

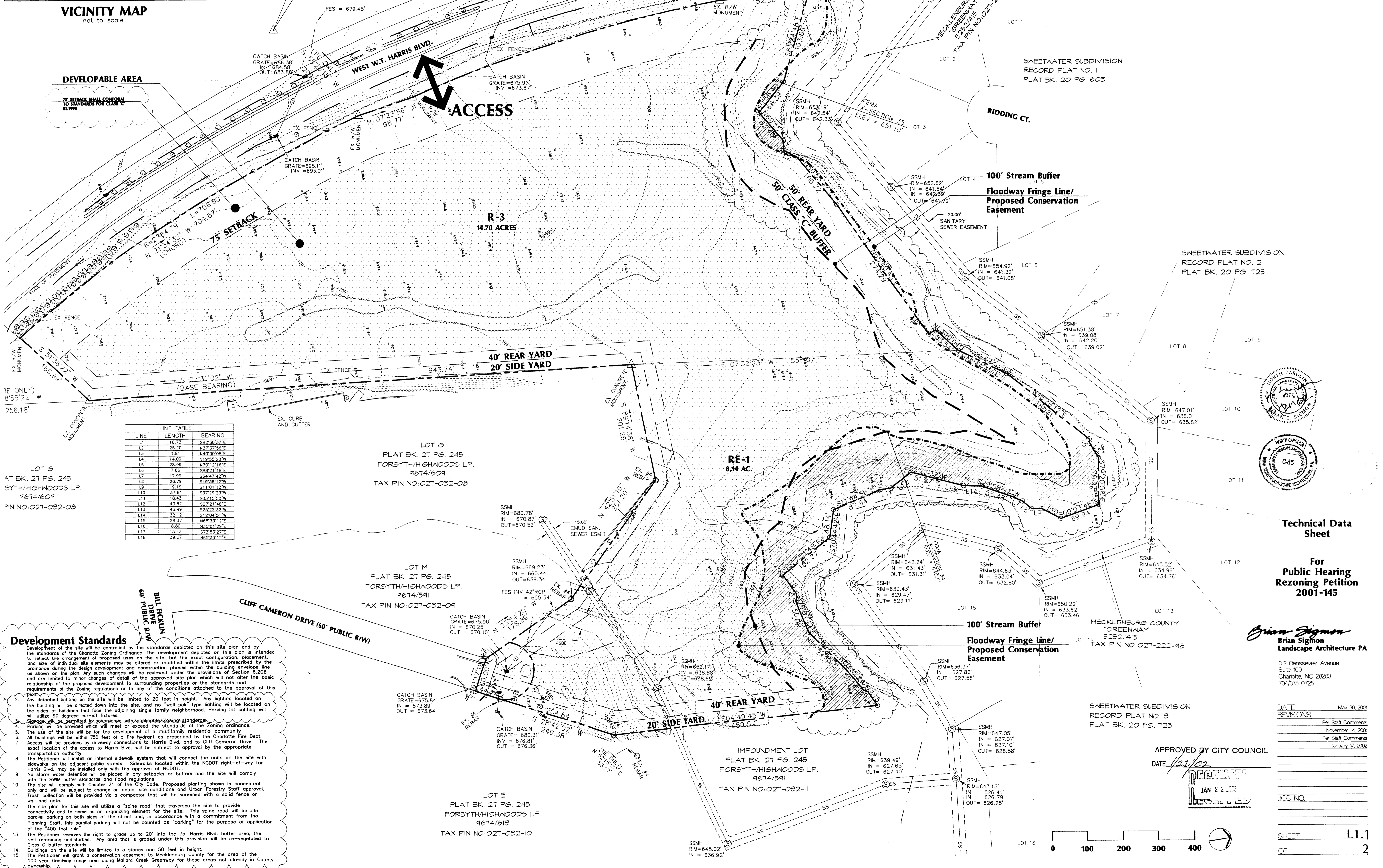
VICINITY MAP
not to scale

N.C.G.S. MON. "FIRE"
E: 557,135.36
E: 1,468,049.92
NAD 27
ELEV = 691.62'

TABULATION:

Applicant:	Charter Properties, Inc. 1520 South Boulevard, Suite 215 Charlotte, North Carolina, 28203 377-44172
Tax Parcels:	027-032-07 027-021-01
Area:	22.84 AC
Existing Zoning:	8.14 AC @ RE-1 14.70 AC @ R-3
Proposed Zoning:	R-12 MFCDS
Proposed Use:	274 Multifamily Dwelling Units
Density:	11.99 DUA

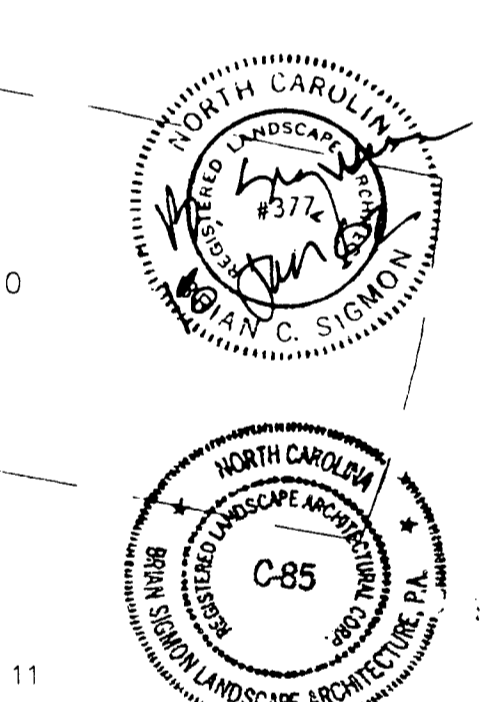
Rezoning Petition
for
Charter Properties
Charlotte, North Carolina



LINE TABLE

LINE	LENGTH	BEARING
L1	16.73	S82°30'37"E
L2	25.20	N43°37'56"E
L3	1.81	N40°00'08"E
L4	14.09	N19°55'28"W
L5	28.99	N02°12'16"E
L6	7.86	S88°21'48"E
L7	17.99	S34°47'48"W
L8	20.79	S49°38'12"W
L9	19.19	S11°01'12"W
L10	32.61	S37°29'12"W
L11	18.43	S03°15'50"W
L12	43.82	S27°21'48"E
L13	43.49	S22°21'37"W
L14	32.12	S12°04'51"W
L15	28.37	N85°31'12"E
L16	8.80	N35°01'24"E
L17	13.43	S27°43'22"E
L18	39.67	N65°43'12"E

- Development Standards**
- Development of the site will be controlled by the standards depicted on this site plan and by the standards of the Charlotte Zoning Ordinance. The development depicted on this plan is intended to reflect the arrangement of proposed uses on the site, but the exact configuration, placement, and size of individual site elements may be altered or modified within the limits prescribed by the ordinance during the design development and construction phases within the building envelope line as shown on the plan. Any such changes will be reviewed under the provisions of Section 6.206 and are limited to minor changes of detail of the approved site plan which will not alter the basic relationship of the proposed development to surrounding properties or the standards and requirements of the Zoning regulations or to any of the conditions attached to the approval of this plan.
 - Any detached lighting on the site will be limited to 20 feet in height. Any lighting located on the building will be directed down into the site, and no "wall pack" type lighting will be located on the sides of buildings that face the adjoining single family neighborhood. Parking lot lighting will utilize 90 degree cut-off fixtures.
 - Signage will be limited to appropriate zoning standards.
 - Parking will be provided which will meet or exceed the standards of the Zoning ordinance.
 - The use of the site will be for the development of a multifamily residential community.
 - All buildings will be within 750 feet of a fire hydrant as prescribed by the Charlotte Fire Dept.
 - Access will be provided by driveway connections to Harris Blvd. and to Cliff Cameron Drive. The exact location of the access to Harris Blvd. will be subject to approval by the appropriate transportation authority.
 - The Petitioner will install an internal sidewalk system that will connect the units on the site with sidewalks on the adjacent public streets. Sidewalks located within the NCDOT right-of-way for Harris Blvd. may be installed only with the approval of NCDOT.
 - No storm water detention will be placed in any setbacks or buffers and the site will comply with the SWM buffer standards and flood requirements.
 - The site will comply with Chapter 21 of the City Code. Proposed planting shown is conceptual only and will be subject to change on actual site conditions and Urban Forestry Staff approval. Trash collection will be provided via a compactor that will be screened with a solid fence or wall and gate.
 - The site plan for this site will utilize a "spine road" that traverses the site to provide connectivity and to serve as an organizing element for the site. This spine road will include parallel parking on both sides of the street and, in accordance with a commitment from the Planning Staff, this parallel parking will not be counted as "parking" for the purpose of application of the "400 foot rule".
 - The Petitioner reserves the right to grade up to 20' into the 75' Harris Blvd. buffer area, the rest remaining undisturbed. Any area that is graded under this provision will be re-vegetated to Class C buffer standards.
 - Buildings on the site will be limited to 3 stories and 50 feet in height.
 - The Petitioner will grant a conservation easement to Mecklenburg County for the area of the 100 year floodway fringe area along Mallard Creek Greenway for those areas not already in County ownership.



Technical Data Sheet
For
Public Hearing Rezoning Petition 2001-145

Brian Sigmon
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704/975 0725

REVISIONS

DATE	REVISIONS
May 30, 2001	Per Staff Comments
November 14, 2001	Per Staff Comments
January 17, 2002	Per Staff Comments

APPROVED BY CITY COUNCIL
DATE: Jan 22, 2002

