SHEET FOR PUBLIC HEARING
 PETITION No. 01-029
 APPROVED BY CITY COUNCIL

CITY OF CHARLOTTE
 Planning Department
 225 S. Salisbury Street
 Charlotte, NC 28202
 Phone: 704.336.2200
 Fax: 704.336.2201
 www.charlotte-nc.gov

DATE: 12/20/00

2001-29



RANDOLPH C. HENNING, ARCHITECT
 405 NORTH OAKLEY STREET, SUITE 101
 CHARLOTTE, NC 28202
 PHONE: 774-4410 FAX: 774-4418 E-MAIL: rhenning@rcarch.com
 COPYRIGHT 2000

"FOR PUBLIC HEARING"
 PETITION NUMBER 01-029

BUDGET SELF STORAGE FACILITY
 HARRIS BOULEVARD & THE PLAZA - CHARLOTTE, NC
 ENSI DEVELOPMENT CORPORATION
 P.O. BOX 5177 - WINSTON-SALEM, NC - 27113-5177

JOB	0109
DATE	4/10/01
DRAWN	RCH
SHEET	2 OF 3

The Plaza Mini-Storage Site



perspective

E. W. T. Harris Blvd.

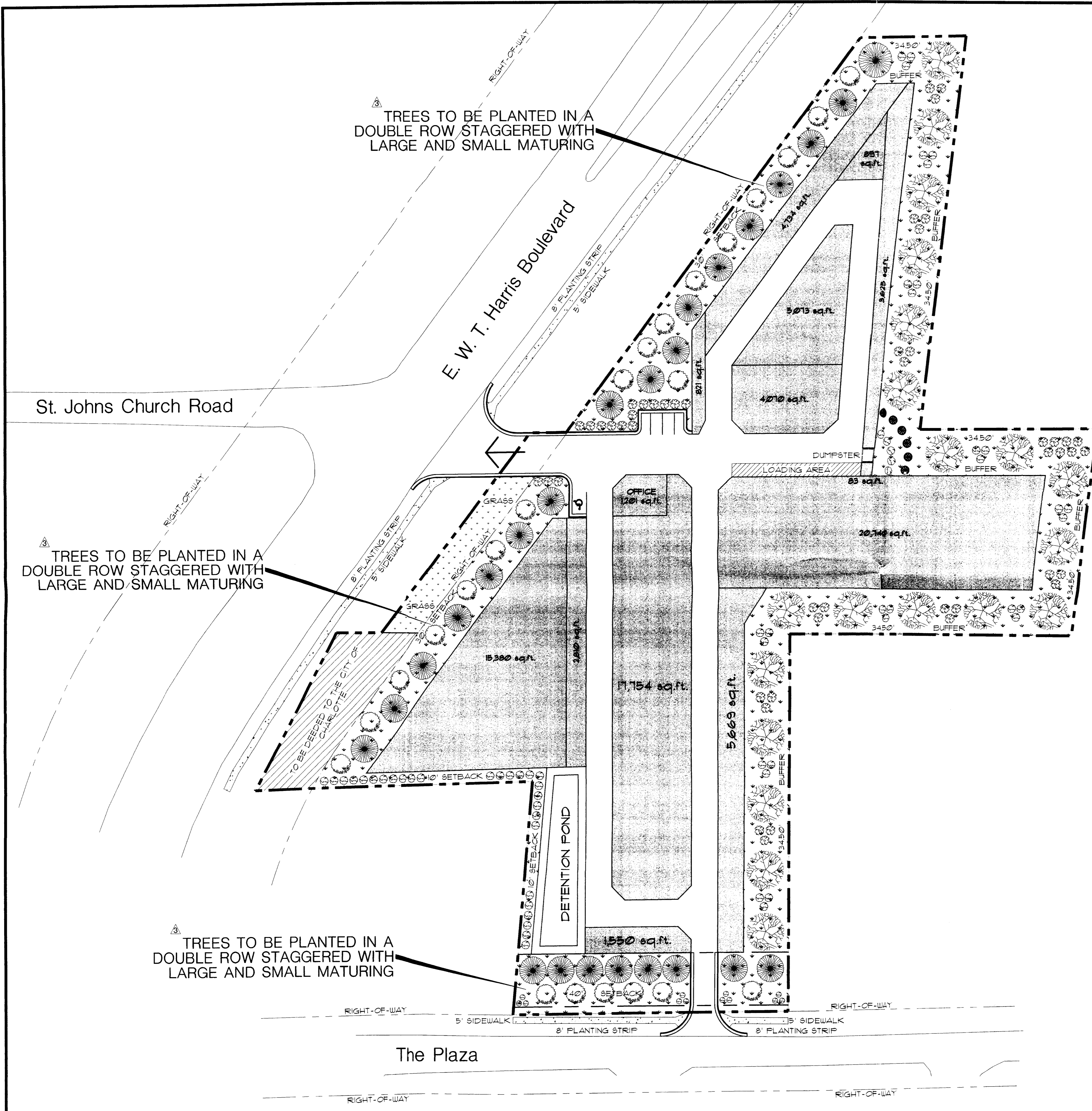
May 2001

TREES TO BE PLANTED IN A DOUBLE ROW STAGGERED WITH LARGE AND SMALL MATURING

TREES TO BE PLANTED IN A DOUBLE ROW STAGGERED WITH LARGE AND SMALL MATURING

TREES TO BE PLANTED IN A DOUBLE ROW STAGGERED WITH LARGE AND SMALL MATURING

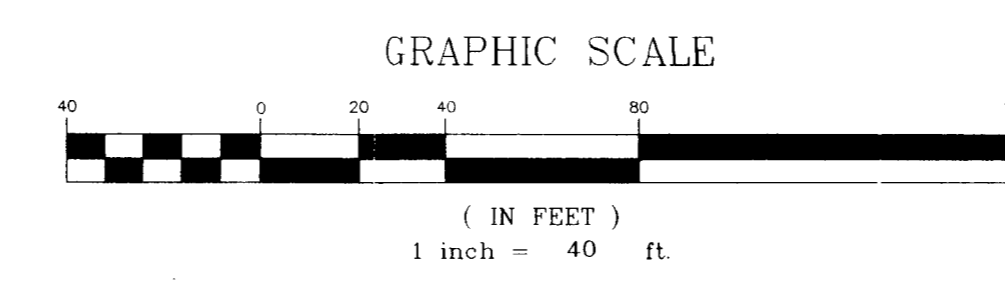
LEGEND	
	LARGE MATURING TREE
	SMALL MATURING TREE
	DECORATIVE TREE
	SHRUBBERY
	SHRUBBERY
	SHRUBBERY



St. Johns Church Road

E. W. T. Harris Boulevard

The Plaza



"FOR PUBLIC HEARING"
PETITION NUMBER 01-029

SITE DATA PROP. SITE USAGE : STORAGE PROP. ZONING: B-D (DISTRIBUTIVE BUSINESS) REAR YARD SETBACK : 10'-0" (MINIMUM) SIDE YARD SETBACK : 10'-0" (MINIMUM) FRONT SETBACK : 20'-0" (MINIMUM)
TOTAL SITE AREA APPROX. : 4.64 ACRES APPROX. : 202,118 SQ. FT.
TOTAL AREA DEEDED TO CITY APPROX. : 0.14 ACRES APPROX. : 6,098 SQ. FT.
PARKING DATA ONE SPACE PER 300 SQ. FT. OF OFFICE SPACE 4 REQUIRED : 5 PROVIDED
TOTAL BUILDING SPACE APPROX. : 194 ACRES APPROX. : 84,407 SQ. FT.
TOTAL OPEN SPACE APPROX. : 256 ACRES APPROX. : 111,613 SQ. FT.

Dewberry & Davis, Inc.
A Dewberry Company
600 Lexington Avenue
Charlotte, NC 28203
Telephone : (704) 342-0401 Fax : (704) 332-3468
www.dewberry.com

Engineers
Planners
Surveyors

E. W. T. HARRIS BLVD. & THE PLAZA MINI-STORAGE SITE
ENSI DEVELOPMENT CORPORATION
CHARLOTTE, NORTH CAROLINA

LANDSCAPE SCHEMATIC FOR PUBLIC HEARING
PETITION No. 01-029

CAD by C.F.C. Designer C.F.C.
Scale 1" = 40'
Date APRIL 10, 2001
DDI Project Code C0101
Drawing File Name 3of3.dwg
Sheet **3 of 3**
File Number C0101

REVISIONS
By Date
C.F.C. 04/10/2001
K.P.P. 04/19/2001
C.F.C. 05/18/2001
Remarks
ADDED THIS SHEET
ADDED LEGEND
REVISED PER PLAN COMM. COMMENTS