

SITE DATA:

RETAIL	50,324 SF
OFFICE & RESIDENTIAL	26,400 SF
TOTAL SF	76,724 SF

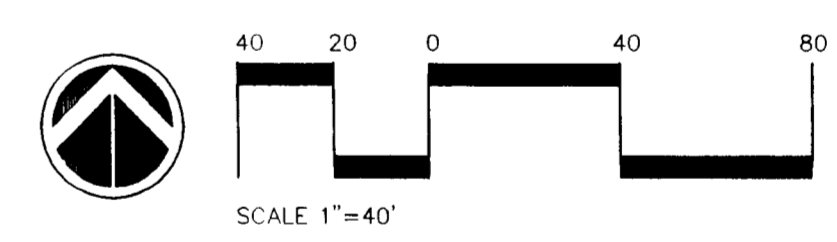
NOTE: PLAN IS BASED ON PRELIMINARY INFORMATION AND TO BE USED FOR SCHEMATIC PURPOSES ONLY NOT FOR CONSTRUCTION.

CURB CUTS HAVE NOT BEEN REVIEWED OR APPROVED BY STATE AND LOCAL DOT.

ATTACHED TO ADMINISTRATIVE APPROVAL

DATED: April 11, 2003
BY: MARTIN R. CRAMTON, JR.

2001-70



JDH
CAPITAL

ECKERD

Drawn by: DO
Checked by: _____

ECKERD
PROSPERITY CH.
& RIDGE ROAD
CHARLOTTE,
NORTH CAROLINA

Issuance:

No.	Date	Issue
1.	02.26.03	PRELIMINARY PLAN
2.	03.13.03	
3.	04.07.03	
4.	04.09.03	

Sheet Title:
**PRELIMINARY
REZONING
PLAN**

Sheet Number: **PRZ-1**

**CHARLOTTE-MECKLENBURG
PLANNING COMMISSION**
INTER-OFFICE COMMUNICATION

DATE: April 11, 2003
FROM: Martin R. Cramton, Jr.
Planning Director
TO: Robert Brandon
Zoning Administrator

SUBJECT: Administrative Approval for Petition No. 01-70 by JDH Capital.
Attached is a specific plan for area "A" as shown on sheet A-2 of the originally approved rezoning plan. The plan indicates building and parking layout within this area. Since this new area "A" layout change is minor, I am administratively approving this specific plan. Please use this plan when evaluating requests for building permits and certificates of occupancy. Note that the outdoor seating areas shown do not count as square footage. All of the originally approved plans still apply except for area "A".

Prosperity Church Rd./Ridge Rd. Site Development Notes

1. Development of the site will be controlled by the standards depicted on this site plan and by the standards of the City of Charlotte Zoning Ordinance. The development depicted on this plan is intended to reflect the general arrangement of proposed uses on the site, but the exact details of configuration, placement, and size of individual site elements may be altered or modified within the limits prescribed by the ordinance as specified in Section 6.206(2) during the design development and construction phases. This Proposal is intended to enable the development of a mixed-use community composed of office, residential, and limited neighborhood retail and service uses.
2. The site may be developed for any use allowed in the CC district as allowed by the ordinance in accordance with the standards of that district and the restrictions of this site plan as noted below. The Petitioner will construct a mixed-use development in general conformity with the schematic plan and in keeping with the concept embodied in the Prosperity Village Plan. The Petitioner will provide pedestrian connections from within the site to other site elements and uses and to public sidewalks, balancing the need for vehicular as well as pedestrian access. Uses that are proposed for institutional or civic uses, if not used for such, may be used for office uses. However, no portion of the site may be used for a gas station, convenience store, or for any restaurant with a drive-in window. All utilities serving the uses on the site will be placed underground. Setbacks may be reduced to 14' from the curb and will be no greater than 25' from the right-of-way. No parking will be located between buildings and the street. The Petitioner reserves the right to seek a variance from the standard setback requirement in the CC district for the areas where surface parking may adjoin the street as shown sheet A-1.
3. Residential densities may vary in different portions of the site in keeping with the various dwelling types. Residential uses may be located within any portion of the site including commercial areas as a mixed use on the site and within mixed-use structures. Parking areas to serve uses on the site will be sited generally toward the center of development sites so that buildings may orient to either internal or external streets.
4. Access to the site will be provided by connections to Prosperity Church Rd. and by connections to both the extension of Ridge Rd and the new minor thoroughfare as shown on the Technical Data Sheet. All driveway and street connections are subject to approval by N.C.DOT and/or CDOT depending on jurisdiction. The objective of the various connections is to enhance the accessibility and connectivity between the site and adjoining uses and streets and for the safe provision of access for service and delivery vehicles.
5. Buffer areas will be developed in accordance with Sect. 12.302. Required buffers on the site may be eliminated if the adjoining parcels are rezoned such that buffers are no longer required. Detailed buffer specifications will be submitted with individual site components at the time of development approval. This will enable the Petitioner to develop buffers that are designed for the particular site situation rather than a blanket requirement.
6. Stormwater detention facilities will be designed to meet the applicable standards of Charlotte/Mecklenburg Stormwater Services. It is the Petitioner's intent to preserve and use the existing pond on the site, both as an amenity and as part of the overall storm water management for the site.
7. The Petitioner will dedicate 100' of right-of-way for the new alignment of Ridge Rd. and 70' of right-of way for the new minor thoroughfare that falls on the site as the site develops or in conjunction with a public/private venture for the construction of any or all of these roads. The Petitioner will also dedicate additional right-of-way for the portion of Prosperity Church Rd. along the frontage of the site sufficient to provide 35' from the centerline.
8. Development on the site may utilize public, private, or a combination of public and private streets within the site. Setbacks from public or private streets anywhere on the site may be reduced in accordance with the provisions of the CC district. Street trees planted on the site will be of a large maturing variety. Streets will also be designed and constructed with sidewalks and pedestrian scale lighting. No wall "pik" lighting will be permitted on the site.
9. Any detached lighting on the site will be limited to 20 feet in height.
10. Signage will be permitted in accordance with applicable Zoning standards for the type of use for which the signage is proposed. Detached signs will be ground mounted monument type signs limited to 7' in height and 50 sq. ft. in area.
11. Parking will be provided which will meet or exceed the standards of the Zoning ordinance.
12. Screening will conform to the applicable standards of Sect. 12.303 of the Zoning ordinance.
13. All dumpsters on the site will be screened with a solid enclosure with gates.
14. All buildings on the site will be no further than 750' from a fire hydrant measured as the truck travels. Buildings will be designed to orient to the streets within and adjoining the site, including the provision of windows and doors that connect the buildings to the public sidewalk to enhance the pedestrian environment.
15. Buildings within the retail portion of the site will be one to three stories in height. Residential uses may be incorporated within retail buildings. Only one single tenant retail out parcel will be permitted on the site and no single retail use may exceed 25,000 sq. ft. in floor area.

16. The Petitioner has contacted the Mecklenburg County Library regarding a potential site within the development. The Petitioner will reserve a site for consideration by the Library Board for a period of 5 years from the date of the approval of this request.

17. Areas on the site plan labeled "village green" including an existing pond that is intended to remain on the site and to be used for storm water detention, will remain as an open space element for the community. It may include pathways, sidewalk, passive and/or active recreation areas. In addition, the Petitioner will provide for a future access to the adjoining church site.

18. The Petitioner will contact CATS regarding future transit service that may serve the site.

19. The Petitioner acknowledges that the alignment of existing Prosperity Church Rd. will be shifted in conjunction with the construction of the I-485 interchange. In that context, the Petitioner may shift the placement of buildings of other site features to relate those uses to the new alignment. In addition, the Petitioner acknowledges that even though the site plan was drawn with the best information furnished by CDOT for the alignment of other thoroughfares, these other thoroughfares as shown on the site plan may also shift in alignment and minor adjustments of site elements may be appropriate. These changes will be subject to administrative approval by the Planning Staff and will be focused on establishing appropriate building relationships on both sides of the realigned road. It is further acknowledged that the realignment of the existing Prosperity Church Rd. along the front of the site will also involve another parcel that is covered by a conditional plan. All of the previously granted development rights of each site will be preserved and the apportionment of those rights will be included in the administrative approval for building relocation with the concurrence of the property owners.

20. Parcel G on the site plan will not be developed with and structures or other uses. The Petitioner reserves the right to construct berms or other landscape improvements and storm water detention facilities within this area of the site. However, if required by the Planning Staff, the Petitioner will construct an extension of Cardinal Point Rd. to connect with the future thoroughfare through Parcel G as the development on the western portion of the site, phased with other site development on the western edge of the site.

21. Roads within the site will be constructed by the Petitioner as the site develops consistent with existing City policies. Nothing related to this Petition will require the Petitioner to construct streets that are part of the adopted Thoroughfare Plan if the Petitioner is not developing the portion of the site through which the thoroughfare runs. In addition, nothing related to this Petition will prevent the City, NCDOT, or the Petitioner from constructing any of these thoroughfares if any of these parties chooses to construct any such road, either individually or in concert with any other of the parties.

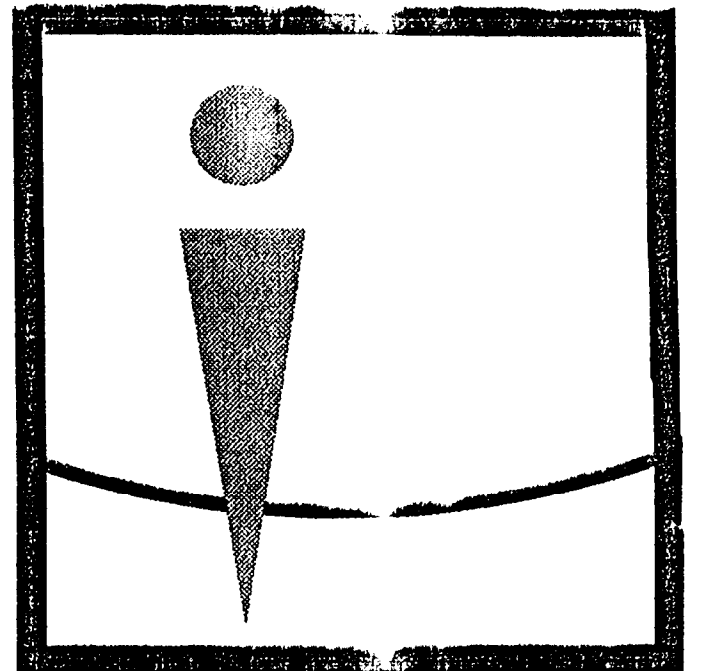
22. The Petitioner will commit to contribute \$50,000.00 to the City of Charlotte as follows:

- The Petitioner will contribute a total of \$50,000.00 to the City for the installation of a northbound right turn lane on Prosperity Church Rd. at its intersection with Eastfield Rd.

- This amount will be contributed on a phased basis as the site develops. For example, if development equal to 25% of the total traffic is approved for construction, then 25% of the total \$50,000.00 is due from the developer. These funds will be transferred to the City prior to the issuance of a final certificate of occupancy for the development on the site.

- The City will place the programming for the Prosperity Church Rd./Eastfield Rd. intersection improvements, for which these funds are committed, on its list of road or intersection projects in a timely fashion. If the City has not funded all or a portion of the intersection project by the adoption of the City's FY 2006 budget, then the Petitioner may request and, if requested, the City will refund all monies paid pursuant to the conditions on this Petition paid to the City by that time.

Initial Submission 2/26/01
Revised per staff comments May, August, September
Revised per City Council approval



Overcash Demmitt
Architects

1520 south boulevard suite 200
charlotte north carolina 28203
voice • 704.332.1615
fax • 704.332.0117
web • www.odarch.com

Existing Zoning "R3"
Proposed Zoning "CC"

JDH
CAPITAL

Prosperity Church Road
New Urban Village

date: February 16, 2001
status: REZONING DOCUMENTS
revisions: June 5, 2001
SEPTEMBER 17, 2001

01-070

Copyright 2001, Overcash Demmitt Architects

GENERAL NOTES

APPROVED BY CITY COUNCIL

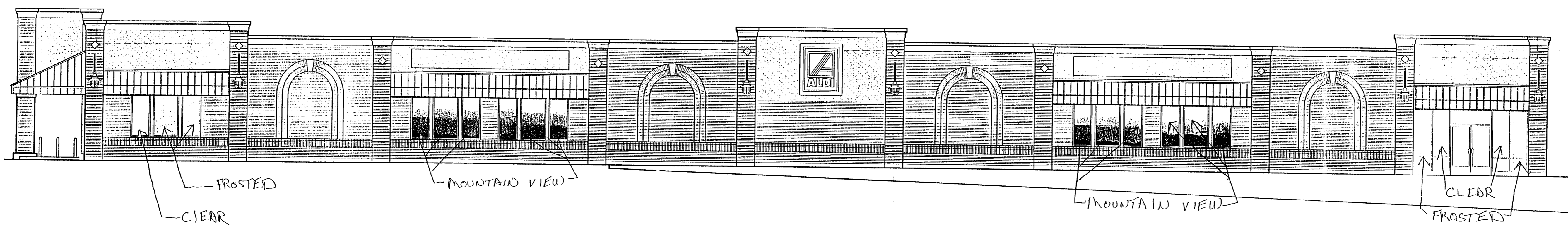
DATE 9/17/01

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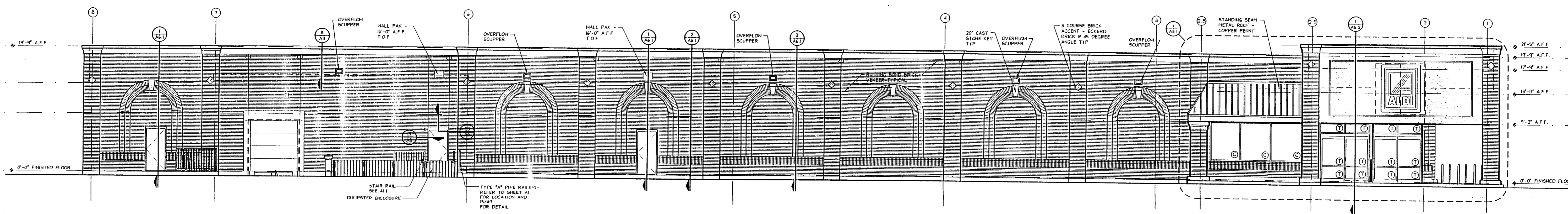


NARRAMORE ASSOCIATES, INC.
Architects & Planners

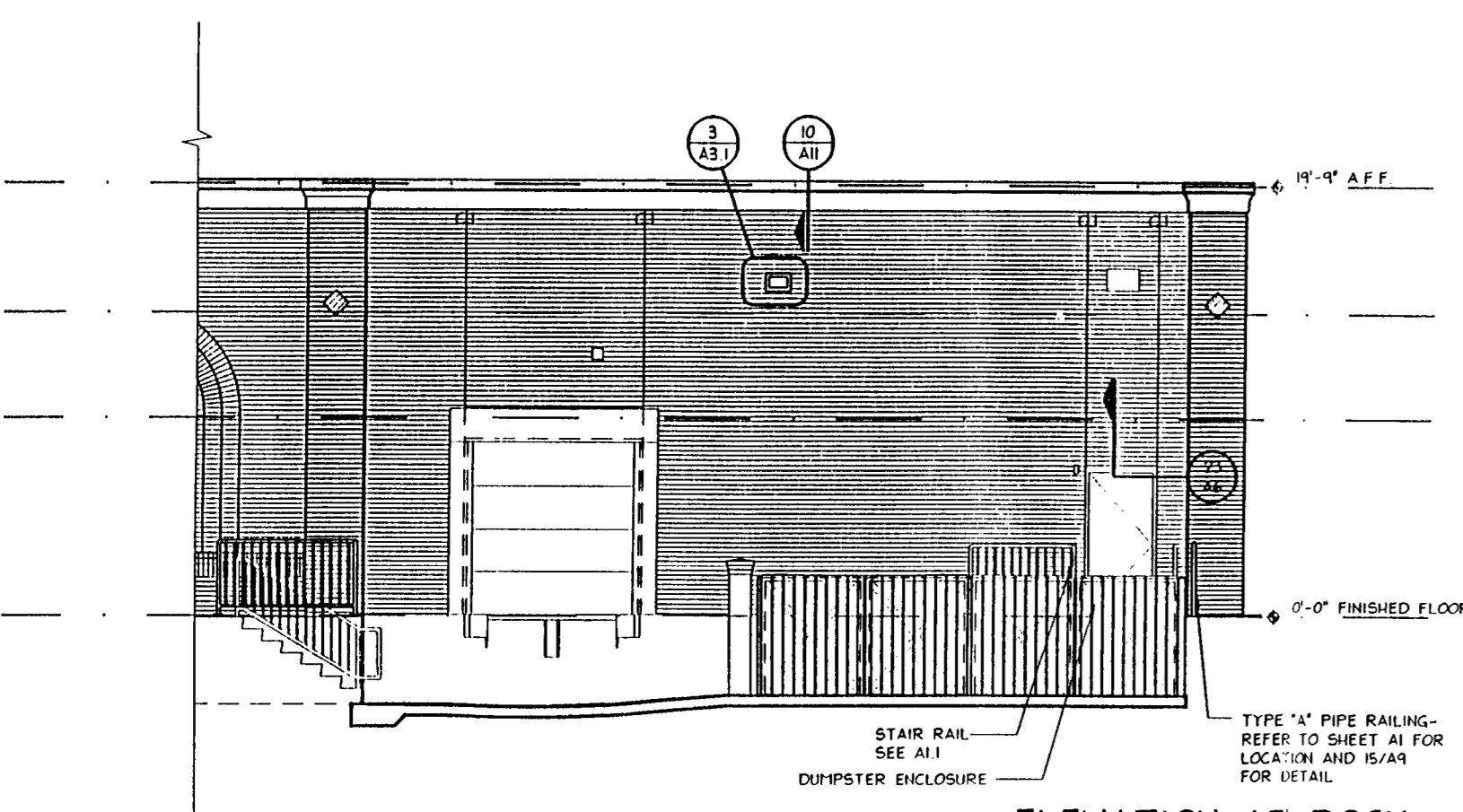
AMERICAN INSTITUTE OF ARCHITECTS
P.O. Box 8438 Greenville, SC 29604
310 Mills Ave. Greenville, SC 29605
Phone: 864.242.9881
Fax: 864.232.5202
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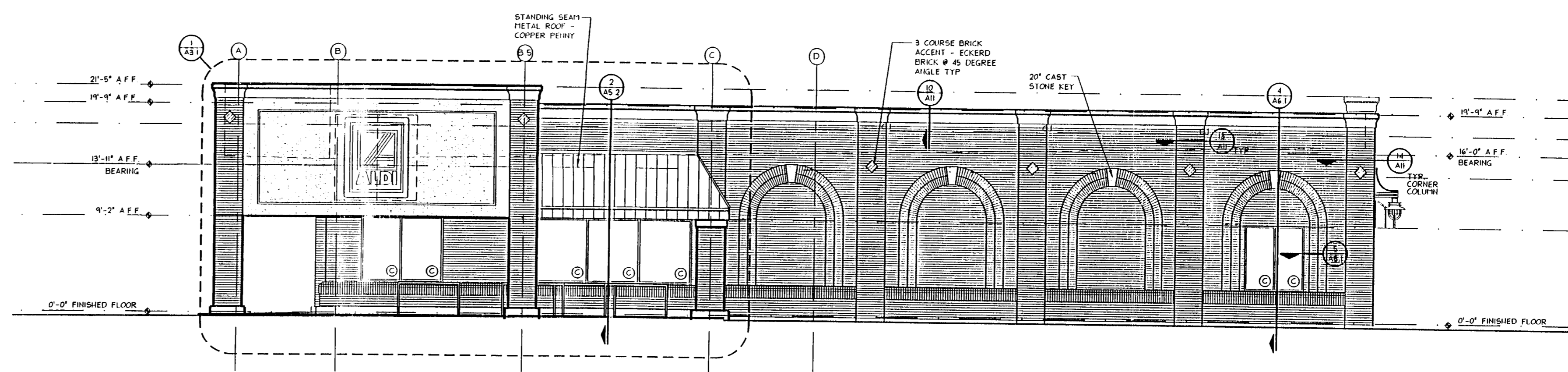
RIDGE ROAD ELEVATION
1/8"=1'-0"



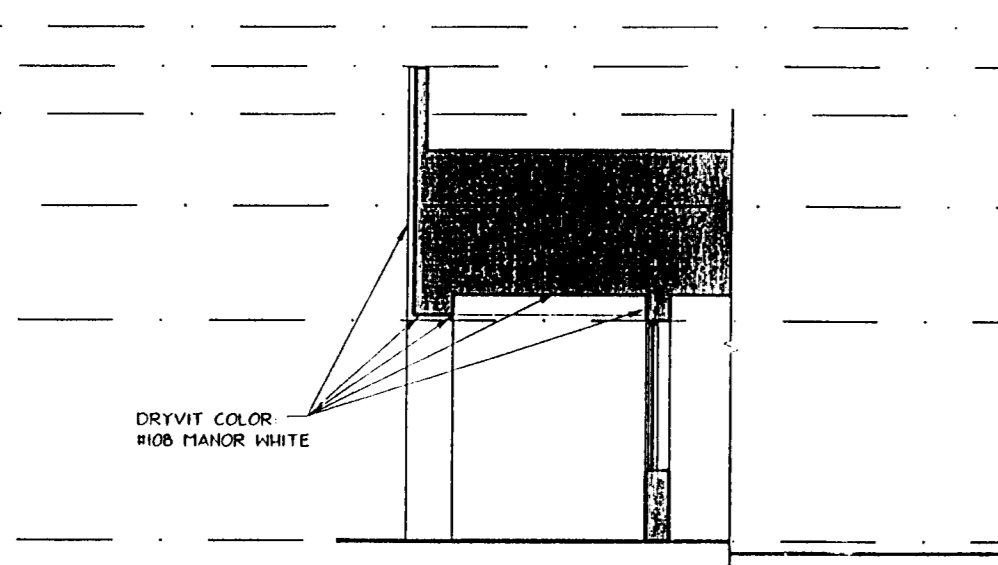
FRONT ELEVATION
1/8"=1'-0"



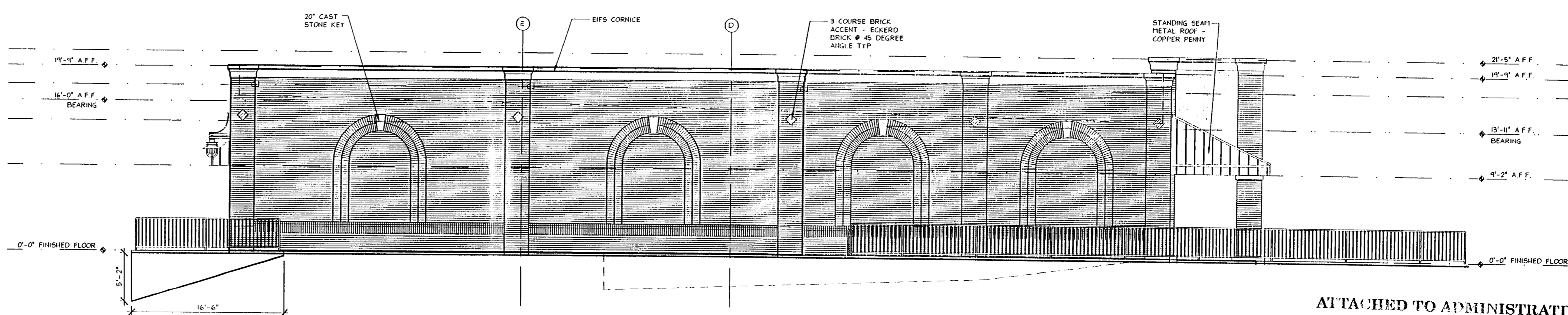
ELEVATION AT DOCK
1/8"=1'-0"



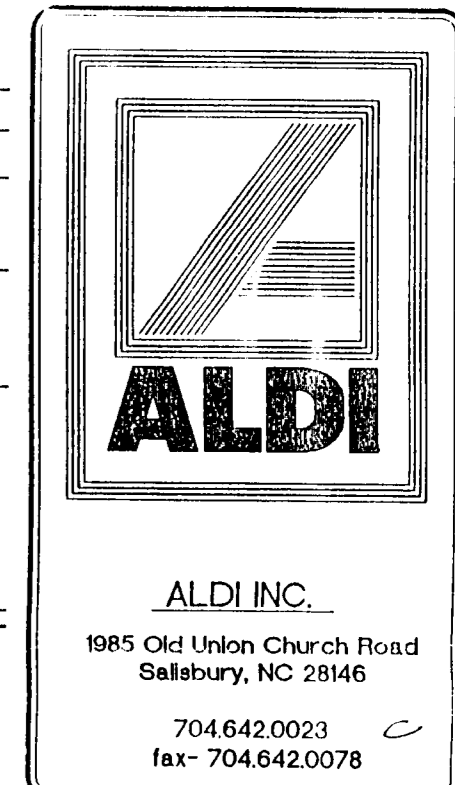
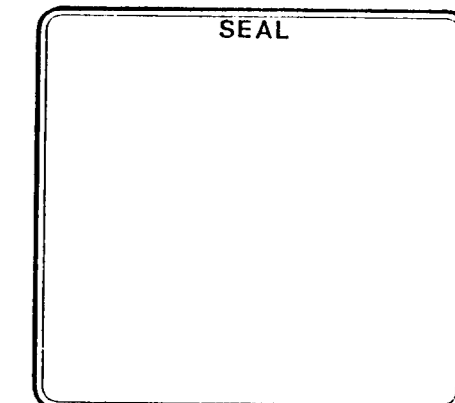
RIGHT ELEVATION
1/8"=1'-0"



COLORS AT CANOPY
1/8"=1'-0"



ATTACHED TO ADMINISTRATIVE APPROVAL
DATED: 7/25/03
BY: MARTIN R. CRAMTON, JR.
2001-70



ALDI STORE 14
3817 PROSPERITY CHURCH RD.
CHARLOTTE, NC

REVISIONS

STORE DATA
17,750 SF
PROJECT NUMBER
03340
ISSUE DATE
5-30-03

ALDI #14
CHARLOTTE, NC
A3
BUILDING ELEVATIONS

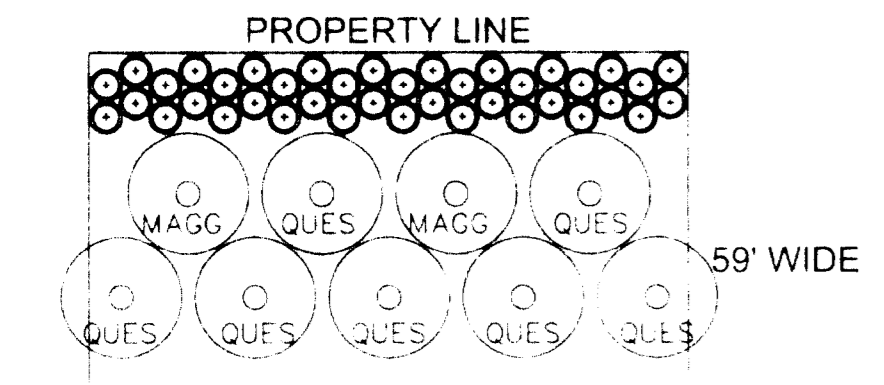
CHARLOTTE-MECKLENBURG PLANNING COMMISSION
INTER-OFFICE COMMUNICATION

DATE: July 25, 2003
TO: Robert Brandon, Zoning Administrator
FROM: Martin R. Cramton, Jr., Planning Director

SUBJECT: Administrative Approval for Petition No. 01-70 by JDH Capital specifically Aldi.

Attached are elevations for the Aldi Store at this location. Since these elevations meet the intent of the plan I am administratively approving them. The elevations are attached to this communication for building permits and consistency of occupancy.

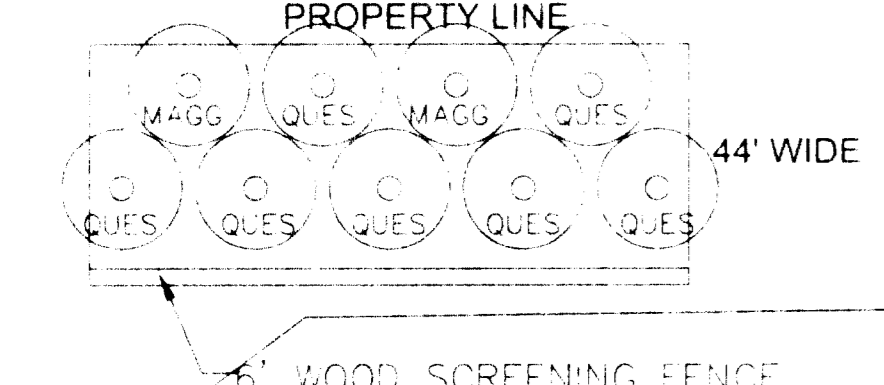
100' LONG TYPICAL CLASS "B" BUFFER SECTION



TYPICAL BUFFER NOTES:

- TREES:
 - 2 SOUTHERN MAGNOLIA
 - 2 SHUMARD OAK
- SHRUBS:
 - 2 DWARF BURFORD HOLLY

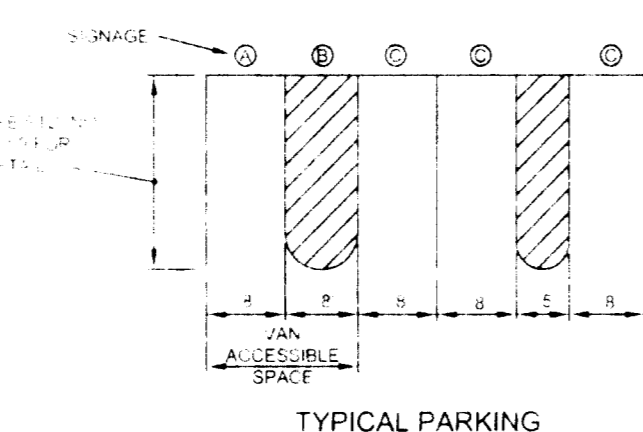
100' LONG TYPICAL CLASS "B" BUFFER SECTION



TYPICAL BUFFER NOTES:

- TREES:
 - 1 SOUTHERN MAGNOLIA
 - 1 SHUMARD OAK
- SHRUBS:
 - 1 DWARF BURFORD HOLLY

PLANT SCHEDULE					
KEY	QTY	TYPE	COMMON NAME	BOTANICAL NAME	REMARKS
ACES	10	TREE	SUGAR MAPLE	ACER SACCHARUM 'LEGACEY'	8-10' 2'-2.5' SINGLE STEM
QUES	55	TREE	SHUMARD OAK	QUERCUS SHUMARDII	8-10' 2'-2.5' SINGLE STEM
MAGG	17	TREE	SOUTHERN MAGNOLIA	MAGNOLIA GRANDIFLORA	8-10' 2'-2.5' SINGLE STEM
S	311	SHRUB	DWARF BURFORD HOLLY	ILEX CORNUTA BURFORDIANA	3' 2' SPREAD



DEVELOPMENT DATE: 12/2001
 PROPOSED ZONING: B0 (OFFICE)
 PROPOSED USE: OFFICE WAREHOUSE
 BUFFER FROM GREENWAY ALONG BEAM ROAD TO REDUCED CLASS B BUFFER ALONG THE NORTH AND WESTERLY LINES OF ALLISON CARL EUBURN SR.
 96' QUANTUM BUFFER ALONG THE WESTERN BOUNDARY OF NE ALEXANDER CARL EUBURN SR.

OWNER:
 CARL EUBURN ALLISON SR.
 307 BEAM ROAD
 CHARLOTTE, NC 28217
 ZONING: B0
 TAX ID NUMBER: 201142-05-01

ACRES:
 TOTAL ACRES = 6.94 AC

BUILDING DATA:
A. DESIGN CRITERIA
 WIND LOAD: 80 MPH
 LIVE LOAD: 20 PSF
 DEAD LOAD: 25 PSF
 ASSUMED SOIL BEARING: 3000 PSF
 SEISMIC ZONE: 3

B. BUILDING REQUIREMENTS
 BUILDING AREA: 50,040 SF
 BUILDING HEIGHT: 30 FT
 NO. OF STORES: 1
 SPRINKLED: NO
 CONSTRUCTION TYPE: TYPE IV (UP)
 OCCUPANCY: OFFICE WAREHOUSE

C. ZONING:
 EXISTING: B0
 TAX PARCEL NO.: 14124125-05

D. PARKING REQUIREMENTS
 PARKING SPACE: 9,916
 HANDICAPPED SPACE: 194 (8%)
 PARKING REQUIRED: 37
 PARKING PROVIDED: 42
 H/C SPACE REQUIRED: 5
 H/C SPACE PROVIDED: 3

F. SETBACK REQUIREMENTS:
 FRONT SETBACK: 30 FT
 SIDE YARD: 5 FT
 REAR YARD: 5 FT

G. TREE REQUIREMENTS
 PROPOSED TREES: 7 (4 ACRES), 10 (1 ACRES)
 INTERNAL TREES: 1

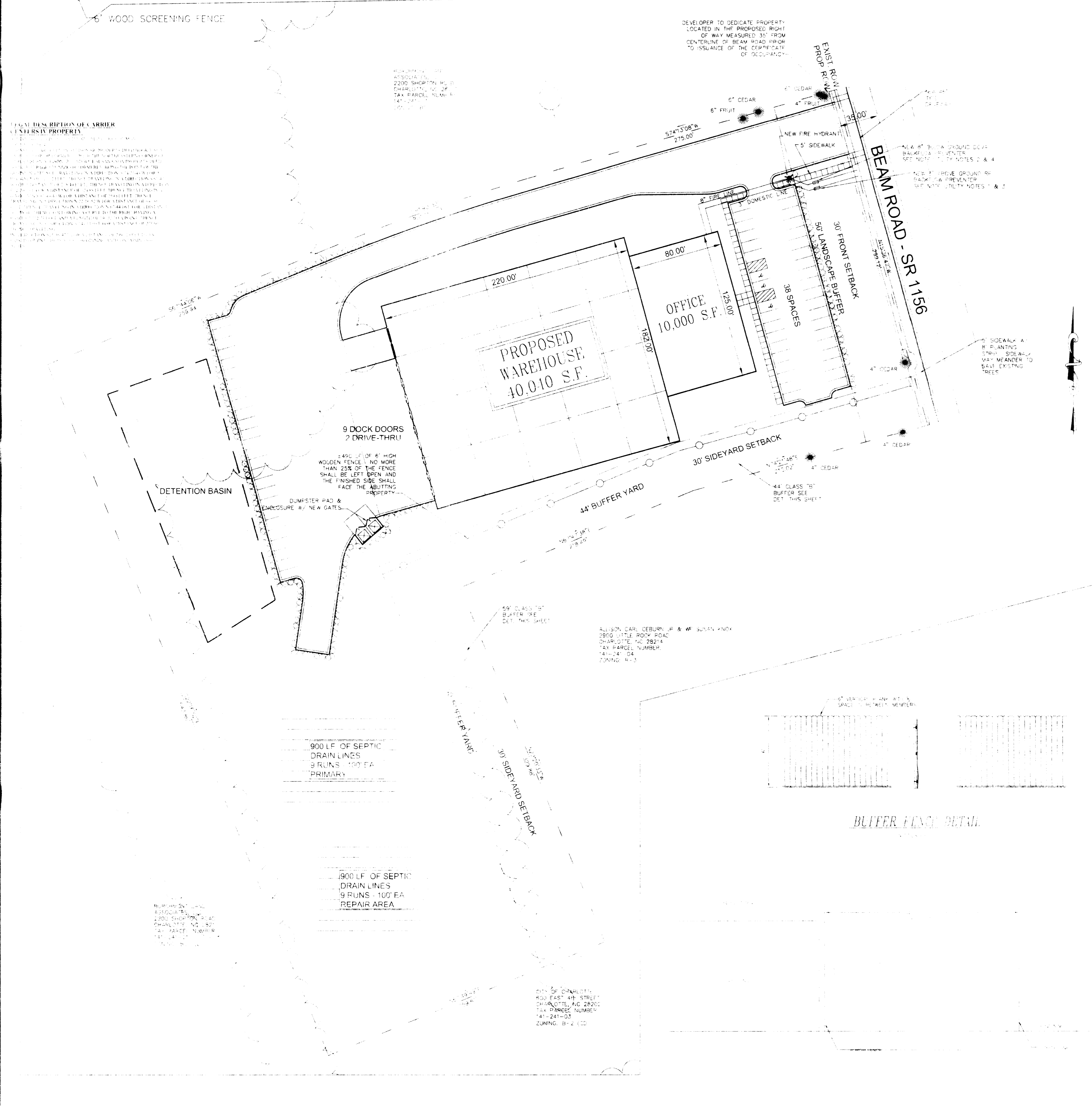
H. PERVIOUS IMPERVIOUS AREA
 EXIST IMPERVIOUS AREA: 5,873 SQ. FT.
 FUTURE IMPERVIOUS AREA: 14,007 SQ. FT.
 GREEN AREA: 189,246 SQ. FT.
 TOTAL AREA: 403,278 SQ. FT.

PARKING CALCULATIONS:
 1. OFFICE AREA: 15,900 SF
 10,000 SF OFFICE: 15 SPACES REQUIRED
 2. WAREHOUSE: 15,900 SF
 10,000 SF WAREHOUSE: 10 SPACES REQUIRED
 THEREFORE: 25 SPACES REQUIRED

TREE CALCULATIONS:
 1. FRONT YARD: 10,000 SF
 25 FT SETBACK: 250 FT x 20 FT = 5,000 SF
 2. SIDE YARD: 10,000 SF
 5 FT SETBACK: 100 FT x 20 FT = 2,000 SF
 3. REAR YARD: 10,000 SF
 5 FT SETBACK: 100 FT x 20 FT = 2,000 SF

VICINITY MAP

- GENERAL DESCRIPTION OF CARRIER UTILITIES PROPERTY:**
1. ALL UTILITIES SHOWN ON THIS PLAN ARE TO REMAIN UNDISTURBED UNLESS SPECIFICALLY NOTED OTHERWISE.
 2. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
 3. THE LOCATION OF ALL UTILITIES SHALL BE SHOWN ON THE GRADING PLAN.
 4. THE LOCATION OF ALL UTILITIES SHALL BE SHOWN ON THE BUFFER FENCE DETAIL.
 5. THE LOCATION OF ALL UTILITIES SHALL BE SHOWN ON THE LANDSCAPE PLAN.
 6. THE LOCATION OF ALL UTILITIES SHALL BE SHOWN ON THE PAVING PLAN.
 7. THE LOCATION OF ALL UTILITIES SHALL BE SHOWN ON THE SEWER PLAN.
 8. THE LOCATION OF ALL UTILITIES SHALL BE SHOWN ON THE WATER PLAN.
 9. THE LOCATION OF ALL UTILITIES SHALL BE SHOWN ON THE ELECTRICAL PLAN.
 10. THE LOCATION OF ALL UTILITIES SHALL BE SHOWN ON THE MECHANICAL PLAN.



- GENERAL NOTES:**
1. BOUNDARY INFORMATION SHOWN ON THIS PLAN WAS TAKEN FROM THE 2001 PLAT OF THE PROJECT SUBMITTED BY STEPHEN B. MULLINS & ASSOC., INC. (4-18-2000).
 2. INTERIOR BUILDING DIMENSIONS SHALL BE FROM FACE TO FACE UNLESS OTHERWISE NOTED.
 3. DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
 4. ALL "STD" NUMBERS REFER TO THE CHARLOTTE-MECKLENBURG DISTRICT PLANNING STANDARDS MANUAL.
 5. NON-STANDARD ITEMS IE PAVERS IRRIGATION SYSTEMS SHALL BE APPROVED BY THE DISTRICT PRIOR TO ANY PERMITTING PROCESS.
 6. RIGHT OF WAY ENCROACHMENT AGREEMENT WITH NCDOT BEFORE CONSTRUCTION.
 7. ASSIGNED BUILDING NUMBER MUST BE CLEARLY VISIBLE FROM THE ROAD.
 8. REQUIRED STORMWATER DETENTION WILL BE PROVIDED IN A FURNISHED PIPE SYSTEM.
 9. NO ABOVE GROUND STORMWATER DETENTION ALLOWED AT THIS SITE.
 10. NO LOADING DOCKS SHALL BE ALLOWED TO FACE BEAM ROAD.
 11. SIDEWALK TO BE INSTALLED FROM EACH BUILDING ENTRANCE TO THE NEAREST BEAM ROAD.
 12. WALL PAX TYPE LIGHTING ALONG PUBLIC STREETS OR LOCATED NEAR SINGLE FAMILY RESIDENTIAL PROPERTY PROHIBITED.
 13. SIDEWALK OF PLANTING STRIP MAY MEANDED TO SAVE EXISTING TREES.
 14. DEVELOPER TO DEDICATE PROPERTY LOCATED IN THE PROPOSED BUFFER YARD MEASURED 15' FROM CENTERLINE OF BEAM ROAD PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- UTILITY NOTES:**
1. BACKFLOW PREVENTOR SHALL BE REDUCED PRESSURE PRINCIPLE ASSEMBLY (RPP) TYPE (RPP) (FGC 200-200) OR APPROVED EQUAL.
 2. 2" BACKFLOW PREVENTOR SHALL BE DOUBLE CHECK VALVE ASSEMBLY (DCVA) (FPL 200-200) OR APPROVED EQUAL.
 3. 3" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTOR ASSEMBLY (RPP) SHALL BE INSTALLED IN ALL ABOVE GROUND WITHIN INSULATED ENCLOSURE PER CAUD REQUIREMENTS. ENCLOSURE TO INCLUDE DRAIN PORT(S) FOR DISCHARGE WATER PER CAUD REQUIREMENTS.
 4. 8" DOUBLE CHECK VALVE BACKFLOW PREVENTOR ASSEMBLY (DCVA) SHALL BE INSTALLED WITHIN CONCRETE VAULT PER LOCAL REQUIREMENTS. INSTALL 2" DRAIN TO SANITARY DRAIN REQUIREMENTS.
 5. SEWER PIPE TO BE SCHEDULED 40" PVC CLEAN OUTS TO BE INSTALLED TO THE MAIN WATER PIPE TO BE COPPER L. MEETING AWWA C900 REQUIREMENTS (MAY).
 6. BACKFLOW PREVENTORS TO BE LOCATED OUTSIDE OF THE FRONT SETBACK BUFFER YARD. PREVENTORS MAY BE LOCATED IN REAR OF 50' BUFFER.
- LANDSCAPING NOTES:**
1. NO SOIL DISTURBANCE OR CONSTRUCTION SHALL OCCUR IN THE BUFFER ZONE PRIOR TO THE INSTALLATION OF THE BUFFER FENCE.
 2. BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, OR CONSTRUCTION OF THE BUFFER FENCE OR CONSTRUCTION OF THE BUFFER FENCE.
 3. LANDSCAPE TIMBERS, WHEEL STOPS, OR CURB AND GUTTER SHALL BE INSTALLED PER THE LANDSCAPE PLAN.
 4. MINIMUM TREE SIZE AT PLANTING IS 2 INCHES CALIPER, 2 FEET TALL, AND MUST BE MULTISTEM. MULCH IS REQUIRED. STAKING AND SUPPORTS ARE REQUIRED.
 5. ALL STAKING AND TOP 70% OF WIRE BASKETS MUST BE CUT AWAY AND REMOVED FROM THE SITE PRIOR TO BACKFILLING PLANTING HOLE. REMOVE TOP 1/2 OF WIRE BASKET FROM THE HOLES AND ACCORDANCE WITH SECTION 7-30 IN THE CITY OF CHARLOTTE ZONING ORDINANCE.
 6. TREE PROTECTION FENCE IS TO BE LOCATED 1 FOOT PER TREE DIAMETER AWAY FROM THE TREE IN THE SETBACK OR RIGHT-OF-WAY. PLEASE SHOW DIMENSIONS ON THE LANDSCAPE PLAN.
 7. ALL PLANTING AREAS SHALL HAVE AMENDED SOIL FOR 12" DEPTH TO MEET THE REQUIREMENTS TO MEET TROPICAL PLANTING STANDARDS FOR TREES.
 8. ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES AND TO KEEP SEWER AND STORM DRAINAGE LINES 18" AWAY FROM WATER PIPES AND UNDERGROUND ELECTRICAL LINES.
 9. ALL AUTOMOBILE PARKING SPACES MUST BE WITHIN SIX FEET OF THE BUFFER FENCE. NO PARKING SHALL BE ALLOWED FOR FINAL INSPECTION OF TREES AND THEREAFTER. THEREAFTER DAYS BEFORE THE CERTIFICATE OF OCCUPANCY IS ISSUED.
 10. LARGE MATURING TREES MUST BE A MIN 25" TO 30" DBH AND MUST BE WITHIN 10' FROM TRANSMISSION LINES.
 11. TREES ARE REQUIRED TO GROW TO THEIR NATURAL HEIGHT AND TO BE MAINTAINED WITHIN THE PROTECTION ZONE.
 12. TREE PROTECTION BARRICADES MUST BE 18" EXCEPT TREES WITH DBH 18" TO 24" SHALL BE 24" HIGH. CITY OF CHARLOTTE TREE PROTECTION BARRICADES APPLICABLE TO THE PROJECT.
 13. BARRICADES SHALL BE 18" HIGH AND SHALL BE MAINTAINED WITHIN THE PROTECTION ZONE. LEAVE SOIL AND MULCH IN PLACE WITHIN THE PROTECTION ZONE. SUPPLEMENT WITH 1/2 INCHES OR MORE MULCH RESEED WITH GRASS SEED WITHIN THE PROTECTION ZONE.
 14. BRUSH VINES AND SMALL TREES 6" TO 12" CALIPER SHALL BE MAINTAINED WITHIN THE PROTECTION ZONE. BRUSH VINES SHALL BE MAINTAINED ONLY WITH FLUSH WITH GROUND SURFACE. EXPOSED BRUSH VINES SHALL BE CUT TO AT LEAST 3 FEET. AT LEAST 3 FEET THE BRANCHES SHOULD BE TRIMMED TO IMPROVE VISIBILITY.
 15. EXPOSED TREE ROOTS MUST BE CLEANLY CUT OFF OR SHEARED OFF TO THE SURFACE TO MINIMIZE EXPOSURE TO THE AIR.
 16. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION OR CONSTRUCTION OF THE BUFFER FENCE OR CONSTRUCTION OF THE BUFFER FENCE. INSPECTION BY URBAN FORESTER.
 17. ALL TREES GREATER THAN 8" IN DIAMETER IN SEPARATE AND IN THE PROTECTION ZONE SHALL BE MAINTAINED WITHIN THE PROTECTION ZONE.

ATTACHED TO ADMINISTRATIVE APPROVAL
 DATED: December 15, 2003
 APPROVED BY: Debra Campbell, Interim Planning Director
 2001-71

DR. MANARI NOT FOR CONSTRUCTION				OTS ASTRACON BEAM ROAD Charlotte, North Carolina	
THIS DRAWING IS THE PROPERTY OF S.C. HONDROS & ASSOCIATES, INC. IT IS TO BE USED ONLY AS A MEANS OF COMMUNICATION BETWEEN S.C. HONDROS & ASSOCIATES, INC. AND ITS CLIENT. IT IS NOT TO BE USED FOR ANY OTHER PURPOSE, AND IT IS NOT TO BE REPRODUCED IN ANY MANNER WITHOUT THE EXPRESSED WRITTEN PERMISSION OF S.C. HONDROS & ASSOCIATES, INC.					
DATE: 12/2001	SCALE: AS SHOWN	DATE: 12/2001	SCALE: AS SHOWN	DATE: 12/2001	SCALE: AS SHOWN
S.C. HONDROS & ASSOCIATES, INC.				S.C. HONDROS & ASSOCIATES, INC. PLANNING DESIGN, CONSTRUCTION POST OFFICE BOX 220456 CHARLOTTE, N.C. 28222-0456 TEL: 704.375.1000	
SITE PLAN				SP	

CHARLOTTE-MECKLENBURG PLANNING COMMISSION
INTER-OFFICE COMMUNICATION

DATE: December 15, 2003
TO: Robert Brandon, Zoning Administrator
FROM: Debra Campbell, Interim Planning Director
SUBJECT: Administrative Approval for Petition No. 2001-71 by Yesco Ltd.

Attached is a revised conditional plan for the above petition. The plan has been revised to show a new site layout with one building. Since this change is minor I am administratively approving this revised plan. Please use this plan when evaluating requests for building permits and certificates of occupancy. Note that all other conditions still apply.



Charlotte-Mecklenburg Planning Department

DATE: December 9, 2016

TO: Donald Moore
Zoning Supervisor

FROM: Ed McKinney
Interim, Planning
Director

SUBJECT: Administrative Approval for Petition No. 2001-070 JDH Capital

Attached is the revised site plan for the petition above. This request allows the modification of the proposed site plan as listed below. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

- Expansion for an existing retail use (ALDI).
- Site Layout
- Building Elevations
- Landscape plan

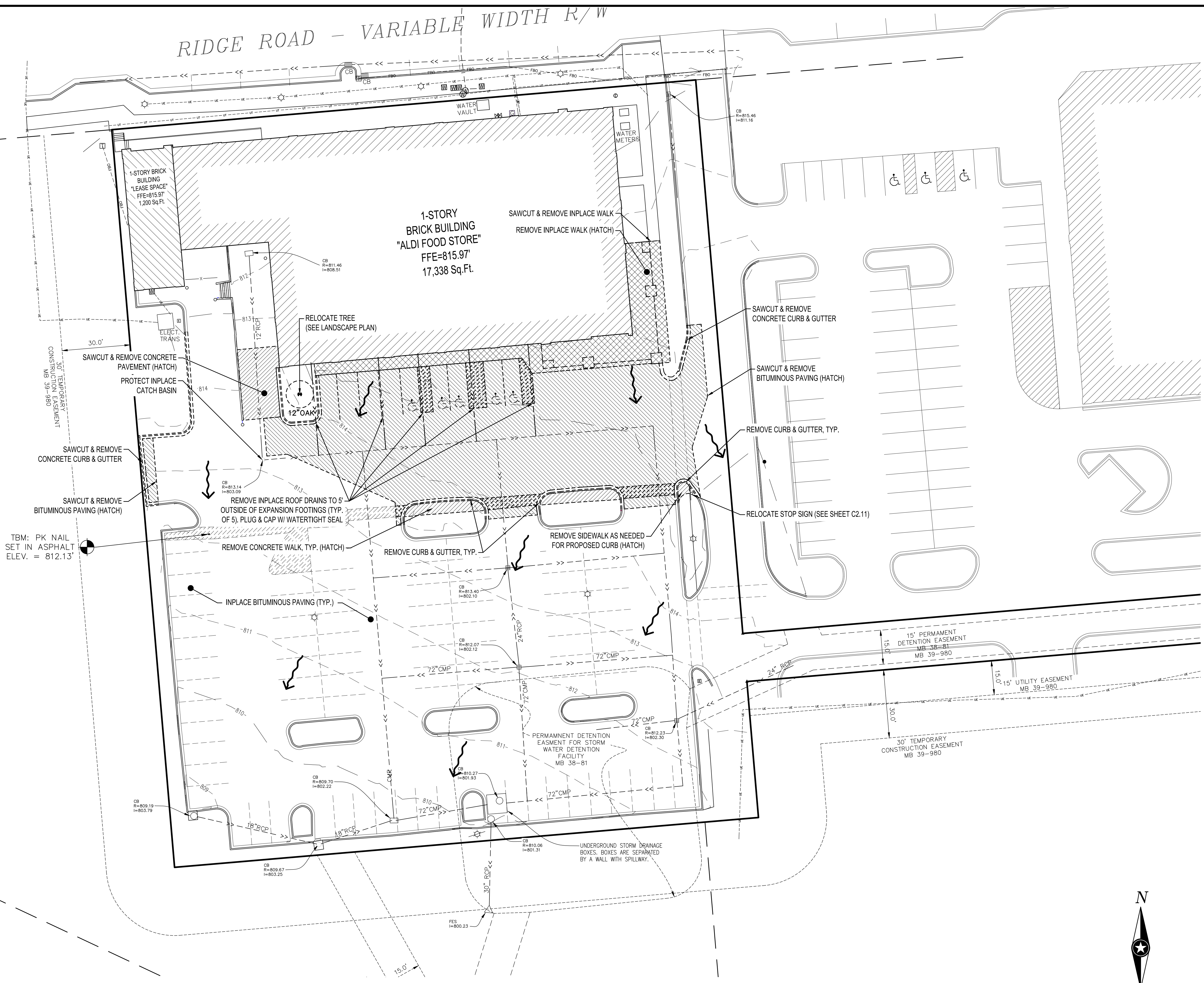
Reasons for Staff's support of the request:

- The site plan complies with the conditional notes and still meets the intent of the approved site plan by the City Council.

Note: All other Zoning, Subdivision, Tree Ordinances, Building Codes, and conditional requirements still apply.

Signage was not reviewed as part of this request.

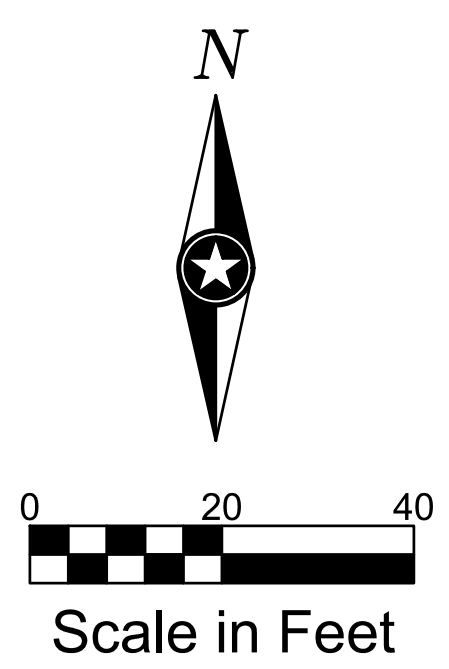
RIDGE ROAD - VARIABLE WIDTH R/W



TBM: PK NAIL SET IN ASPHALT ELEV. = 812.13'

EXISTING DRAINAGE ARROW

NOTE: SEE SHEET C4.11 FOR SITE EROSION CONTROL

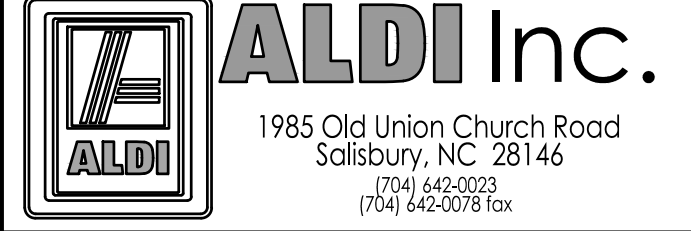


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1 COUNTY COMMENTS	10/21/16
2 CITY COMMENTS	11/30/16
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B.M. ELEVATION=812.13
PK nail set in asphalt crosswalk in the west-central portion of the parking lot, approximately 27' from West property line.



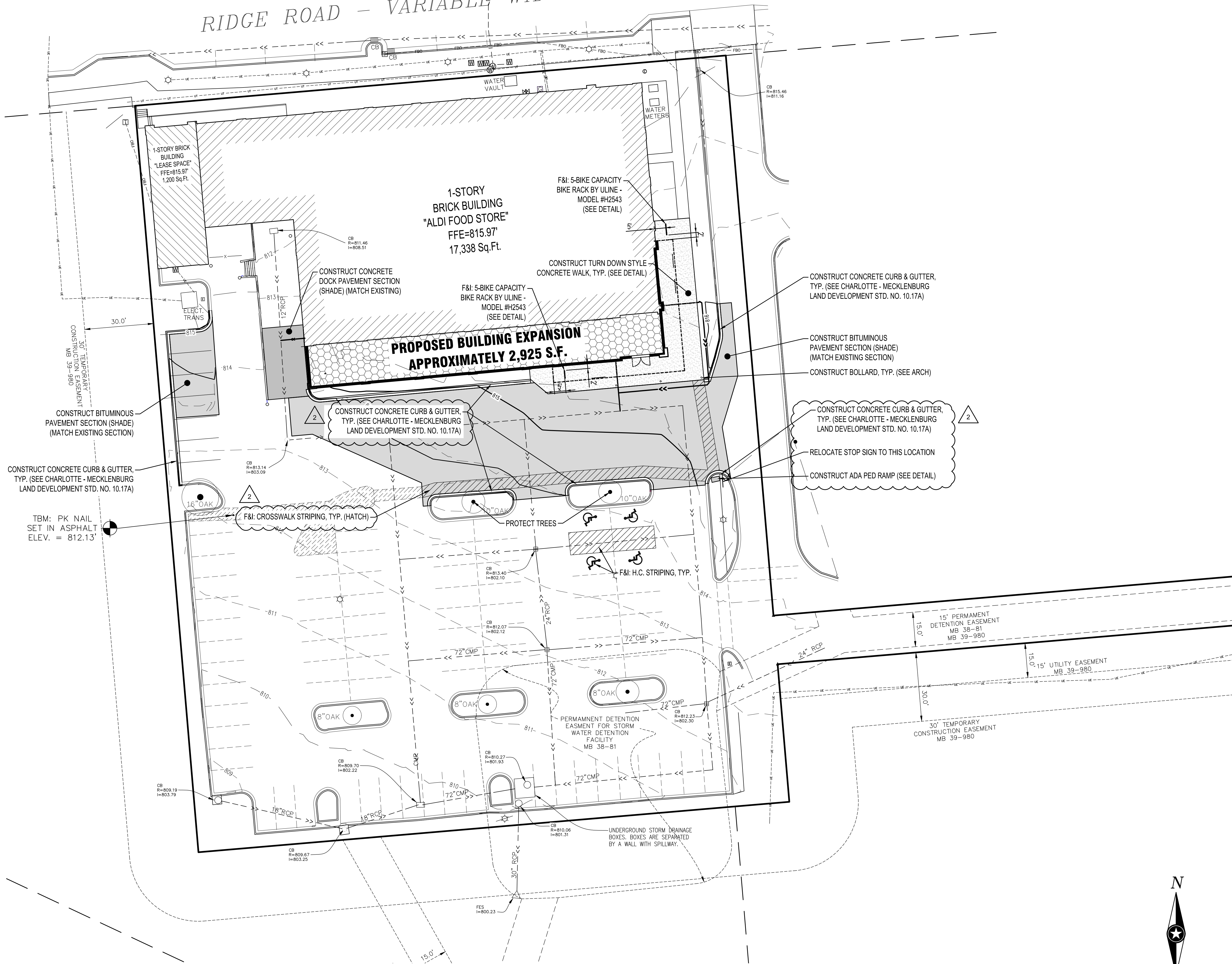
MINNEAPOLIS / ST. PAUL OFFICE
7900 INTERNATIONAL DRIVE
INTERNATIONAL PLAZA, SUITE 550
MINNEAPOLIS, MN 55425
PHONE: 952.426.0699



Aldi Inc. Store # :14
Charlotte, NC
5817 Prosperity Church Road
Charlotte, NC 28269
Mecklenburg County
Project Name & Location:

EXISTING SITE & REMOVAL PLAN	
Drawing Name:	
Date: 10/11/16	Project No. 16-19299
Type: V1.07	
Drawn By: SMT	C1.11
Scale: As Noted	Drawing No.

RIDGE ROAD - VARIABLE WIDTH R/W

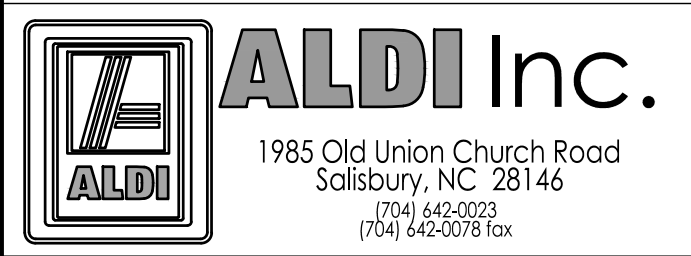


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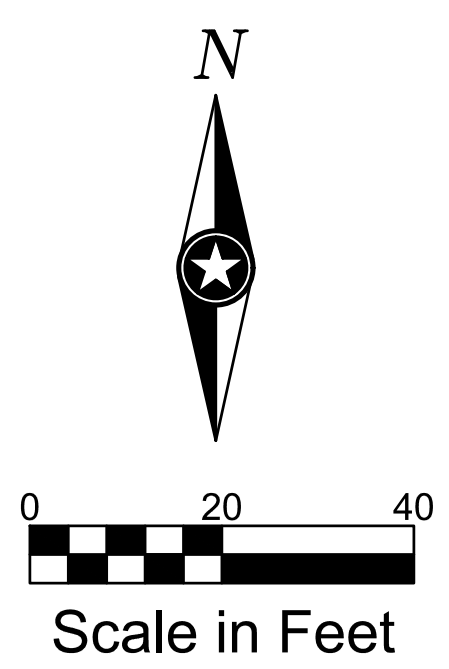


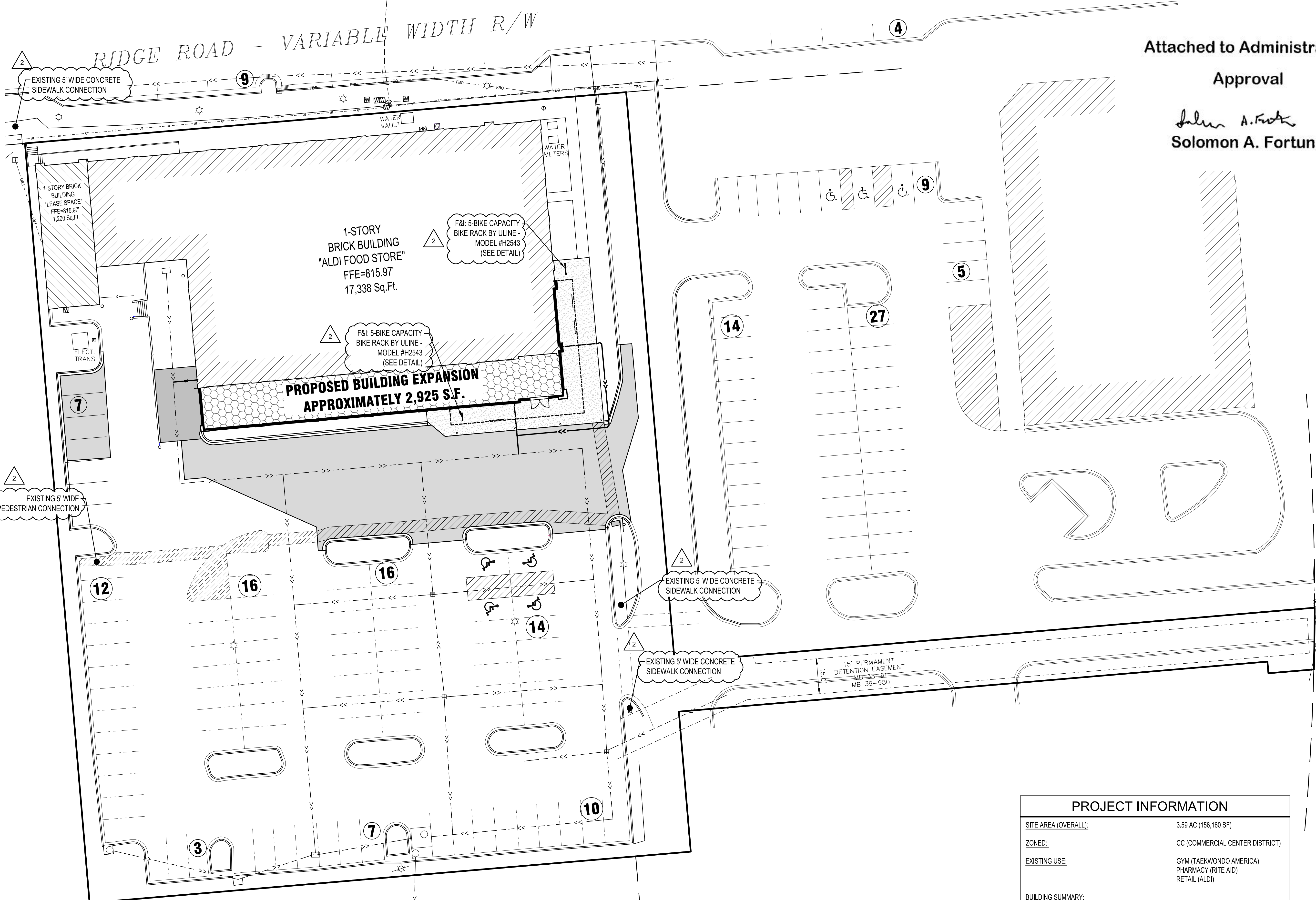
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Aldi Inc. Store # :14
 Charlotte, NC
 5817 Prosperity Church Road
 Charlotte, NC 28269
 Mecklenburg County
 Project Name & Location:

SITE PLAN	
Drawing Name:	Project No.
Date: 10/11/16	16-19299
Type: V1.07	
Drawn By: SMT	C2.11
Scale: As Noted	Drawing No.





Attached to Administrative
Approval

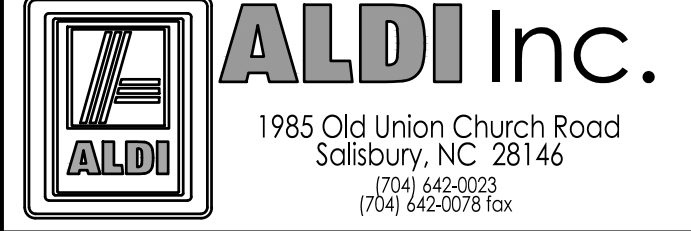
Solomon A. Fortune \$C
Solomon A. Fortune

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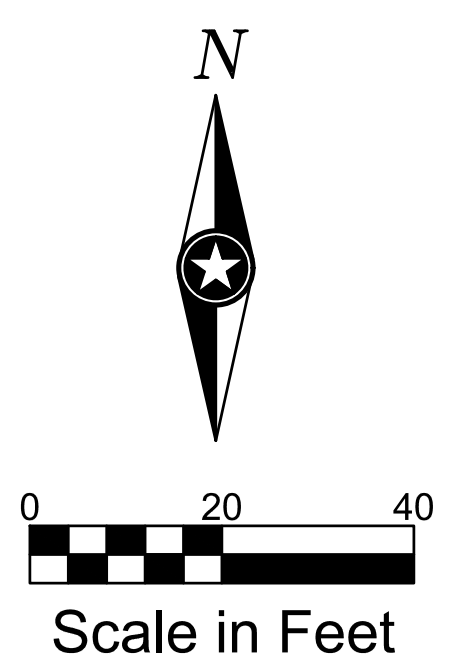
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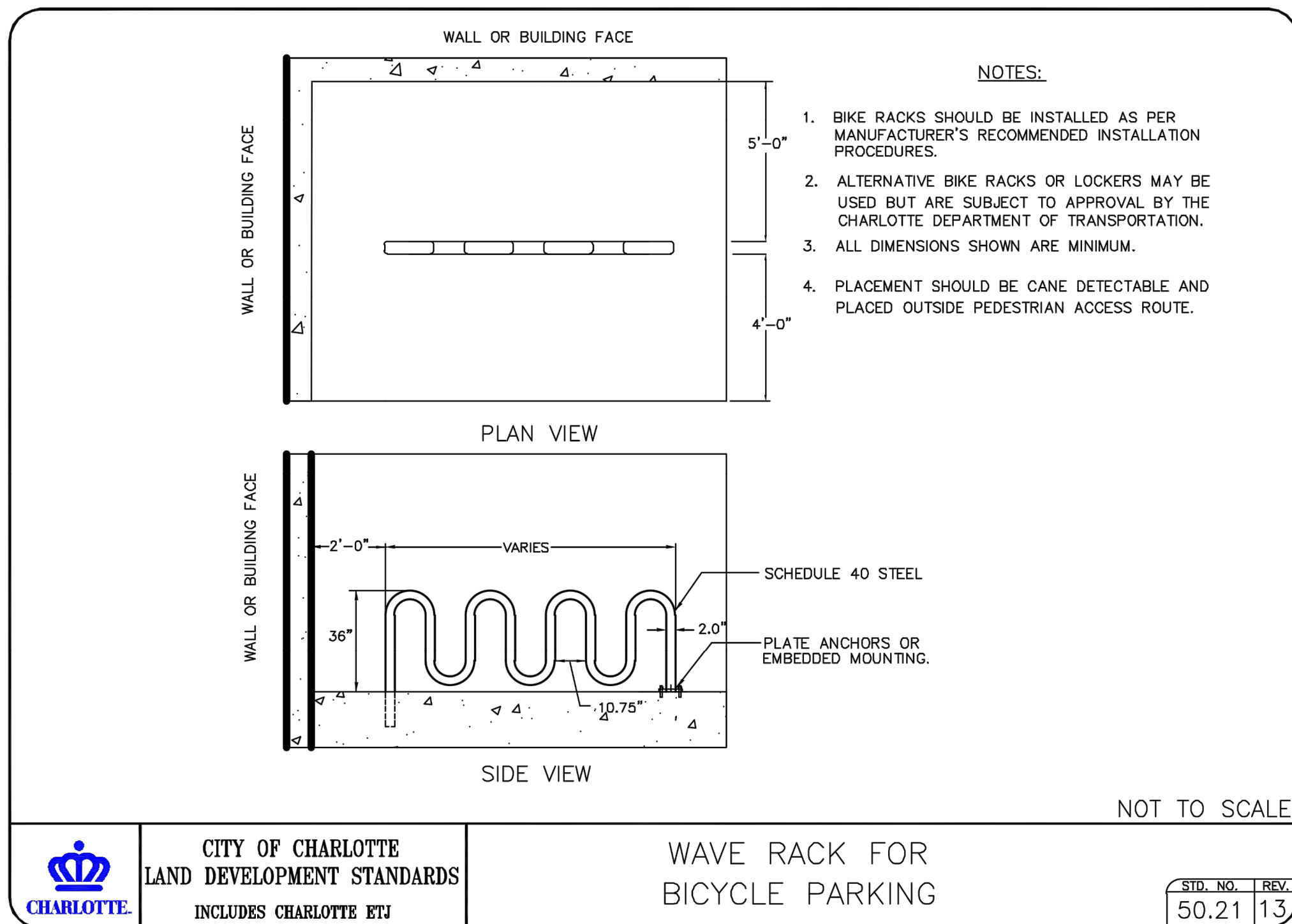
Aldi Inc. Store # :14
Charlotte, NC
5817 Prosperity Church Road
Charlotte, NC 28269
Mecklenburg County
Project Name & Location:

OVERALL PARKING PLAN	
Drawing Name:	
Date: 10/11/16	Project No. 16-19299
Type: V1.07	
Drawn By: SMT	C2.13
Scale: As Noted	Drawing No.

PROJECT INFORMATION	
SITE AREA (OVERALL):	3.59 AC (156,160 SF)
ZONED:	CC (COMMERCIAL CENTER DISTRICT)
EXISTING USE:	GYM (TAEKWONDO AMERICA) PHARMACY (RITE AID) RETAIL (ALDI)
BUILDING SUMMARY:	
TAEKWONDO AMERICA	1,200 SF
RITE AID	14,394 SF
ALDI	20,100 SF (PROPOSED)
PARKING SUMMARY:	
PARKING PROVIDED (TOTAL)	153 SPACES
TAEKWONDO AMERICA	9 SPACES (RIDGE ROAD)
RITE AID	59 SPACES (4 ON RIDGE ROAD)
ALDI	85 SPACES
PARKING REQUIRED (TOTAL)	145 SPACES
TAEKWONDO AMERICA (1 SPACE/200 SF)	6 SPACES
RITE AID (1 SPACE/250 SF)	58 SPACES
ALDI (1 SPACE/250 SF)	81 SPACES



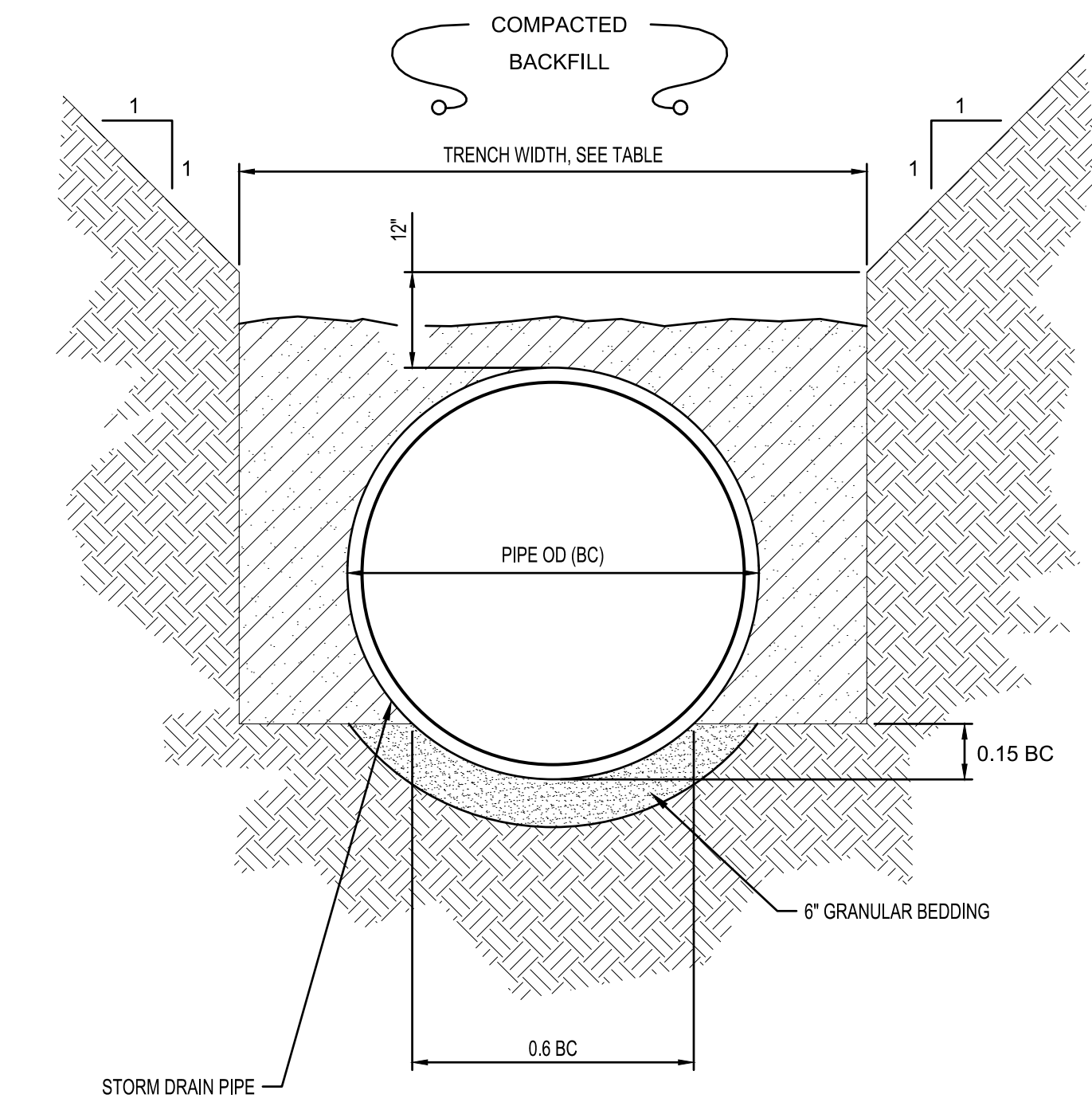
PROSPERITY CHURCH ROAD - 70' R/W



CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
INCLUDES CHARLOTTE ETJ

WAVE RACK FOR
BICYCLE PARKING

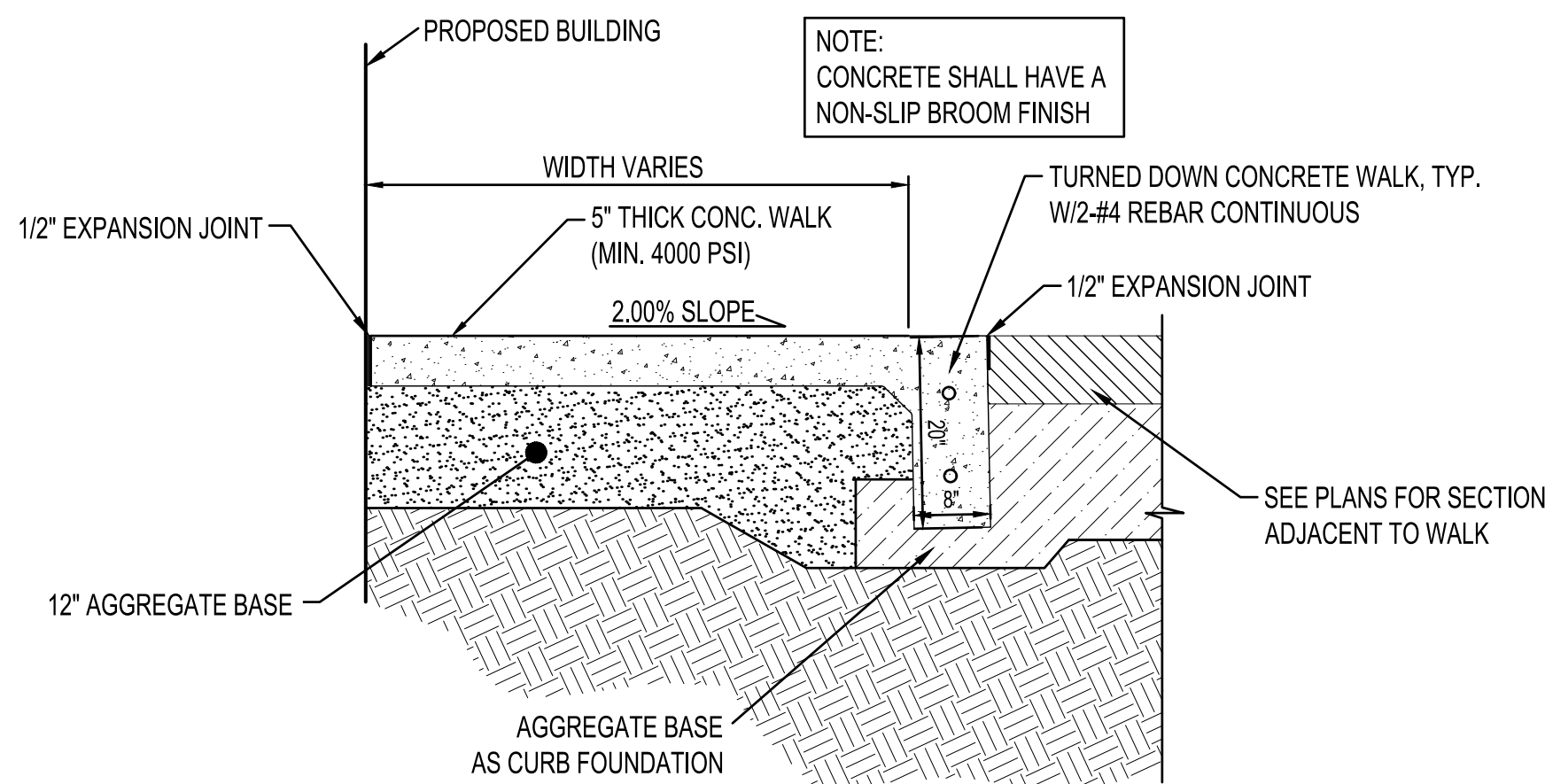
STD. NO.	REV.
50.21	13



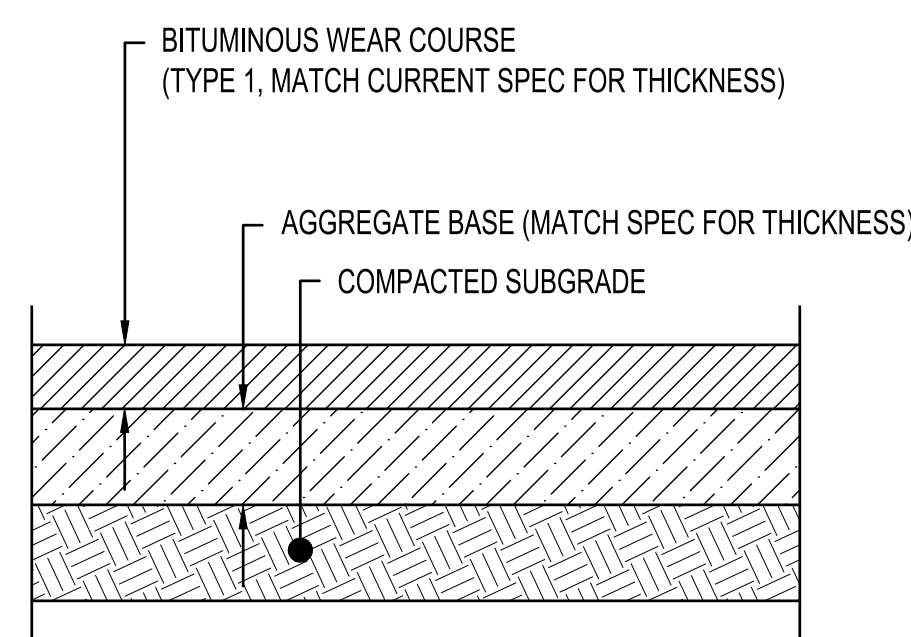
NOTE:
GRANULAR BEDDING AND BACKFILL FOR STORM DRAIN PIPES SHALL BE INCIDENTAL TO STORM DRAIN CONSTRUCTION

TRENCH WIDTH	
PIPE DIAM	TRENCH WIDTH
36" OR LESS	BC + 24"
42" TO 54"	1.5 x BC

NON-CONCRETE STORM DRAIN PIPE BEDDING
NTS SD600



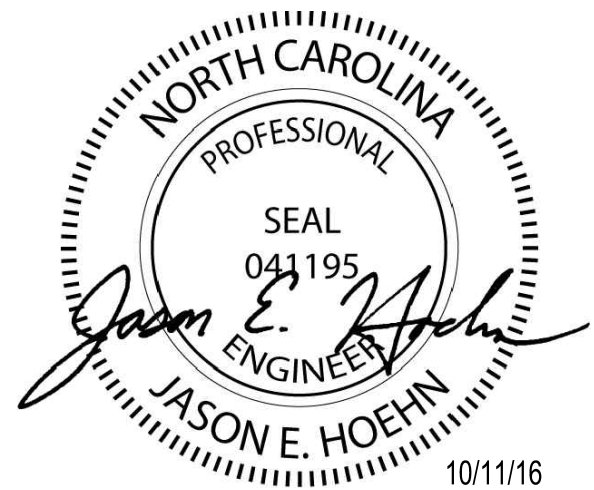
TURN DOWN CONCRETE WALK SECTION
N.T.S.



STANDARD BITUMINOUS PAVEMENT SECTION
N.T.S.

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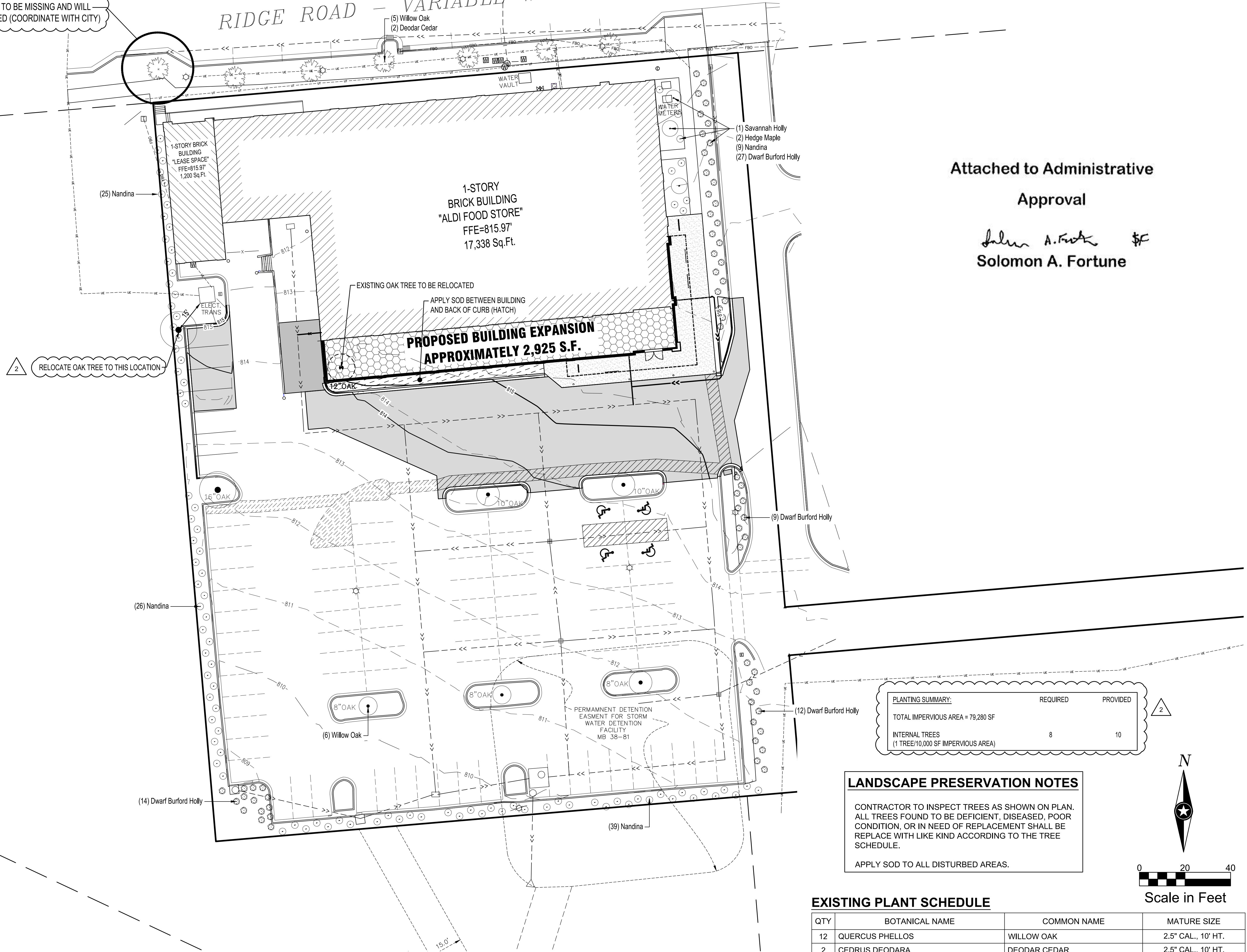
Aldi Inc. Store # :14
Charlotte, NC
5817 Prosperity Church Road
Charlotte, NC 28269
Mecklenburg County
Project Name & Location:

SITE DETAILS	
Drawing Name:	
Date: 10/11/16	Project No. 16-19299
Type: V1.07	
Drawn By: SMT	C5.11
Scale: As Noted	Drawing No.

THIS TREE IS KNOWN TO BE MISSING AND WILL NEED TO BE REPLACED (COORDINATE WITH CITY)

RIDGE ROAD - VARIABLE WIDTH R/W

RELOCATE OAK TREE TO THIS LOCATION



Attached to Administrative Approval

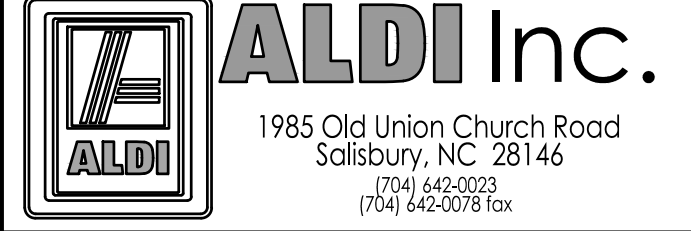
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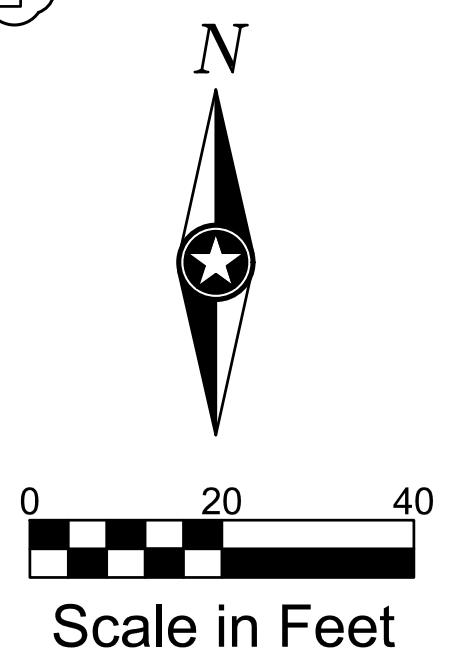


Aldi Inc. Store # :14
Charlotte, NC
5817 Prosperity Church Road
Charlotte, NC 28269
Mecklenburg County
Project Name & Location:

PLANTING SUMMARY:	REQUIRED	PROVIDED
TOTAL IMPERVIOUS AREA = 79,280 SF		
INTERNAL TREES (1 TREE/10,000 SF IMPERVIOUS AREA)	8	10

LANDSCAPE PRESERVATION NOTES

CONTRACTOR TO INSPECT TREES AS SHOWN ON PLAN. ALL TREES FOUND TO BE DEFICIENT, DISEASED, POOR CONDITION, OR IN NEED OF REPLACEMENT SHALL BE REPLACE WITH LIKE KIND ACCORDING TO THE TREE SCHEDULE.
APPLY SOD TO ALL DISTURBED AREAS.



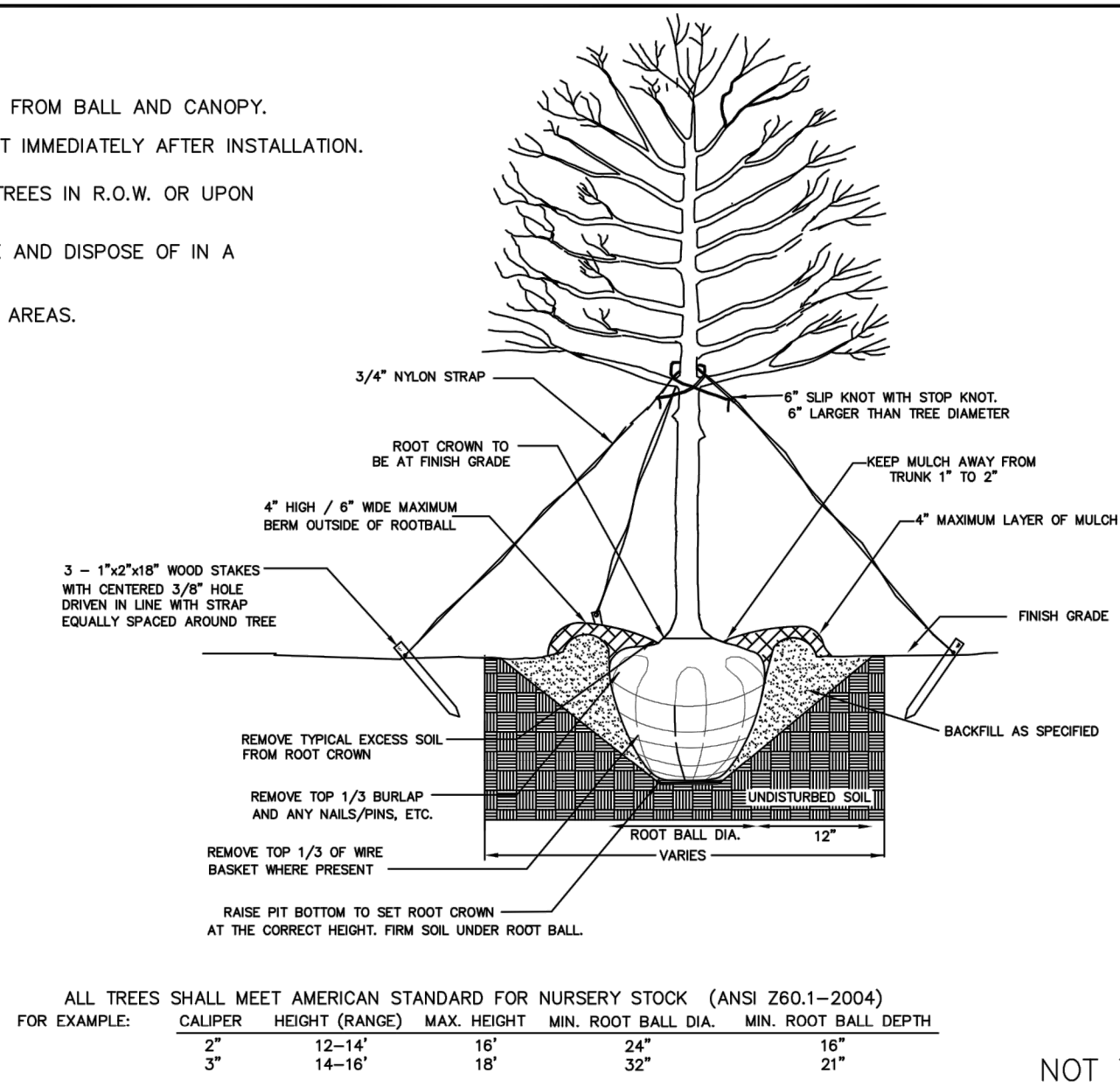
EXISTING PLANT SCHEDULE

QTY	BOTANICAL NAME	COMMON NAME	MATURE SIZE
12	QUERCUS PHELLOS	WILLOW OAK	2.5" CAL., 10' HT.
2	CEDRUS DEODARA	DEODAR CEDAR	2.5" CAL., 10' HT.
2	ACER CAMPESTRE	HEDGE MAPLE	2.5" CAL., 10' HT.
1	ILEX X ATTENUATA SAVANNAH	SAVANNAH HOLLY	2.5" CAL., 10' HT.
74	ILEX CORNUTA "CARISSA"	DWARF BURFORD HOLLY	2' HT., 2' SPREAD, 5' O.C.
99	NANDINA DOMESTICA	NANDINA	2' HT., 2' SPREAD, 5' O.C.

LANDSCAPE PRESERVATION PLAN	Project No.
Drawing Name:	16-19299
Date: 10/11/16	
Type: V1.07	
Drawn By: SMT	L1.11
Scale: As Noted	Drawing No.

NOTES:

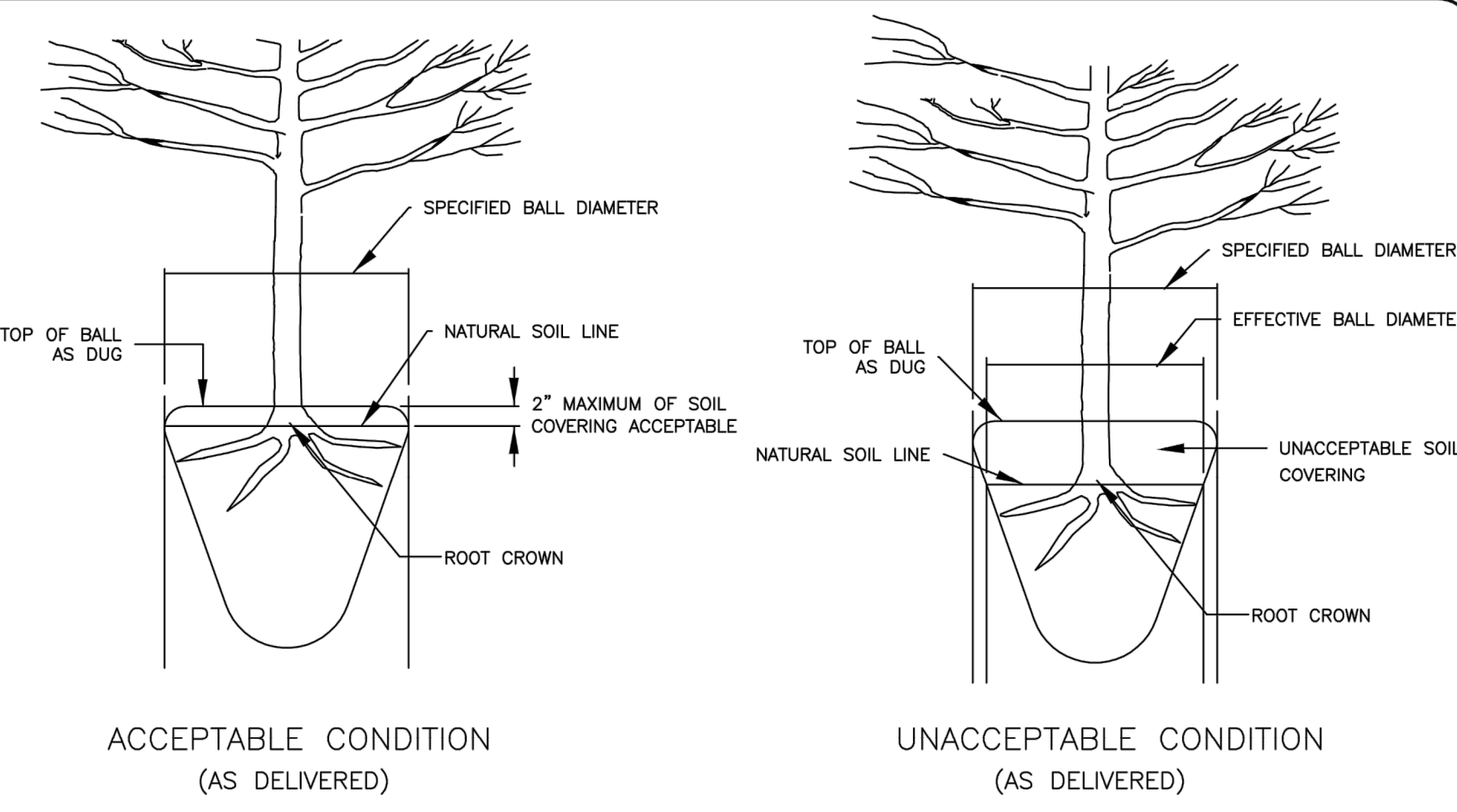
1. REMOVE WIRE AND NYLON TWINE FROM BALL AND CANOPY.
2. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
3. STAKING IS REQUIRED FOR ALL TREES IN R.O.W. OR UPON REQUEST OF ARBORIST.
4. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.
5. RESEED UNMULCHED, DISTURBED AREAS.



CITY OF CHARLOTTE
 LAND DEVELOPMENT STANDARDS
 INCLUDES CHARLOTTE ETJ

TREE PLANTING
 (FOR SINGLE AND MULTI-STEM TREES)

STD. NO. 40.01 REV. 9



NOTE:
 A ROOT FLARE EXCAVATION FOR ALL TREES SPECIFIED WILL BE DONE BY THE CITY ARBORIST TO ENSURE THAT TREES WERE NOT PLANTED/GROWN TOO DEEPLY AT SOURCE (NURSERY). LANDSCAPE CONTRACTOR SHALL HAVE SUPPLIER MARK GROUND LEVEL LINE ABOVE ROOT BALL. IF CITY ARBORIST DETERMINES THAT THERE IS EXCESSIVE SOIL OVER THE ROOT CROWN, THESE TREES WILL BE REJECTED.

CITY OF CHARLOTTE
 LAND DEVELOPMENT STANDARDS
 INCLUDES CHARLOTTE ETJ

ROOT FLARE DEPTHS
 (TREE ROOT BALL CONDITION ON TREES FROM SUPPLIERS)

STD. NO. 40.09 REV. 9

PLANTING NOTES

Charlotte urban Forestry - Tree Planting and preservation Requirements (updated 10/10/16)

Plant Material

1. Minimum tree size at planting is 2" caliper and 8' tall for single-stem trees. All multi-stem plants must be tree form, maximum 3 to 5 trunks, and minimum 10' tall. Where 3" single-stem caliper trees are specified/required the minimum height shall be 10' tall, if multi-stem trees are specified then they shall be a minimum of 12' tall.
2. All new trees must have **straight trunks with strong central leaders intact to the top of the crown** unless multi-stem trees are specified. All required trees shall be typical of their species and variety, have normal growth habits, have well-developed branches, be vigorous and have fibrous root systems. Trees with major girdling roots will NOT be accepted. Trees with co-dominant branching will NOT be accepted. Trees that have been sheared, topped or cut back to multiply the branching structure will NOT be accepted. Trees shall be free of abrasions, damage, disease, pests and cracks. All pruning cuts greater than 1/2 inch diameter shall have callus tissue formed prior to planting. No pruning cut on the trunk shall be more than one-half the diameter of the central leader at the height where the cut was made. Root flares must be located at grade. Trees with more than 2" of soil covering the root ball/flare from will NOT be accepted (CLDS.40.09).
3. Size of required plants, spread of roots and size of balls shall be in accordance with ANSI Z60.1 (latest edition) as published by the American Nursery & Landscape Association, except where specified/authorized by Urban Forestry.
4. All required trees of a particular species and variety shall be uniform in size and configuration.
5. Perimeter trees in urban zones shall be 3" in caliper and be free of branches up to 6' from the top of root crown (ball).
6. A minimum of 50% of new trees must be native species, and sites with more than 20 trees required will have to install multiple (3 or more) species pursuant to the Tree Ordinance Guidelines.
7. 75% of required trees must be large mature species except in situations with overhead power line conflicts.

Planting Requirements: maximum 3 to 5 trunks, and minimum 8 feet tall.

8. See CLDS 40.01 & 40.09 (on plan) for detailed tree planting requirements.
9. Plastic hose parts will NOT be accepted for tree staking. See CLDS 40.01 for approved staking method/materials.
10. All strapping, and top 1/3 of wire basket and burlap must be cut away and removed from root ball when planting.
11. For new planting areas, remove all pavement, gravel sub-base and construction debris; remove compacted soil and add 18" new topsoil, or till and amend the top 18" of existing soil to meet topsoil/planting mix standards for trees (within entire minimum area of 274 square feet).
12. Trees planted on public property will need approval from the City Arborist and/or NCDOT.
13. Review soil requirements in the Tree Ordinance Guidelines at: <http://charlottenc.gov/ld> then click Trees.

Utility Issues

14. If any utility is being installed in or near any required tree(s) or Tree Save Area(s), call Urban Forestry Specialist to resolve PRIOR to utility installation.
15. Large maturing trees may not be planted within 25' of overhead power distribution or transmission lines.
16. If trees conflict with any utilities or signs; call Urban Forester to resolve BEFORE planting.
17. Adjust tree planting locations to avoid existing underground utilities. Plant 15' from all underground utilities.
18. No light poles, utilities or transformers can be installed in tree islands.
19. Commercial scale lighting (> 15' in height) must be a minimum distance of 30' from a tree. Pedestrian scale lighting (< 15' in height) must be a minimum distance of 15' from a tree. Show site lighting on landscape plan.

Tree Save & Preservation

20. Tree protection must be installed and verified by Urban Forestry prior to starting ANY construction activity.
21. Show tree protection and tree save areas on erosion control, grading and landscape plan sheets.
22. Commercial tree save areas must be recorded on a final plat with the Mecklenburg County Register of Deeds before Urban Forestry holds can be released. A 10' no build zone around tree save areas must be referenced on the plat.
23. Tree Save Areas shall be free of invasive plant species. If an area proposed for tree save contains invasive plant species at time of proposal, such invasive plant species shall be removed prior to final CO.
24. The area of any easements (water, sewer, utility, etc.) can NOT be counted toward the tree save requirement.
25. Any alterations to tree save areas must be accomplished without mechanized equipment.
26. No structure will be allowed within 10' of tree save areas unless approved by Urban Forestry.
27. All trees on public property are protected and removal must be permitted by the city arborist (704) 336-4262.
28. Contact Urban Forestry Specialist PRIOR to any crane set-up, machinery operation, or temporary construction trailer siting that may impact Charlotte Tree Ordinance protected trees or tree save areas, including trees located in street right of way. Impacts may include but are not limited to: encroaching within tree drip-lines, excavation, soil compaction, tree trimming, erecting and dismantling of construction cranes.

General

29. Submit required CO/hold release form at <http://charlottenc.gov/ld> for an inspection of tree protection/planting areas, a minimum of 5 days before the CO/hold release is needed.
30. Visit City of Charlotte's Land Development website for additional information and urban forestry requirements: <http://charlottenc.gov/ld> then click Trees.



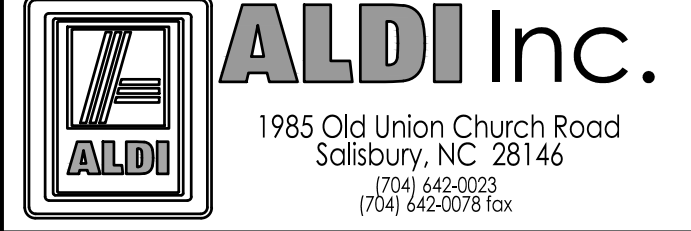
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LANDSCAPE PRESERVATION NOTES & DETAILS Drawing Name:	
Date: 10/11/16	Project No. 16-19299
Type: V1.07	
Drawn By: SMT	L1.12
Scale: As Noted	Drawing No.

EXTERIOR FINISH SCHEDULE			
KEY	MATERIAL / MFG.	COLOR / NO.	NOTES
A1	EDGE METAL BY FIRESTONE	A1 - COLOR TO MATCH EIFS A1g - SILVER METALLIC	
A2	MODULAR BRICK	FIELD COLOR - TO MATCH EXISTING	FILASTERS, FIELD AND TRANSOM WINDOW SILLS
A3	EIFS	COLOR TO MATCH EXISTING	
A4	STOREFRONT	ANODIZED ALUM.	RE: DWG. A602
A5	MEMBRANE ROOFING	GRAY	AT BACK OF ALDI LOGO SIGN TOWER, FOOD MARKET SIGN TOWER AND CANOPY ROOF - SEE SPECIFICATIONS APPENDIX 'B'
A6	METAL SOFFIT PANELS	SOLID PANELS - SEE SPEC	RE: DWG. A301-A304
A7	EXTERIOR PAINT BY SHERWIN-WILLIAMS	PT-15 / CL-5	RE: DWG. A603
A8	ROOF DRAIN CLEANOUT		TIE TO EXISTING STORM MAIN
A9	ALUMINUM COMPOSITE PANEL	A9 - BRIGHT SILVER A9g - SLATE GRAY	PROVIDE PANEL JOINTS AS SHOWN - AT ALDI LOGO SIGN FIELD AND FOOD MARKET SIGN FIELD, PROVIDE ONE PIECE TIGHT FIT EXTRUDED MOLDING INSTALLATION SYSTEM WITH CENTER REVEAL TRIM BETWEEN PANELS AND J TRIM AT PANEL EDGES. AT CANOPY FASCIA, PROVIDE 'CLIP AND CAULK' INSTALLATION SYSTEM.
A10	OVERFLOW DRAIN		W/ DOWNSPOUT NOZZLE. OUTLET ONTO SIDEWALK
A11	BLRD-2	PT-15 / CL-4	RE: DWG A603
A12	BLRD-4	FACTORY FINISH - CHARCOAL	RE: DWG A603
A13	BIKE RACK		BY ULINE - MODEL #H2543
A14	NOT USED		
A15	CART RAIL & STARTER POST	GALVANIZED	
A16	CAST STONE MEDALLION TO MATCH EXISTING	ALLUVIAL SAND	SCULPTSTONE BY PINEAPPLE GROVE DESIGNS
A17	CONTROL JOINT		MAX 30' OC RE: DWG. A503
A18	NOT USED		
A19	FOOD MARKET SIGNAGE	BY SIGN VENDOR	14'-2 3/4" w. x 1'-6" h.
A20	ALDI TOWER SIGN	BY SIGN VENDOR	7'-11 1/8" w. x 9'-5 1/2" h. SEE DETAIL D1/A503; VERIFY SIGN SIZE PRIOR TO FRAMING OPENING
A21	CRTB	NATURAL	RE: DWG A603 - SEE STRUCTURAL DWGS
A22	NOT USED		
A23	KNOX BOX	FACTORY FINISH	CONFIRM TYPE AND LOCATION WITH LOCAL FIRE MARSHALL
E1	EXIT DISCHARGE LIGHT	FACTORY FINISH	MOUNT @ 8'-0" A.F.F.
E2	WALL SCONCE	FACTORY FINISH	MOUNT @ 7'-6" A.F.F.
E3	EXTERNAL SIREN	FACTORY FINISH	MOUNT @ 12'-0" A.F.F.
E4	UTILITY METERING & C.T.	FACTORY FINISH	SEE ELECTRICAL DWGS
E5	EXTERIOR WALL PACK	FACTORY FINISH	MOUNT @ 12'-0" A.F.F.
E6	EXTERIOR DUPLEX RECEPTACLE	FACTORY FINISH	MOUNT @ 11'-6" A.F.F.
F1	EXISTING FIRE DEPT. CONNECTION		
F1	EXISTING HOSE BIB		
XX	STOREFRONT KEY	ANODIZED ALUMINUM	RE: DWG A602

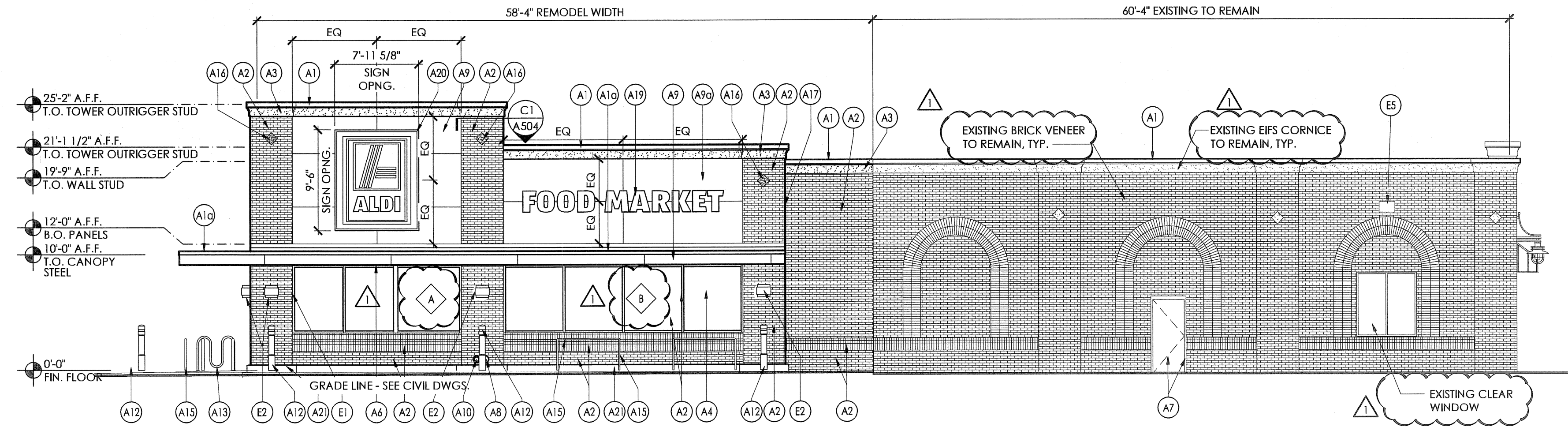
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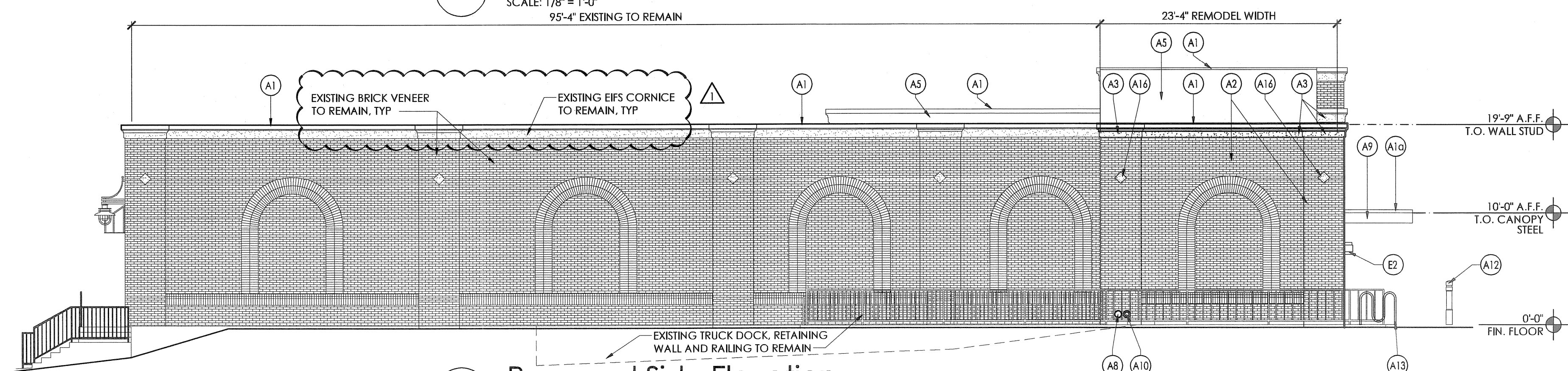
Solomon A. Fortune
Solomon A. Fortune

SIGNAGE			
DESCRIPTION	QUANTITY	SQ. FT. PER SIGN	TOTALS
TOWER SIGN	2	74.9	149.8
REAR SIGN	1	47.2	47.2
FOOD MARKET SIGN	2	21.3	42.6
TOTAL SIGNAGE			239.6

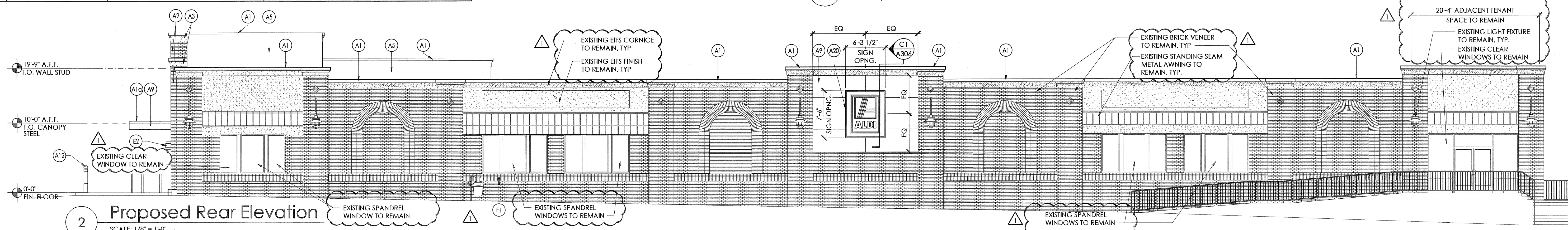
SIGNAGE IS SHOWN FOR REFERENCE ONLY AND SHALL BE UNDER SEPARATE PERMIT SUBMITTAL



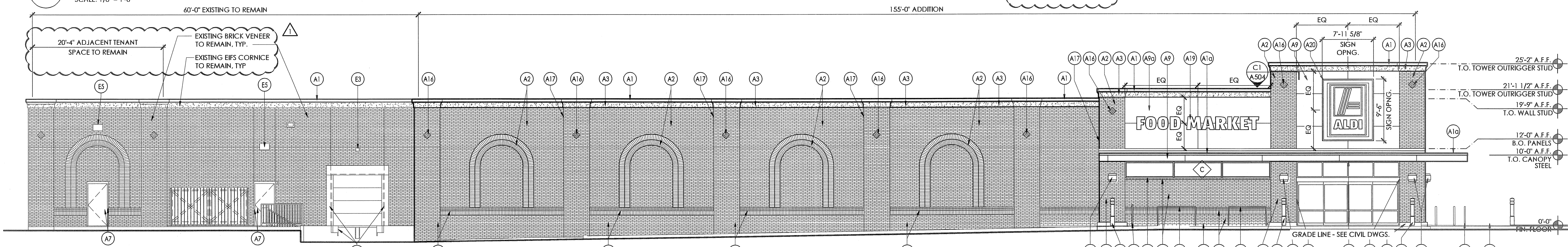
4 Proposed Side Elevation
SCALE: 1/8" = 1'-0"
95'-4" EXISTING TO REMAIN



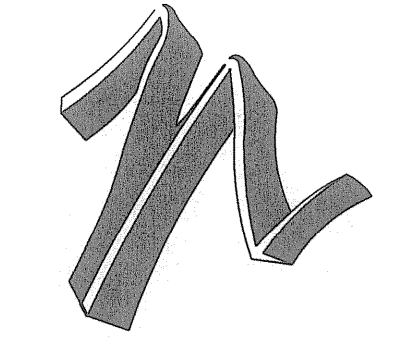
3 Proposed Side Elevation
SCALE: 1/8" = 1'-0"
95'-4" EXISTING TO REMAIN



2 Proposed Rear Elevation
SCALE: 1/8" = 1'-0"
60'-0" EXISTING TO REMAIN



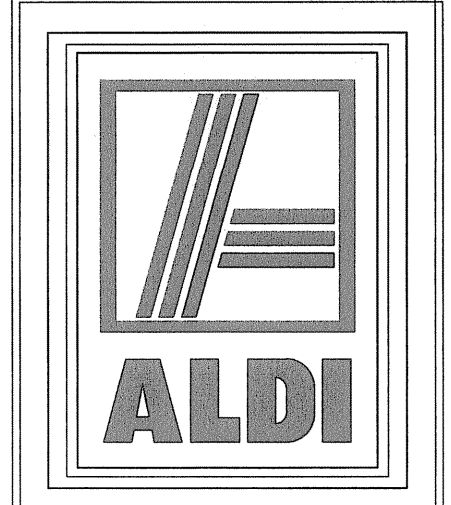
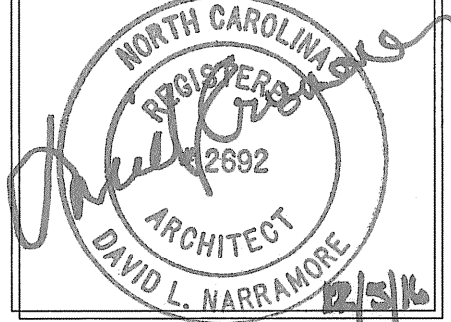
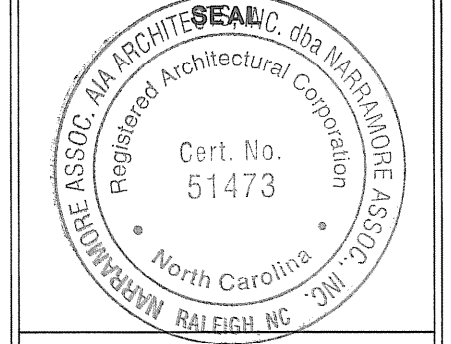
1 Proposed Front Elevation
SCALE: 1/8" = 1'-0"



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ALDI FOOD STORE NO. 14
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11-30-16

PROJECT DATA
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ALDI FOOD STORE NO. 14
CHARLOTTE, NC
A-201
EXTERIOR ELEVATIONS