



INTER - OFFICE COMMUNICATION

DATE: April 22, 2005

TO: Katrina Young FROM: Debra Campbell

Interim Zoning Administrator Planning Director

SUBJECT: Administrative Approval for Petition 2001-06(c) and 2001-30 by Pappas Properties.

Attached are revised plans and Development notes for the above rezoning petitions. The plans and notes have been revised to reflect revised roadway alignments. Since these changes are minor, I am administratively approving these revised plans. Please use these revised plans when evaluating requests for building permits and certificates of occupancy.

Note that the edge condition/buffer plan from the original approval still applies.



INTER - OFFICE COMMUNICATION

DATE: April 27, 2005

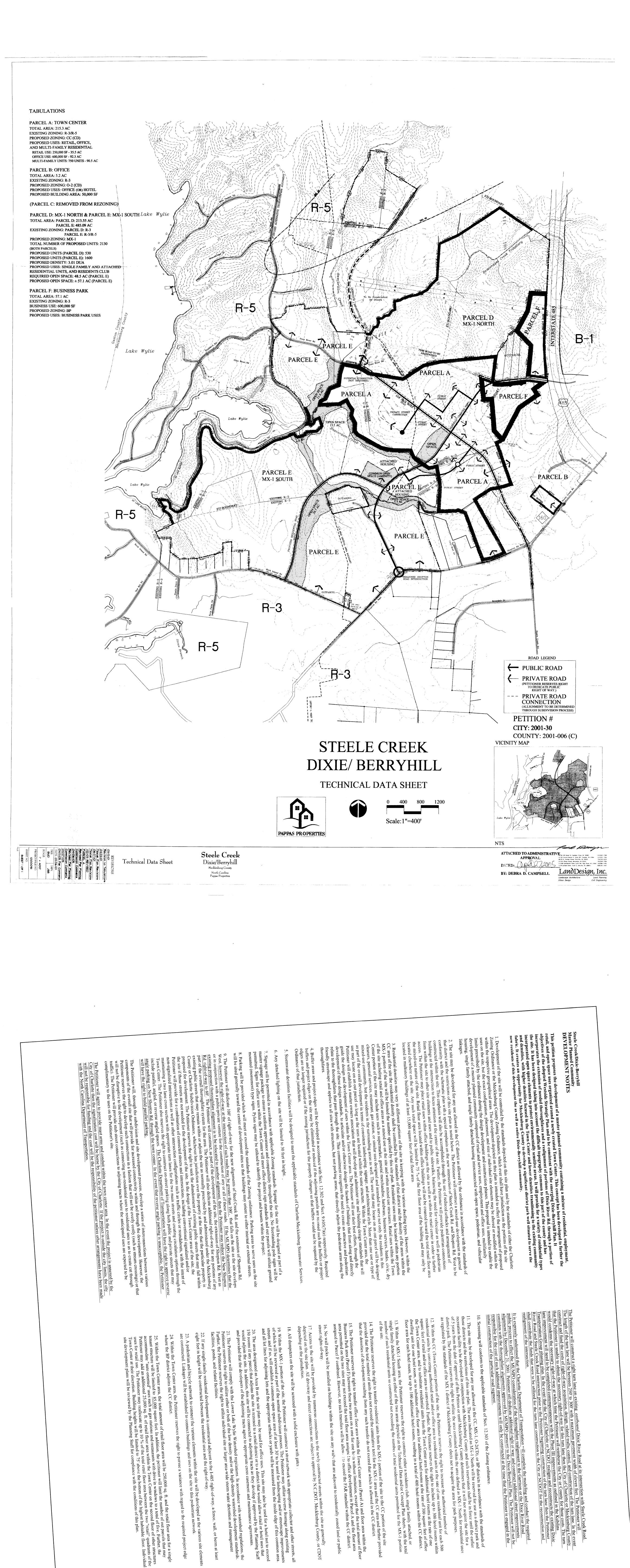
TO: Katrina Young FROM: Debra Campbell

Interim Zoning Administrator Planning Director

SUBJECT: Administrative Approval for Petition 2001-06(c) and 2001-30 by Pappas Properties.

Attached are revised plans for the above rezoning petitions. The plans have been revised to remove the buffer requirement along a portion of Windygap Road and the northern property line on Parcel E. The lots on this parcel will front Windygap Road. Since these changes are minor, I am administratively approving these revised plans. Please use these revised plans when evaluating requests for building permits and certificates of occupancy.

Note that the edge condition/buffer plan from the original approval still applies. Note all other ordinance requirements still apply.



BEREWICK- Phase 7 (Town Center)
Charlotte ETJ, North Carolina Dixie River Land Company, LLC DEVELOPMENT NOTES

02/26/01 03/14/01 04/22/01 04/23/-1 : 05/31/01 06/20/01 06/26/01 06/29/01 07/11/01 04/11/05 :

acknowledges that the Innovative

30. The Petitioner will cooperate with Charlotte Mecklenburg Stormwater Services and Mecklenburg County Department of Enviornmental Protection in regard to erosion control and stormwater management including: development of a watershed management strategy for the entire site utilizing water quality modeling; providing assistance with an inventory of existing conditions of Brown's Cover (sediment level) and Beaver Dam Creek; cooperating with McDEP by providing a duplicate water quality monitoring station to the provided by MCDEP, both to be maintained and monitored by MCDEP; and cooperate with NCDEP in erosion control watershed protection education efforts of contractors, builders, and homeowners.

Ler, in conjunction with and subject to the approval of CMUD, will design the sewer lift station proposed for elek with redundant safety and overflow controls. It is recognized that the lift station will be built, owned, and lift lift. The Petitioner will provide a buffer and additional screening around the lift station consisting of the following berm will be provided along the perimeter of the site as it faces Windygap Rd.: evergreen shrubs 2' to 2-1/2' tall on the berm 5 feet apart with an expected height of 6; after four years of growth; supplemental evergreen shrubs 5' finstallation with an expected height of 8' after four years of growth will also be planted on the berm at a rate of 8 linear feet of berm.

ness Park portion of the site, front loaded buildings will not be permitted and the arrangement of the uses on te office uses or the office portion of mixed use buildings will be oriented toward the street.

knowledges that the portion of the site (Parcel C) located on Garrison Rd. that is proposed for the Business t presently front on a thoroughfare. However, the Charlotte Department of Transportation is evaluating the toruse and the Petitioner believes that Garrison Rd. will be designated as a thoroughfare providing for int west of 1-485. The present, non-specific and non-engineered alignment that would bisect the proposed one of several alignments that may be considered. If, after analysis and public discussion, Garrison Rd., or a net of several alignment, is not designated as a thoroughfare, the Petitioner will seek a rezoning of Parcel C to a district alignment, is not designated as a thoroughfare, the Petitioner will seek a mezoning of Parcel C to a district not alignment, the area. The determination of this issue is before the MUMPO and will be decided in the until that time, the Petitioner agrees that the decision on the rezoning of Parcel C will be deferred.

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portion of the site, open space areas depicted on the site plan represent the approximate location and extent to neet the open space requirement of the district. The exact location and extent of the open space areas will be the open space areas will be developed to design and subsequent public review of development plans. The open space areas will be developed factive and passive recreation areas, trails, pathways, and other amenities consistent with the purpose and factive and passive recreation areas, trails, pathways, and other amenities consistent with the purpose and ition. Further, the area devoted to open space will not be reduced through the Innovative Review process.

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5/24/05 - Rev. Per Staff Comments/

Client Requested Revisions



Charlotte-Mecklenburg Planning Department

DATE: July 29, 2011

TO: Mark Fowler FROM: Debra Campbell

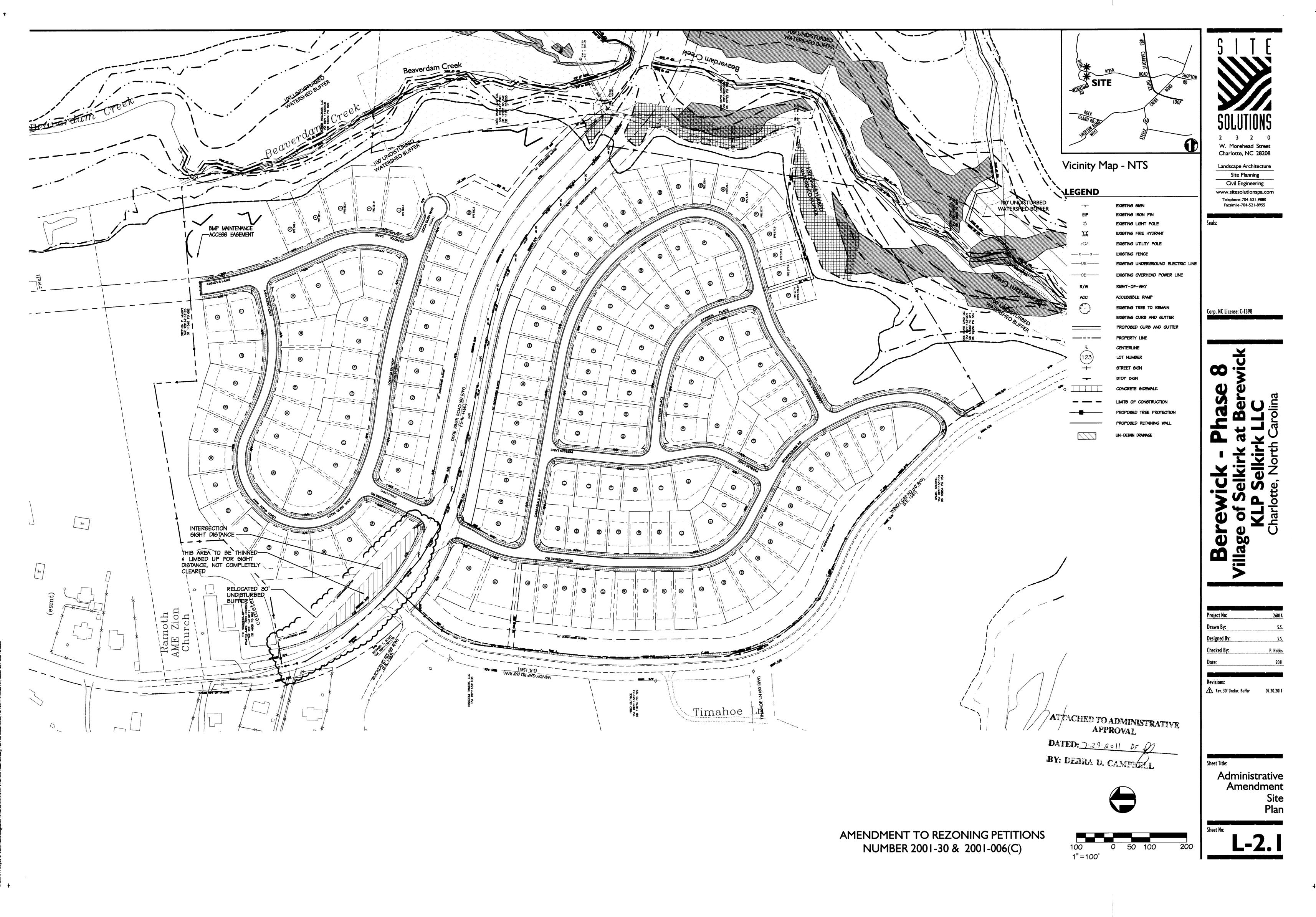
Zoning Supervisor Planning Director

SUBJECT: Administrative Approval for Petition No. 2001-030 & 2001-006(C) Pappas

Properties

Attached is a revised site plan for the above referenced rezoning petition. The site plan shows the proposed 30 foot buffer being adjusted out of the sight triangle and sight distance. Since this change does not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 <u>Alterations to Approval</u>, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

Note all other ordinance and conditional requirements still apply.





Charlotte-Mecklenburg Planning Department

DATE: July 29, 2011

TO: Mark Fowler FROM: Debra Campbell Planning Director

SUBJECT: Administrative Approval for Petition No. 2001-030 & 2001-006(C) Pappas Properties

Attached is a revised site plan for the above referenced rezoning petition. The site plan shows the proposed 30 foot buffer being adjusted out of the sight triangle and sight distance. Since this change does not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

Note all other ordinance and conditional requirements still apply.

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

www.charmeck.nc.us 600 East Fourth Street Charlotte, NC 28202-2853 PH: (704)-336-2205 FAX: (704)-336-5123