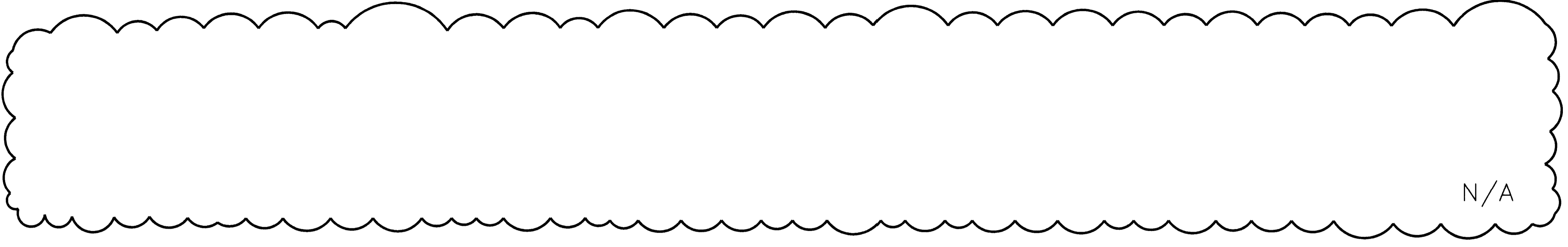
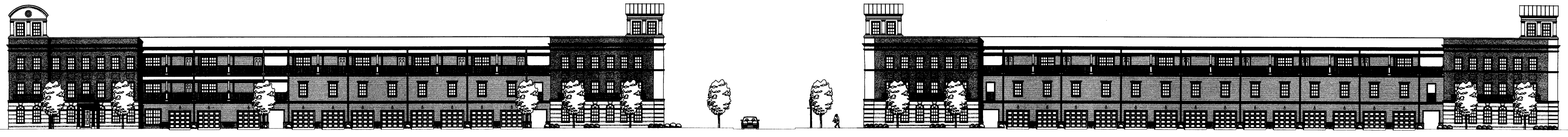


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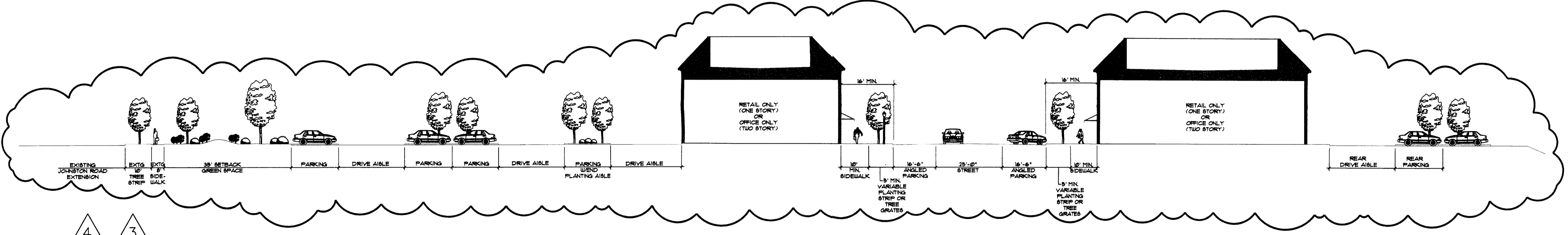


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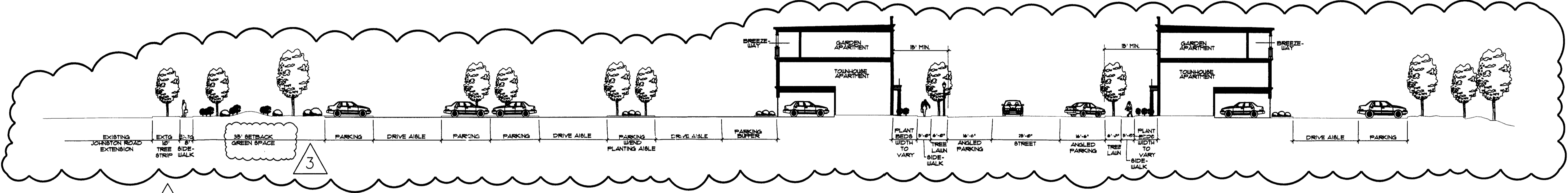
PHASE II RETAIL/OFFICE REAR ELEVATION



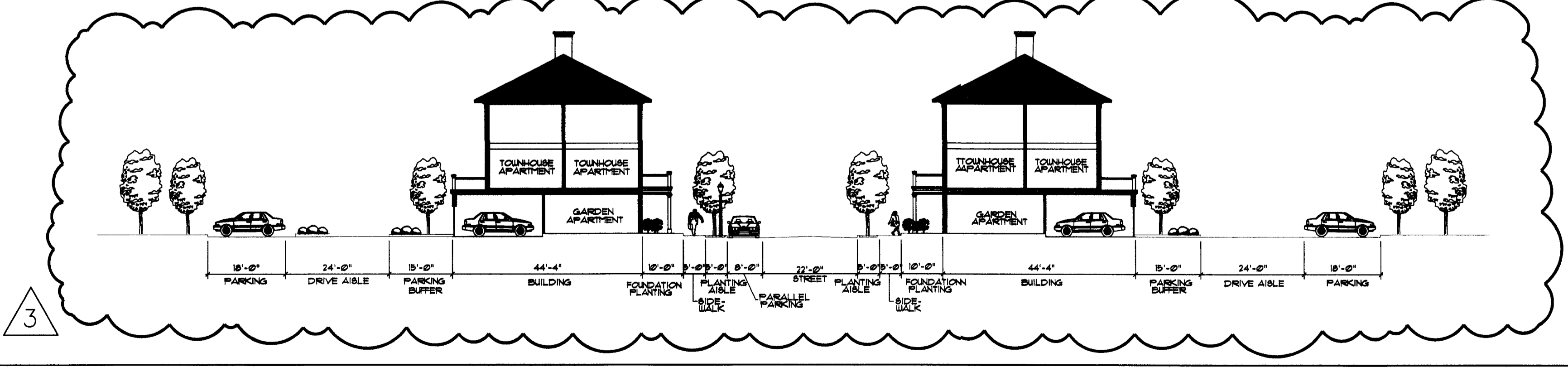
PHASE I MULTI-FAMILY REAR ELEVATIONS (DETAIL 1)



PHASE II RETAIL/OFFICE (DETAIL 2)



PHASE I, II AND III URBAN MULTI-FAMILY (DETAIL 3)



PHASE I SUBURBAN MULTI-FAMILY (DETAIL 4)

4 4/20/05 ADMINISTRATIVE SITE PLAN AMENDMENT
3 9/16/02 ADMINISTRATIVE SITE PLAN AMENDMENT

GNA DESIGN ASSOCIATES, Inc.
 428 East Fourth Street
 Suite 408 (704) 373-1907
 Charlotte, NC 28202

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ATKINS CIRCLE
DEVELOPED BY
CONTINENTAL COMMUNITIES, LTD.

CONCEPTUAL CROSS-SECTIONS

PROJECT: 58196

Checked by: TLH
 Drawn by: MVS
 Date Drawn: 10.11.01

2/11/02 REVISED SECTIONS/ELEVATIONS
 9/16/02 ADMIN. SITE PLAN AMENDMENT
 4/20/05 ADMIN. SITE PLAN AMENDMENT

Project No. 58196

Checked by: TLH
 Drawn by: MVS
 Date Drawn: 10.11.01

2/11/02 REVISED SECTIONS/ELEVATIONS
 9/16/02 ADMIN. SITE PLAN AMENDMENT
 4/20/05 ADMIN. SITE PLAN AMENDMENT

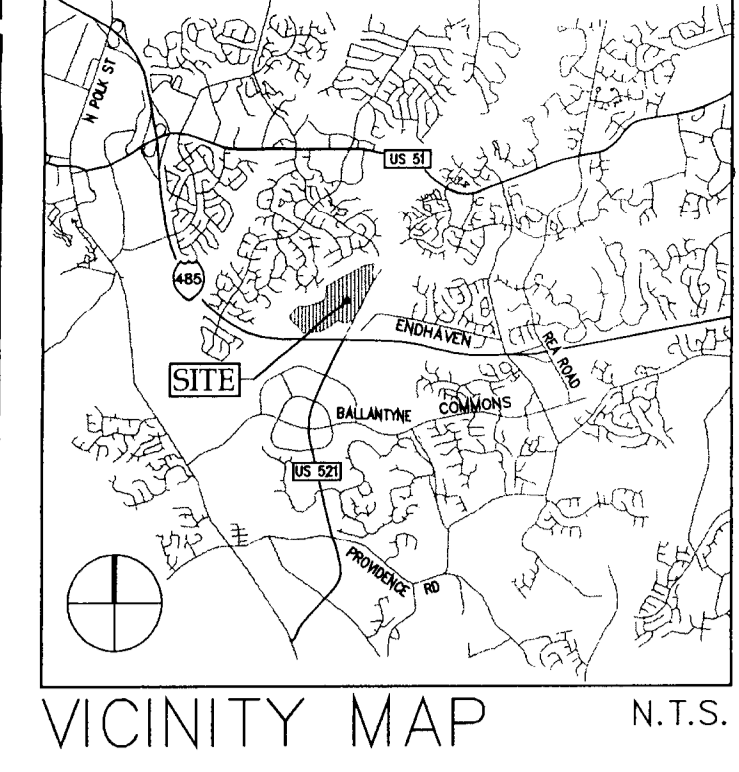
Sheet
 RZ-3

APPROVAL
 DATED: 10/27/05
 BY: DEBRA D. CAMPBELL

CADD FILE: C:\CADD\PROJ\05196\DWG\05196RZ3.DWG

DEVELOPMENT SUMMARY:

EXISTING ZONING: CC
 EXISTING LAND USE: VACANT
 PROPOSED ZONING: CC / SITE PLAN AMENDMENT #78.884 ACRES
 ACREAGE:
 LANDUSE TABULATION:
 MULTI-FAMILY: 800 UNITS MAXIMUM
 RETAIL: 52,000 SF MAXIMUM
 OFFICE: 56,000 SF MAXIMUM
 RESTAURANT OUTPARCELS:
 14,000 SF MAXIMUM (TOTAL BOTH OUTPARCELS)

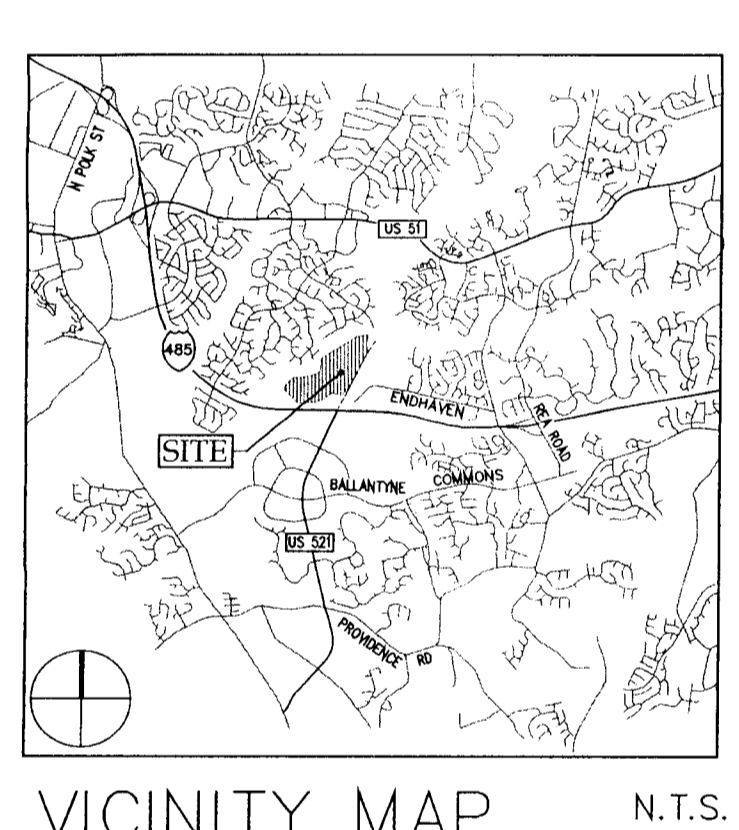


CONDITIONAL NOTES:

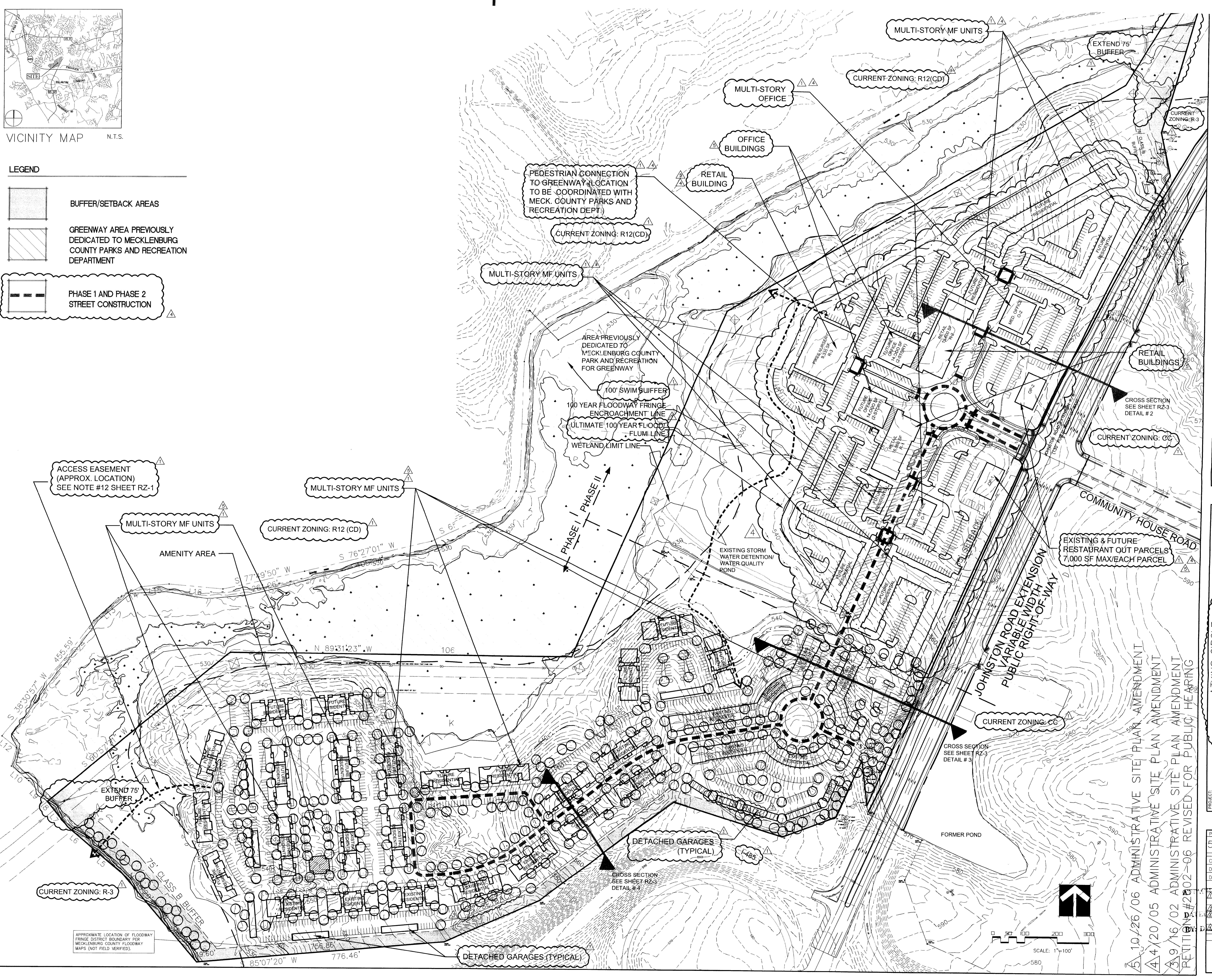
- THE DEVELOPMENT OF THE SITE WILL BE CONTROLLED BY THE STANDARDS DERIVED ON THIS SITE PLAN AND THE STANDARDS OF THE CITY OF CHARLOTTE ZONING ORDINANCE. THE DEVELOPMENT DEPICTED ON THIS PLAN IS INTENDED TO REFLECT THE GENERAL ARRANGEMENT OF PROPOSED USES ON THE SITE, BUT THE EXACT DETAIL OF CONFIGURATION, PLACEMENT, AND SIZE OF INDIVIDUAL SITE ELEMENTS MAY BE ALTERED OR MODIFIED WITHIN THE LIMITS PRESCRIBED BY THE ORDINANCE DURING THE DESIGN DEVELOPMENT AND CONSTRUCTION PHASES. THIS PROPOSAL IS INTENDED TO ENABLE THE DEVELOPMENT OF A MIXED-USE COMMUNITY COMPOSED OF OFFICE, MULTI-FAMILY, NEIGHBORHOOD RETAIL, RESTAURANTS AND SERVICE USES.
- THE SITE MAY BE DEVELOPED FOR ANY USE ALLOWED IN THE CC DISTRICT (EXCEPT AS NOTED IN NOTE #21) IN ACCORDANCE WITH THE STANDARDS OF THAT DISTRICT AND THE RESTRICTIONS OF THIS SITE PLAN. THE PETITIONER WILL CONSTRUCT A MIXED USE DEVELOPMENT IN GENERAL CONFORMANCE WITH THE ATTACHED ILLUSTRATIVE PLAN. THESE RESTRICTIONS ARE INTENDED TO ILLUSTRATE THE EMPHASIS ON ARCHITECTURE MASSING AS A STREET WALL ALONG THE MAIN INTERNAL STREETS WITHIN THE DEVELOPMENT. THE STREET WALL WILL PROVIDE BUILDING ELEVATIONS TO BE THE DOMINANT COMPONENT OF THE STREET FRONTAGE AND WILL PROVIDE PEDESTRIAN-SCALE ELEMENTS TO ENHANCE PEDESTRIAN SCALE AND QUALITY. FURTHERMORE, THE PETITIONER WILL PROVIDE PEDESTRIAN CONNECTIONS FROM WITHIN THE SITE TO OTHER SITE ELEMENTS AND USES.
- ACCESS TO THE SITE WILL BE PROVIDED BY CONNECTIONS TO THE NEW JOHNSTON ROAD EXTENSION AND BY CONNECTIONS TO THE NEW COMMUNITY HOUSE ROAD AS SHOWN ON THE TECHNICAL DATA SHEET. ALL DRIVEWAY AND STREET CONNECTIONS ARE SUBJECT TO APPROVAL BY CDOT AND NCDOT.
- BUFFER AREAS WILL BE DEVELOPED IN ACCORDANCE WITH SECTION 12.302. REQUIRED BUFFERS ON THE SITE MAY BE ELIMINATED IF THE ADJOINING PARCELS ARE REZONED SUCH THAT BUFFERS ARE NO LONGER REQUIRED.
- STORMWATER DETENTION FACILITIES (IF APPLICABLE) WILL BE DESIGNED TO MEET THE APPLICABLE STANDARDS OF MECKLENBURG COUNTY LAND USE AND ENVIRONMENTAL SERVICES. NO STORMWATER DETENTION WILL OCCUR WITHIN ANY REQUIRED BUFFER AND SETBACK AREAS.
- ANY DETACHED LIGHTING ON THE SITE WILL BE LIMITED TO 30 FEET IN HEIGHT THERE WILL BE NO EXTERIOR FLOOD LIGHTING.
- SIGNAGE WILL BE PERMITTED IN ACCORDANCE WITH APPLICABLE ZONING STANDARDS AND DETACHED SIGNS WILL BE LIMITED TO GROUND MOUNTED SIGNS.
- PARKING WILL BE PROVIDED WHICH WILL MEET OR EXCEED THE STANDARDS OF THE ZONING ORDINANCE.
- SCREENING WILL CONFORM TO THE APPLICABLE STANDARDS OF SECT. 12.303 OF THE ZONING ORDINANCE.
- ALL DUMPSTERS ON THE SITE WILL BE SCREENED WITH A SOLID ENCLOSURE WITH GATES.
- NO RESTAURANTS WITH DRIVE THROUGH SERVICE OR GASOLINE/CONVENIENCE FACILITIES MAY BE LOCATED IN THE DEVELOPMENT.
- THE PETITIONER WILL FURNISH AN ACCESS EASEMENT FROM THE SITE TO A PARCEL ON THE WEST END OF THE SITE WHICH EASEMENT WILL BE TERMINATED BY NO ACCESS TO THE PARCEL LEGALLY REQUIRED OR BY THE OWNER OF THE PARCEL RELEASES THE PETITIONER OR ITS SUCCESSORS FROM THE COMMITMENT.
- CONSTRUCTION TRAFFIC TO THE PETITIONER'S SITE WILL BE LIMITED TO ACCESS ONLY FROM I-485 AND/OR JOHNSTON ROAD EXTENSION.
- THE PETITIONERS WILL DEVELOP A MASTER PLAN FOR THE STREETScape WITHIN AND ALONG THE MARGINS OF THE SITE WHICH WILL INCLUDE PEDESTRIAN SCALE LIGHTING, TREE PLANTING, LANDSCAPING, AND OTHER AMENITIES DESIGNED TO ENHANCE THE PEDESTRIAN ENVIRONMENT. THE SITE WILL BE DEVELOPED IN ACCORDANCE WITH THAT MASTER PLAN (SEE ATTACHED COLOR REFERENCING).
- SEE SHEET RZ-1 FOR SIGNAGE EXEMPTS FOR THE SITE TO COORDINATE DIRECTIONAL INFORMATION FOR THE STRUCTURES, STREETS, AND PEDESTRIAN AREAS OF THE SITE.
- WITH REGARD TO THE MAIN ACCESS STREET INTO THE SITE THAT INTERSECTS WITH COMMUNITY HOUSE ROAD, THE PETITIONER WILL DESIGN THAT ENTRANCE SUCH THAT IT CLEARLY REFLECTS ATTENTION TO ARCHITECTURE DETAIL MASSING AND, ESPECIALLY, AN EMPHASIS ON LANDSCAPING, SIGNAGE AND PEDESTRIAN SCALE AND ACCESS, WHILE AT THE SAME TIME BALANCING THE NEED FOR VEHICULAR MOVEMENT.

- THE PETITIONER/DEVELOPER SHALL PROVIDE A MINIMUM 10 FOOT WIDE SIDEWALK AND VARIABLE WIDTH PLANTING STRIPS IN FRONT OF THE RETAIL OFFICE (NOT INCLUDING RESTAURANT OUTPARCELS) PER THE SECTION ON SHEET RZ-3. STREETSCAPE IMPROVEMENTS ON BOTH SIDES OF COMMUNITY HOUSE ROAD AND COPPER WAY IN AREAS DESIGNATED TO THE PETITIONER SHALL INCLUDE VARIABLE WIDTH PLANTING STRIP AND 5' MIN. SIDEWALK. THE DEVELOPER RESERVES THE RIGHT TO SUBSTITUTE TREES OF GREATER SIZE IN LEU OF PLANTING STRIPS. OTHER USES ON THE SITE SHALL ALSO HAVE A MINIMUM 6' FRONT SIDEWALK.
- DEVELOPMENT PHASES 1 AND 2 AS SHOWN ON SHEET RZ-2 SHALL CONTAIN ONE DEVELOPMENT PARCEL EACH AND PHASE 3 SHALL CONTAIN A MAXIMUM OF THREE DEVELOPMENT PARCELS.
- THE PETITIONER/DEVELOPER SHALL CONTRIBUTE TO THE OVERALL TOTAL COST OF THE SIGNALIZATION OF THE JOHNSTON ROAD/COMMUNITY HOUSE ROAD INTERSECTION.
- THE CONTRIBUTION WAS MADE IN ASSOCIATION WITH PRIVATE CONTRACTS AND THE DOCUMENTATION OF SUCH CONTRIBUTION SHALL BE MADE AVAILABLE TO THE STAFF OF THE CHARLOTTE-MECKLENBURG PLANNING COMMISSION. THE PETITIONER/DEVELOPER SHALL ALSO CONTRIBUTE TOWARD THE CONSTRUCTION OF STEEL POST MASS ARM SUPPORTS FOR SUCH SIGNALIZATION BY CONTRIBUTING THE TOTAL COST OF SUCH SUPPORTS WHICH WILL BE LOCATED ON THE PETITIONER'S PROPERTY.
- THE PETITIONER SHALL PROVIDE TWO PATHWAY CONNECTIONS TO THE PUBLIC GREENWAY AS INDICATED BY THE LOCATIONS DEPICTED ON THE SITE PLAN. THE LOCATIONS MAY VARY FROM THAT DEPICTED BASED UPON FINAL DESIGN AND CONSTRUCTION CONDITIONS.
- PORTIONS OF THE OVERALL STREETCIRCULATION/PARKING SYSTEM FOR THE ENTIRE SITE SHALL BE PROVIDED IN THE PHASE 1 OF THE PROPOSED DEVELOPMENT AS DEPICTED BY THE SITE PLAN.
- NOT DELETED
- THE PETITIONER/DEVELOPER SHALL PROVIDE A FIRE HYDRANT WITH 750 FEET AS THE FIRE TRUCK TRAVEL OF THE MOST REMOTE AND ACCESSIBLE POINT OF ALL BUILDINGS IF SUCH HYDRANT DOES NOT ALREADY EXIST.
- THE ATTACHED ARCHITECTURAL ELEVATIONS SHOWN ON SHEET RZ-3 ARE INTENDED TO ILLUSTRATE THE OVERALL SCALE, MASSING AND GENERAL ARCHITECTURAL THEME OF THE PROPOSED DEVELOPMENT WITHIN THE MIXED USE RETAIL OFFICE/MULTI-FAMILY CORE AREA OF THE SITE. ALL BUILDINGS ALTHOUGH SOME ARCHITECTURAL DIVERSITY WILL BE PERMITTED AMONG THE BUILDINGS. THERE WILL BE A REQUIREMENT FOR COMPLEMENTARY BUILDING MATERIALS, ROOF MATERIAL DESIGN, COLORS, ETC. SUCH THAT AN OVERALL COMMON DESIGN THEME IS ACHIEVED FOR THE MIXED USE RETAIL OFFICE/MULTI-FAMILY CORE AREA OF THE SITE.
- THE REQUIRED TREE SURVEY PER SECTION 45 CHAPTER 21 OF THE CHARLOTTE CITY CODE SHALL BE PROVIDED FOR THE 35' SETBACK AREA ALONG JOHNSTON ROAD.
- THE MAXIMUM SIZE FOR INDIVIDUAL RETAIL STORES SHALL NOT EXCEED 30,000 SF.
- THE PARKING ARRANGEMENT IN THE URBAN RETAIL OFFICE CORE MAY BE EITHER 90' TWO-WAY OR 60' ONE-WAY IN ACCORDANCE WITH THE MINIMUM DIMENSIONS SET FORTH IN THE CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS.
- STREETSCAPE TREES ALONG COMMUNITY HOUSE ROAD AND COPPER WAY SHALL BE PLANTED IN EITHER VARIABLE PLANTING STRIPS (5' MIN. WIDTH) BETWEEN THE SIDEWALK AND CURB OR IN THE TREE GRATES AS SHOWN ON THE URBAN RETAIL OFFICE CROSS SECTION ON SHEET RZ-3. TREES IN THE PLANTING STRIPS SHALL BE EITHER SMALL OR LARGE MATURING DEPENDING UPON THE PLANTING STRIP WIDTH.
- THE ONE-STORY RETAIL BUILDINGS WILL BE DESIGNED SO THAT THEY HAVE THE APPEARANCE OF A TWO-STORY BUILDING FACADE. THE ELEVATIONS FOR THE RETAIL BUILDING SHALL BE REVIEWED BY PLANNING COMMISSION STAFF PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT.

CURVE TABLE						LINE TABLE					
CURVE	RADIUS	LENGTH	TANGENT	CHORD BEARING	CHORD	LINE	BEARING	LENGTH	LINE	BEARING	LENGTH
C1	8782.30	350.00	179.04	S 200°00'00" W	350.00	L1	N 07°00'00" W	132.36	L30	S 23°42'45" W	197.00
C2	8770.52	88.57	33.18	S 203°32'00" W	86.47	L2	S 247°23'24" W	191.35	L31	S 48°17'00" W	232.65
C3	8770.52	88.57	33.18	S 203°32'00" W	86.47	L3	S 247°23'24" W	191.35	L32	S 26°58'00" W	199.34
C4	8788.34	188.00	79.00	S 244°42'00" W	188.00	L4	S 83°45'21" W	51.30	L33	N 48°54'49" W	272.24
C5	24.78	37.80	23.79	S 68°07'00" E	33.84	L5	N 30°29'00" W	42.24	L34	N 77°50'21" W	48.57
C6	24.78	37.80	23.79	S 68°07'00" E	33.84	L6	N 30°29'00" W	42.24	L35	N 82°58'20" W	53.54
C7	16.00	22.44	13.52	N 07°00'00" W	20.80	L7	N 30°29'00" W	42.24	L36	N 82°58'20" W	53.54
C8	16.00	22.44	13.52	N 07°00'00" W	20.80	L8	N 42°12'21" W	8.90	L37	N 82°58'20" W	53.54
C9	258.00	38.32	18.17	N 37°00'00" E	36.16	L9	S 30°58'21" W	48.83	L38	N 82°58'20" W	53.54
C10	258.00	38.32	18.17	N 37°00'00" E	36.16	L10	S 30°58'21" W	48.83	L39	N 82°58'20" W	53.54
C11	258.00	38.32	18.17	N 37°00'00" E	36.16	L11	S 30°58'21" W	48.83	L40	N 82°58'20" W	53.54
C12	258.00	38.32	18.17	N 37°00'00" E	36.16	L12	S 30°58'21" W	48.83	L41	N 82°58'20" W	53.54
C13	19.29	30.80	22.52	N 13°37'00" E	28.17	L13	S 80°00'00" W	103.02	L42	N 38°28'04" W	22.32
C14	19.29	30.80	22.52	N 13°37'00" E	28.17	L14	S 80°00'00" W	103.02	L43	N 38°28'04" W	22.32
						L15	S 83°32'55" W	77.74	L44	N 48°11'02" W	34.55
						L16	N 84°51'00" W	68.54	L45	N 48°11'02" W	34.55
						L17	S 30°58'21" W	48.83	L46	N 48°11'02" W	34.55
						L18	S 13°00'00" W	45.40	L47	N 48°11'02" W	34.55
						L19	S 30°58'21" W	48.83	L48	N 48°11'02" W	34.55
						L20	S 30°58'21" W	48.83	L49	N 48°11'02" W	34.55
						L21	S 30°58'21" W	48.83	L50	N 48°11'02" W	34.55
						L22	N 82°48'52" W	84.59	L51	N 48°11'02" W	34.55
						L23	S 30°58'21" W	48.83	L52	N 48°11'02" W	34.55
						L24	S 30°58'21" W	48.83	L53	N 48°11'02" W	34.55
						L25	S 20°00'00" W	106.58	L54	N 48°11'02" W	34.55
						L26	S 20°00'00" W	106.58	L55	N 48°11'02" W	34.55
						L27	S 20°00'00" W	106.58	L56	N 48°11'02" W	34.55
						L28	S 24°18'56" W	99.41	L57	N 48°11'02" W	34.55
						L29	S 24°18'56" W	99.41	L58	N 48°11'02" W	34.55
						L30	S 24°18'56" W	99.41	L59	N 48°11'02" W	34.55
						L31	S 24°18'56" W	99.41	L60	N 48°11'02" W	34.55



- LEGEND**
- BUFFER/SETBACK AREAS
 - GREENWAY AREA PREVIOUSLY DEDICATED TO MECKLENBURG COUNTY PARKS AND RECREATION DEPARTMENT
 - PHASE 1 AND PHASE 2 STREET CONSTRUCTION



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ATKINS CIRCLE (THE STREETS OF TORINGDON)
 CONTINENTAL COMMUNITIES, LTD.
 SHEET FILE: RZ-1

Project No: 58196
 Checked by: [Signature]
 Drawn by: [Signature]
 Date Drawn: 10/19/10
 Scale: AS SHOWN
 SHEET FILE: RZ-1

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 CONTINENTAL COMMUNITIES, LTD.
 SHEET FILE: RZ-2

Project No: 58196(Y6036)
 Checked by: [Signature]
 Drawn by: MVS/MB
 Date Drawn: 10/19/10
 Scale: AS SHOWN
 SHEET FILE: RZ-2



Conceptual Master Plan (Per Note 14 RZ-1)

ADMINISTRATIVE SITE PLAN AMENDMENT 4/20/05 Δ
 TO PETITION # 2002-006

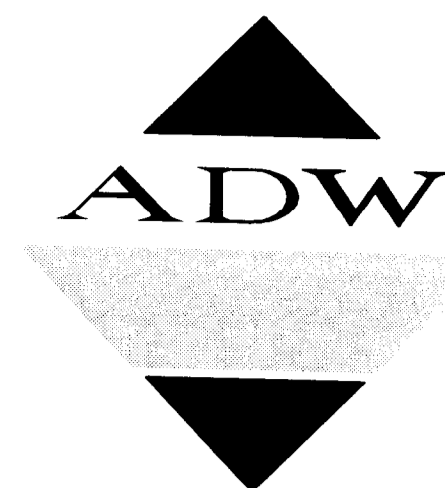
These renderings represent the developer's intention of constructing pedestrian scale amenities in the urban retail core area. Specific details illustrated are subject to change in design, however, the overall concept and "feel" will remain the same.



Conceptual Master Plan (Per Note 14 RZ-1)

ADMINISTRATIVE SITE PLAN AMENDMENT 4/20/05 Δ
 TO PETITION # 2002-006

These renderings represent the developer's intention of constructing pedestrian scale amenities in the urban retail core area. Specific details illustrated are subject to change in design, however, the overall concept and "feel" will remain the same.



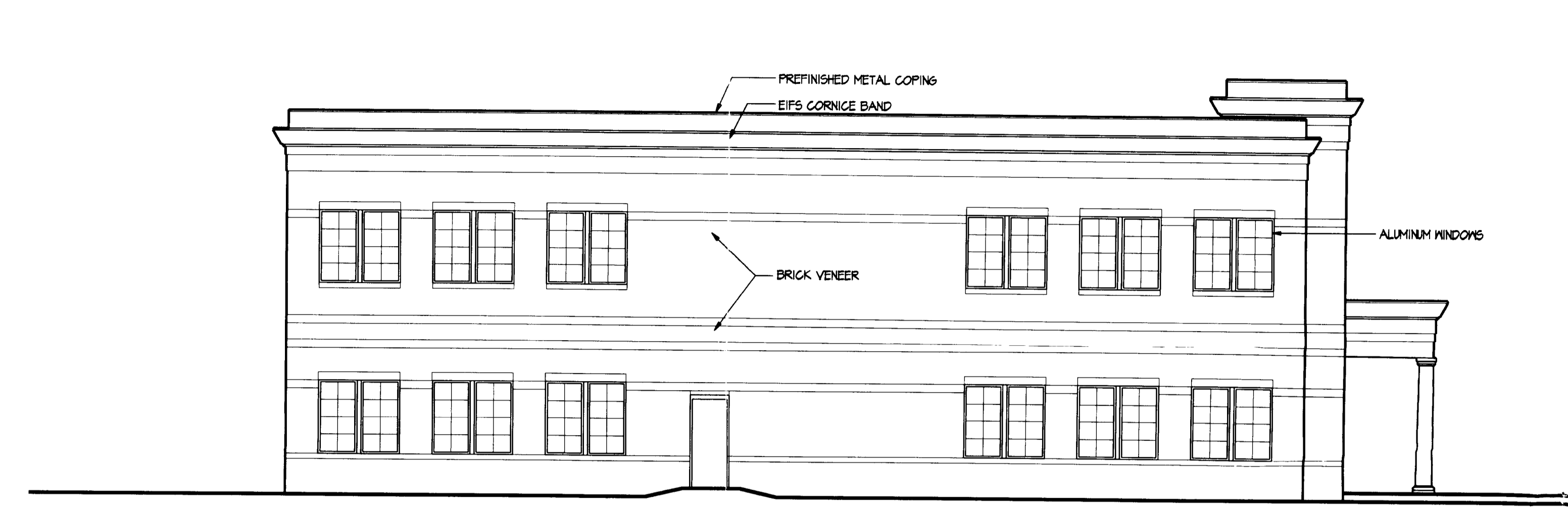
Architects, p.a.

ADW Architects, p.a.
1401 West Morehead Street, Suite 100
Charlotte, NC 28208
704.379.1919 Fax 704.379.1920
www.adwarchitects.com

New
Medical
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Buildings

Streets of
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Plaza
III and IV

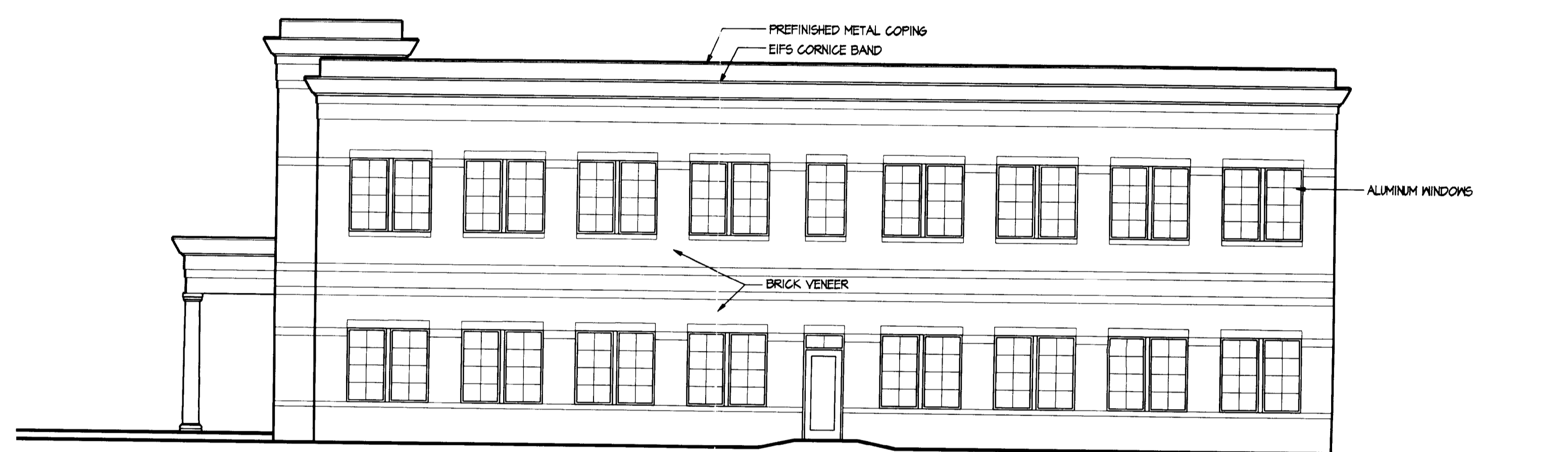
Charlotte,
North Carolina



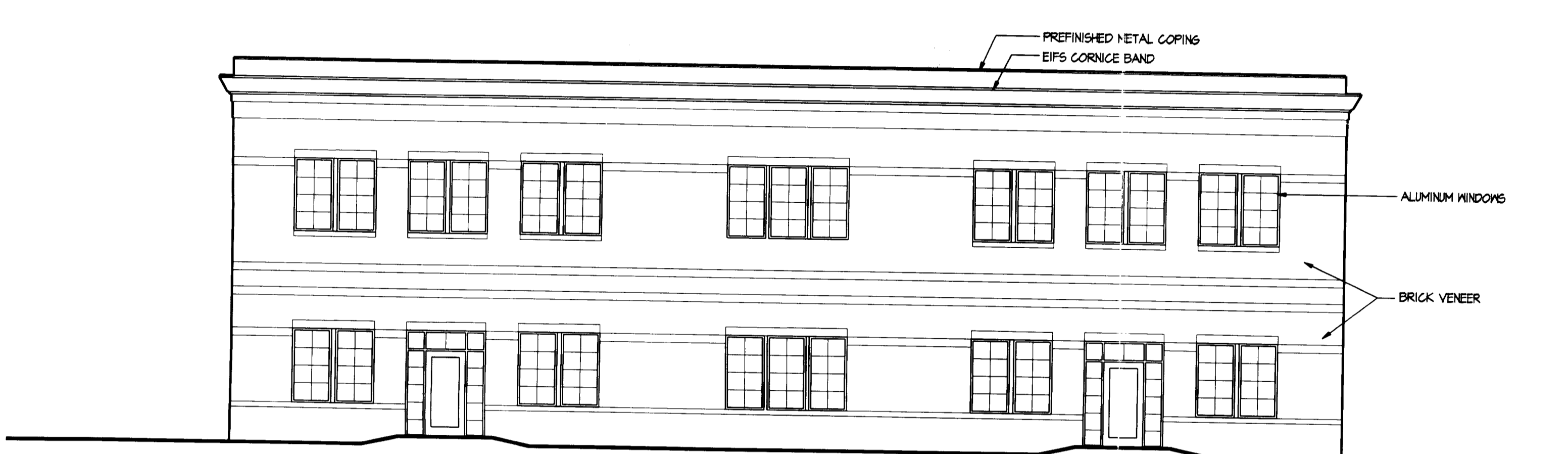
LEFT SIDE ELEVATION



ENTRY ELEVATION



RIGHT SIDE ELEVATION



COMMUNITY HOUSE ROAD ELEVATION

ELEVATIONS

1/8" = 1'-0"

CHARLOTTE-MECKLENBURG PLANNING COMMISSION INTER-OFFICE COMMUNICATION

DATE: November 9, 2006
TO: Gary Huss
Zoning Coordinator
FROM: Debra Campbell
Planning Director

SUBJECT: Administrative Approval for Petition No. 2002-06, Continental Communities Charlotte, LLC.

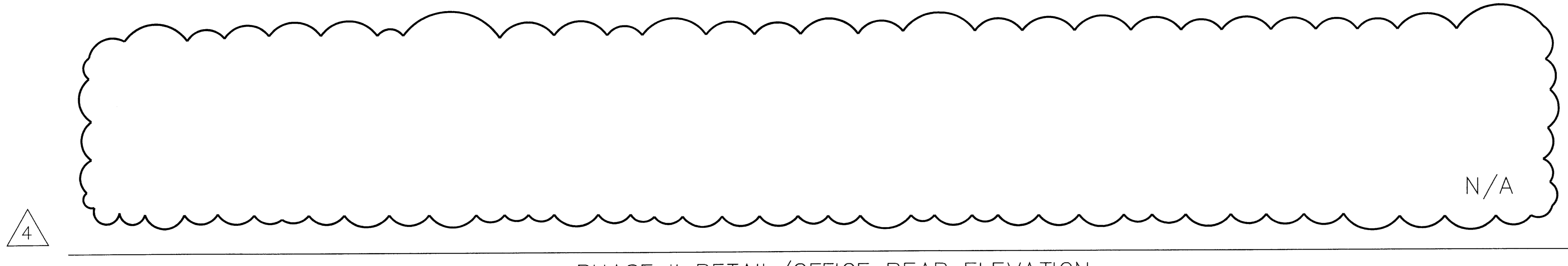
Attached are revised plans for the above petition. The plans have revised to convert 28,000 square feet of retail square footage to office square footage, to make minor changes to the site layout and incorporate building elevations for two 14,000 square foot office buildings. Since these changes are minor, I am administratively approving these plans and elevations. Please use these plans when evaluating requests for building permits and certificates of occupancy.

Note all other ordinance requirements still apply.

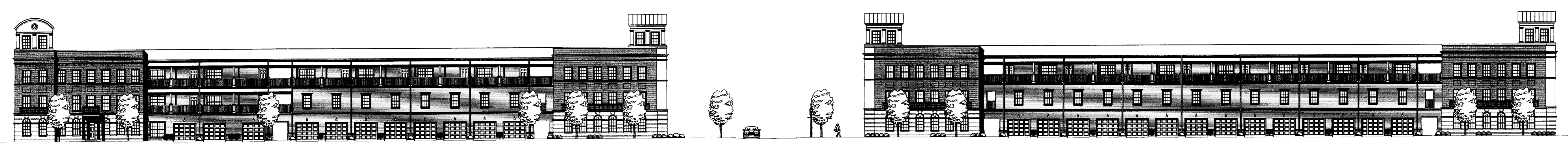
DATE: 11.6.06 JOB NO: 06094

REVISIONS:	
NO.	DATE DESCRIPTION

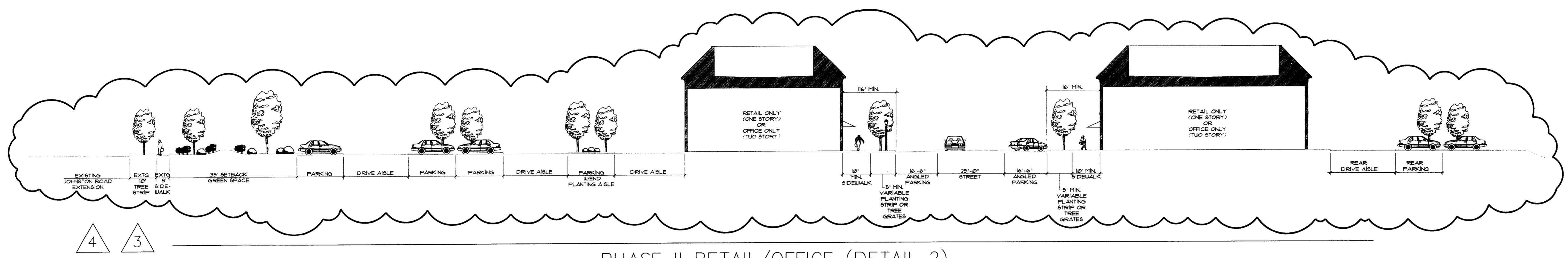
APPROVED: *[Signature]*
 DATED: 11/9/06
 BY: DEBRA D. CAMPBELL
 of Total



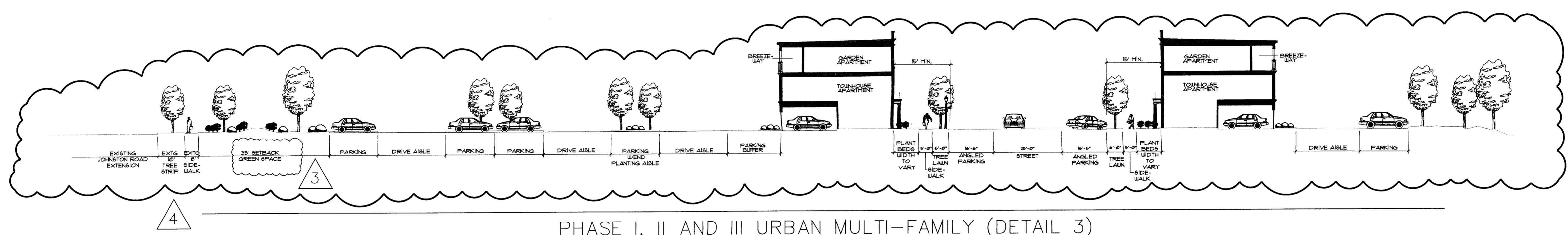
PHASE II RETAIL/OFFICE REAR ELEVATION



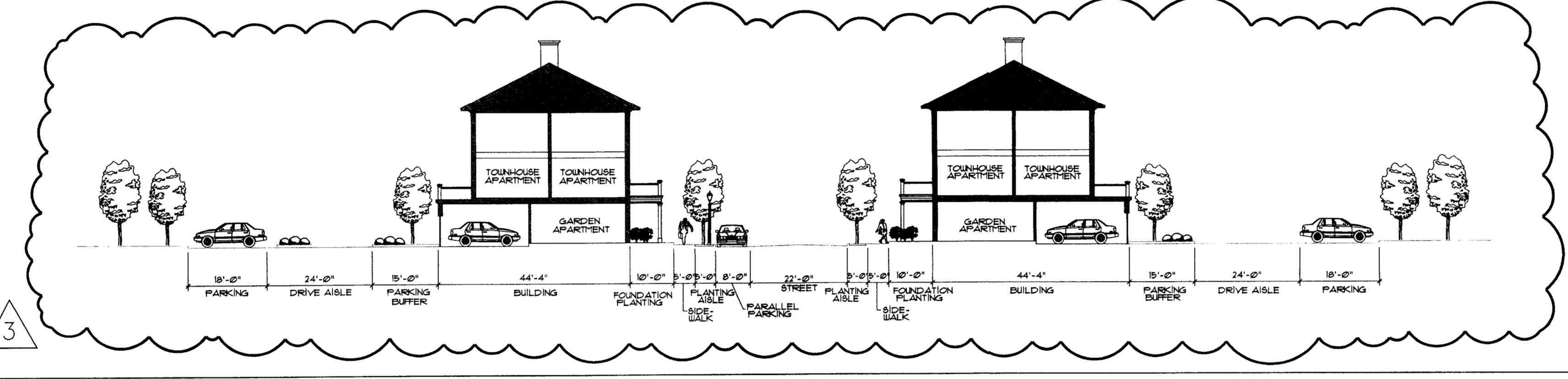
PHASE I MULTI-FAMILY REAR ELEVATIONS (DETAIL 1)



PHASE II RETAIL/OFFICE (DETAIL 2)



PHASE I, II AND III URBAN MULTI-FAMILY (DETAIL 3)



PHASE I SUBURBAN MULTI-FAMILY (DETAIL 4)

- 5 10/26/06 ADMINISTRATIVE SITE PLAN AMENDMENT
- 4 4/20/05 ADMINISTRATIVE SITE PLAN AMENDMENT
- 3 9/16/02 ADMINISTRATIVE SITE PLAN AMENDMENT

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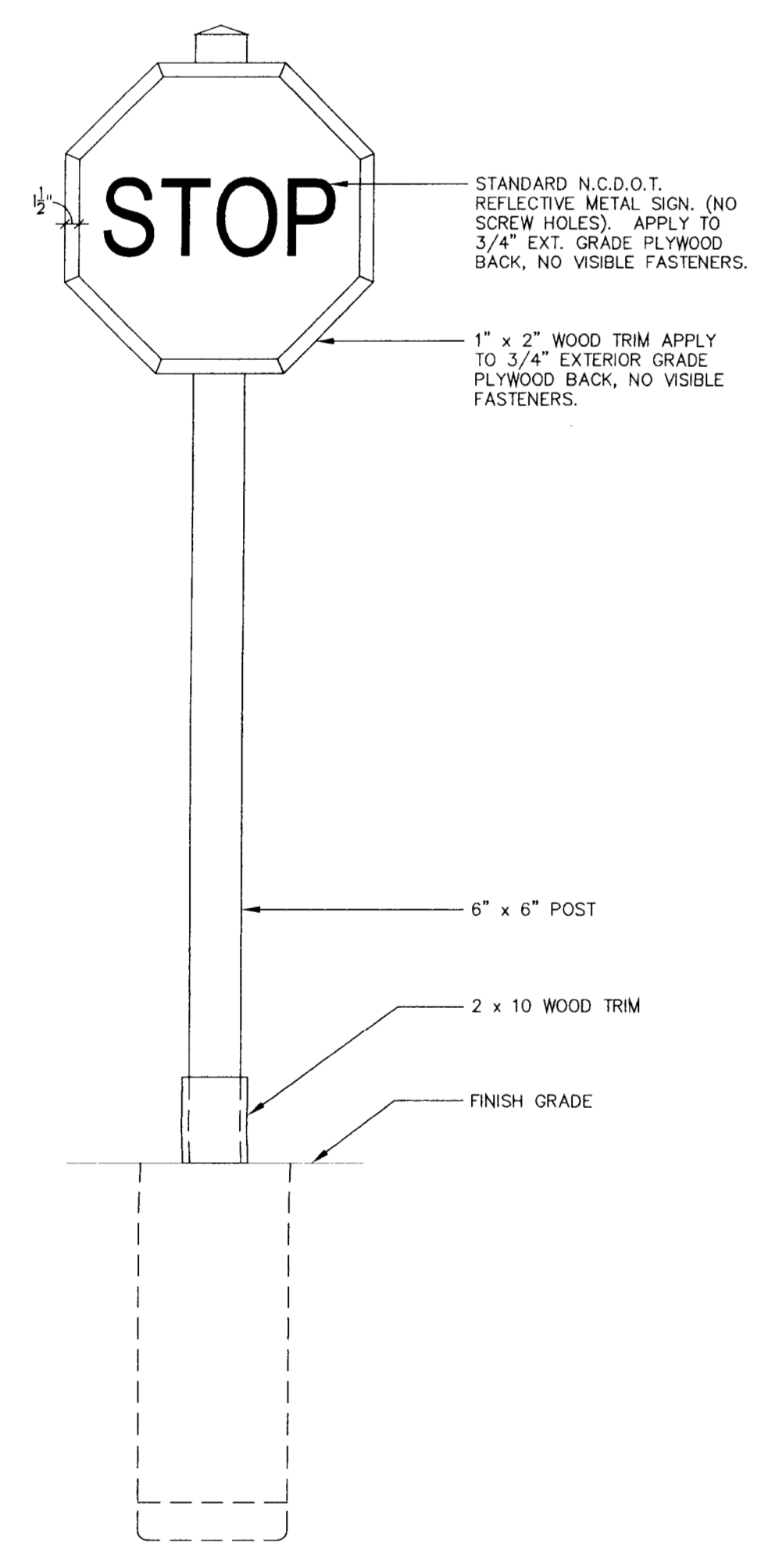
PROJECT: **ATKINS CIRCLE (THE STREETS OF TORINGDON)**
 SHEET TITLE: **CONCEPTUAL CROSS-SECTIONS**

PROJECT NO: 58196(Y6036)

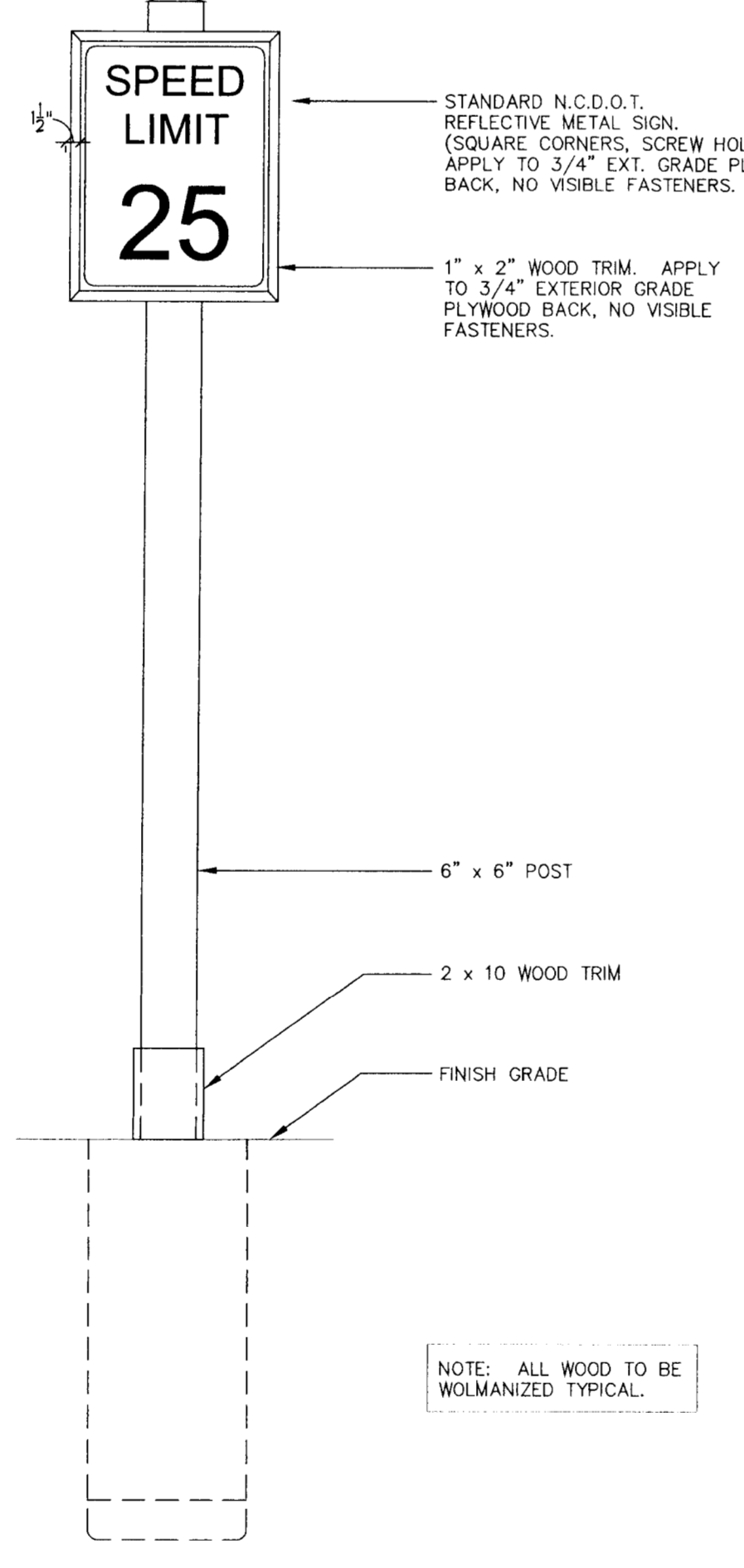
Project No: 58196(Y6036)
 Checked by: T.H.
 Drawn by: MVS
 Date: 12/21/01

BY: **DEBRA D. CAMPBELL**

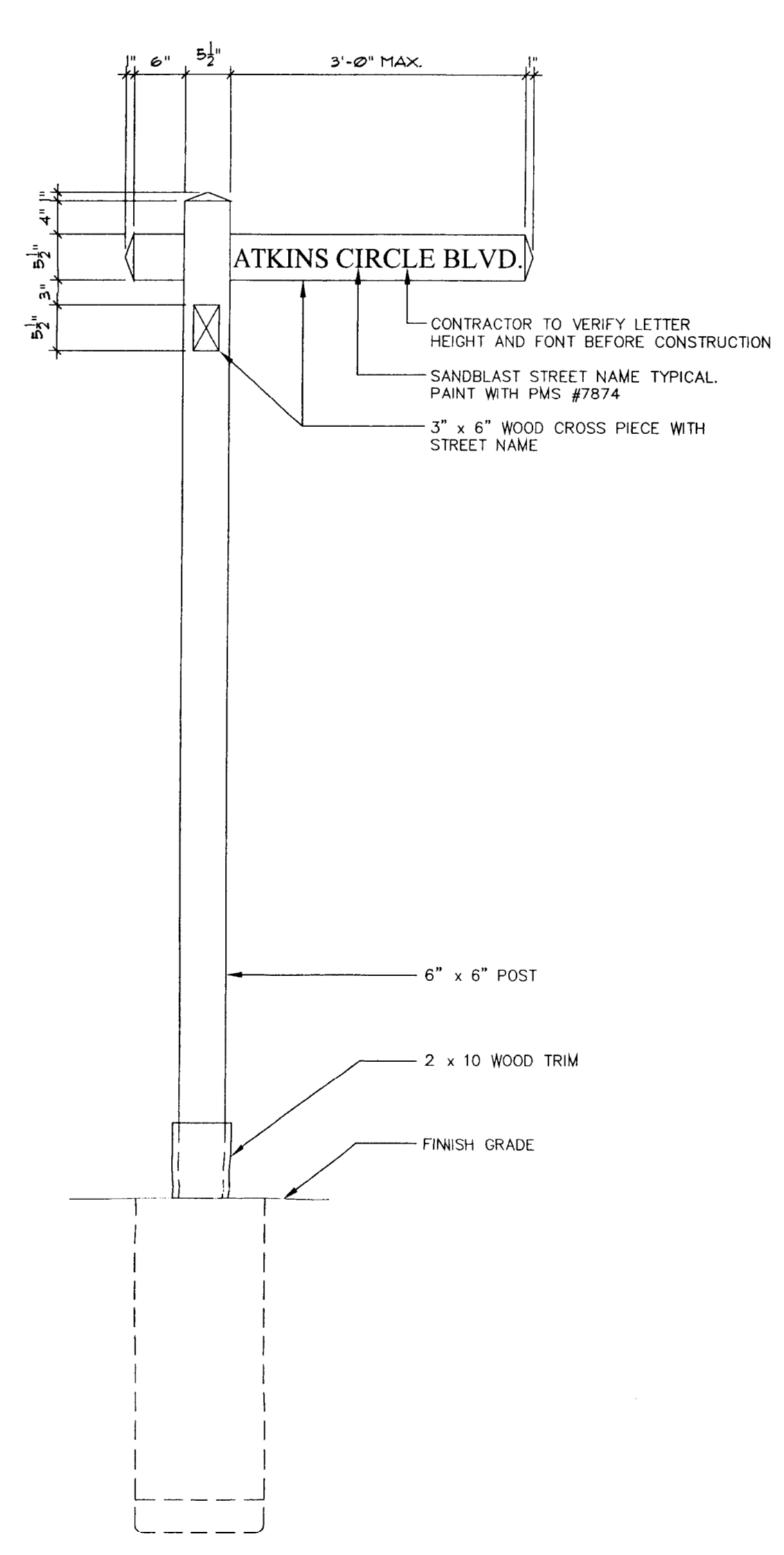
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STOP SIGN

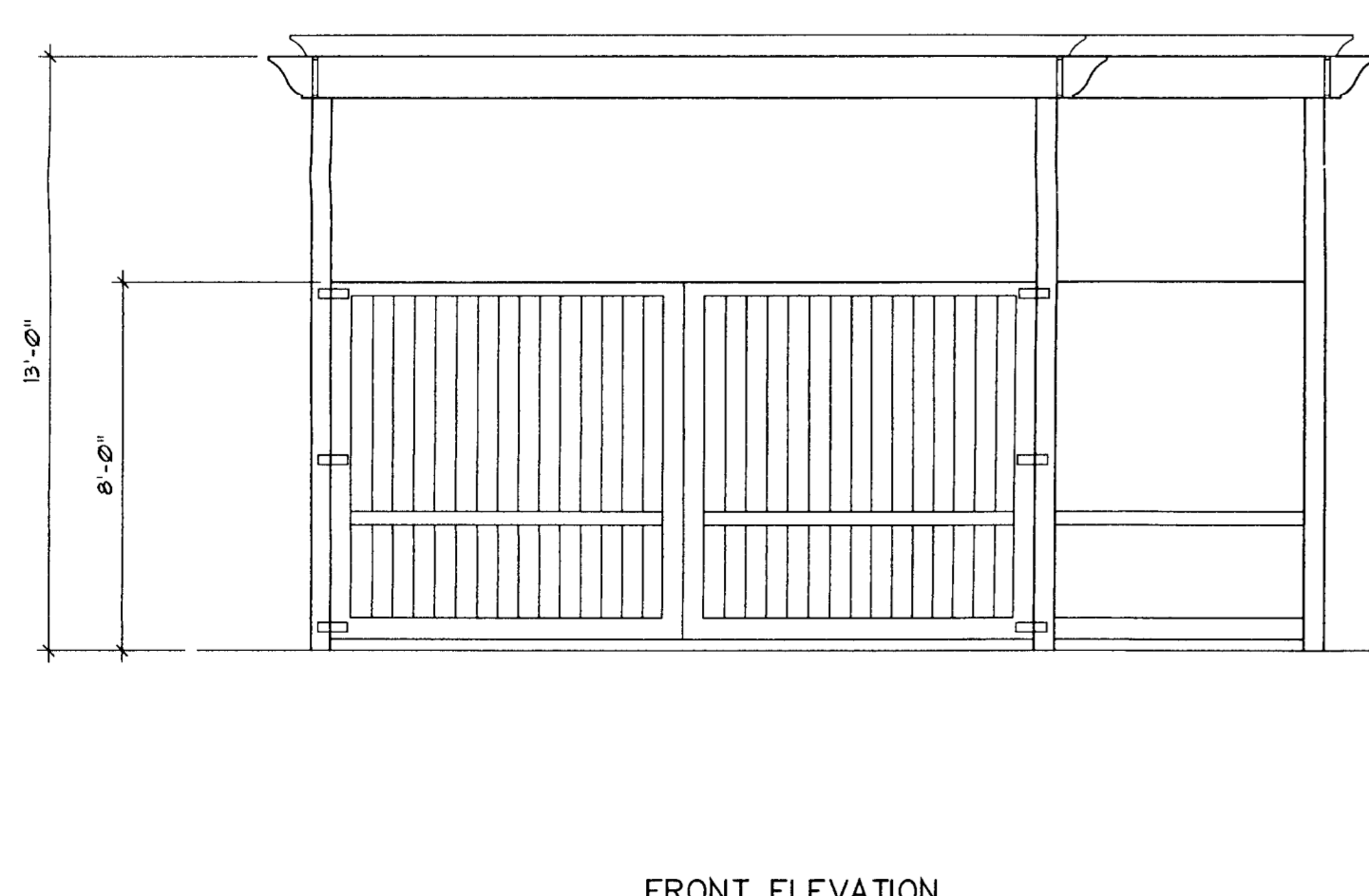


SPEED LIMIT SIGN

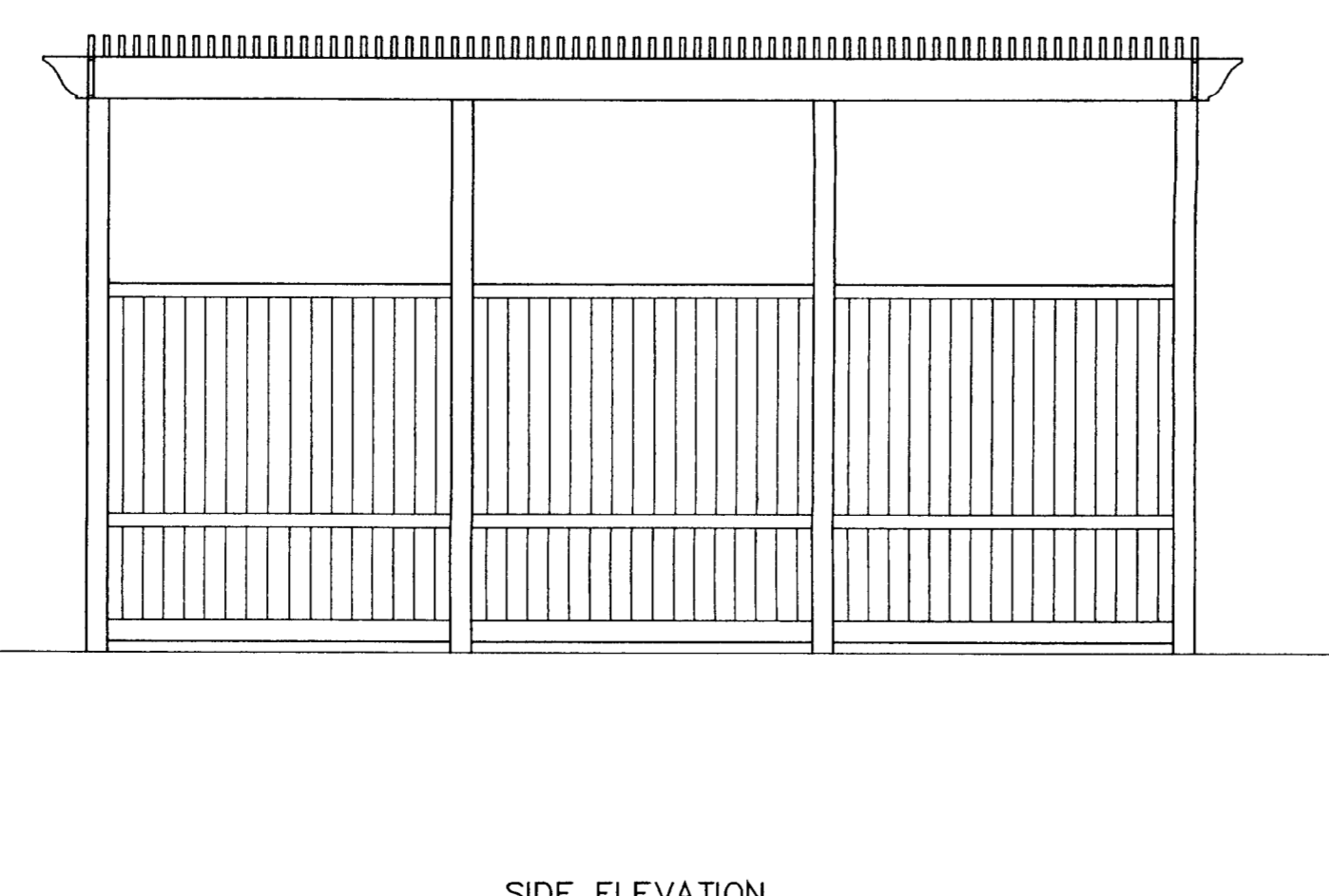


STREET SIGN

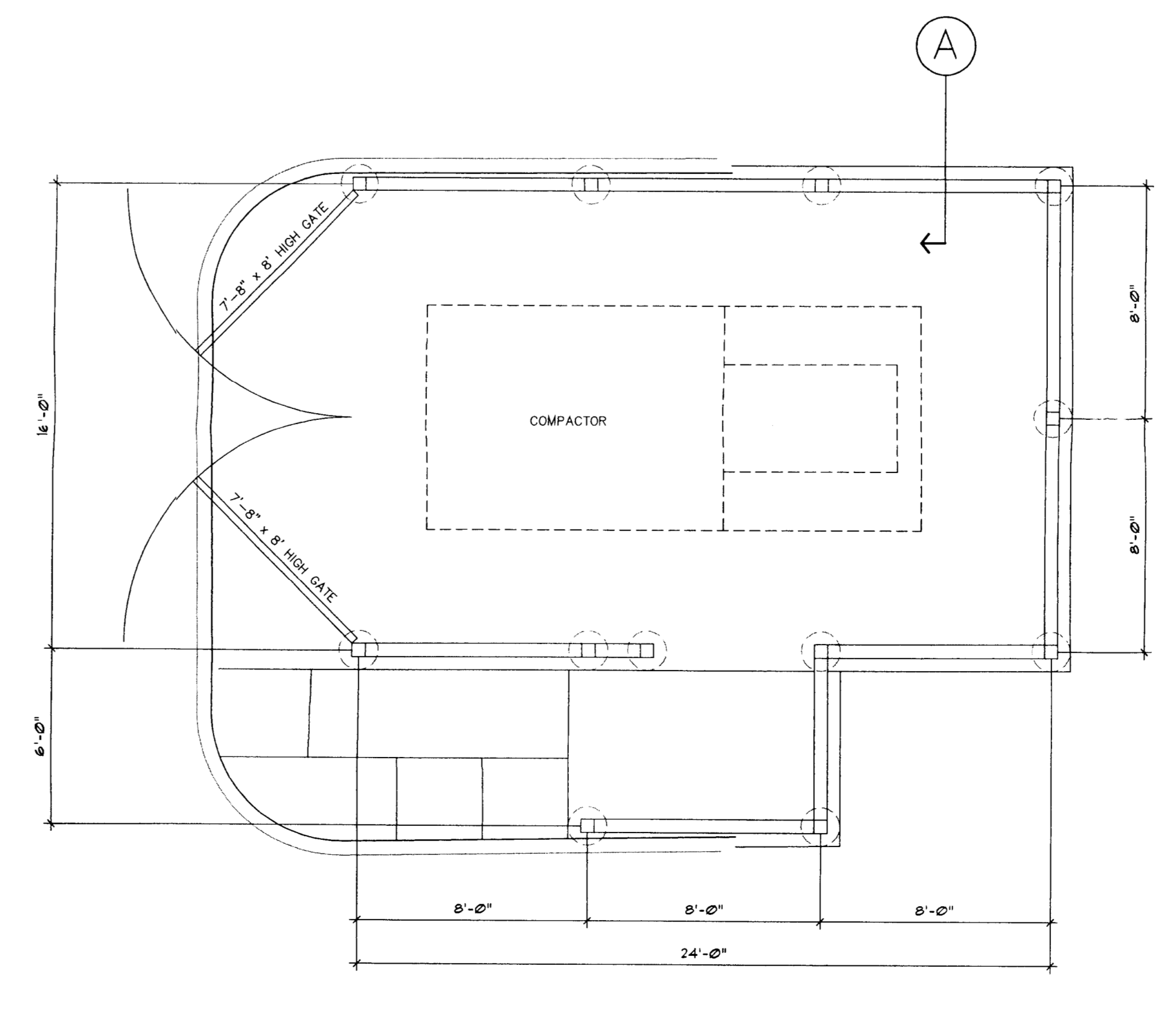
1 SIGNAGE DETAIL
3/4" = 1'-0"



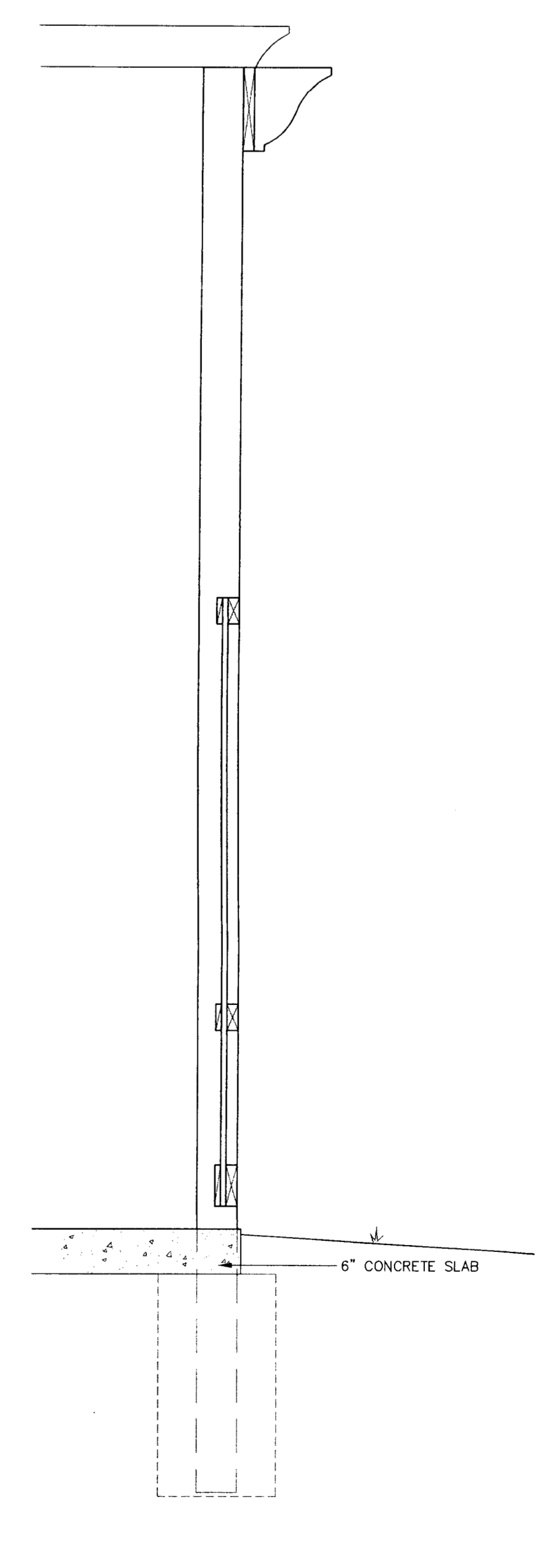
FRONT ELEVATION



SIDE ELEVATION



PLAN VIEW



SECTION VIEW A (3/4" = 1'-0")

2 DUMPSTER DETAIL
1/4" = 1'-0"

- 5 10/26/06 ADMINISTRATIVE SITE PLAN AMENDMENT
- 4 4/20/05 ADMINISTRATIVE SITE PLAN AMENDMENT
- 3 9/16/02 ADMINISTRATIVE SITE PLAN AMENDMENT

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PROJECT: **ATKINS CIRCLE (THE STREETS OF TORINGDON)**
 SHEET TITLE: **CONCEPTUAL SIGN AND DUMPSTER DETAILS**

PROJECT NO: 58196(Y6036)

Project No: 58196(Y6036)
 Checked by: T.H.
 Drawn by: MTO
 Date: 12/21/01

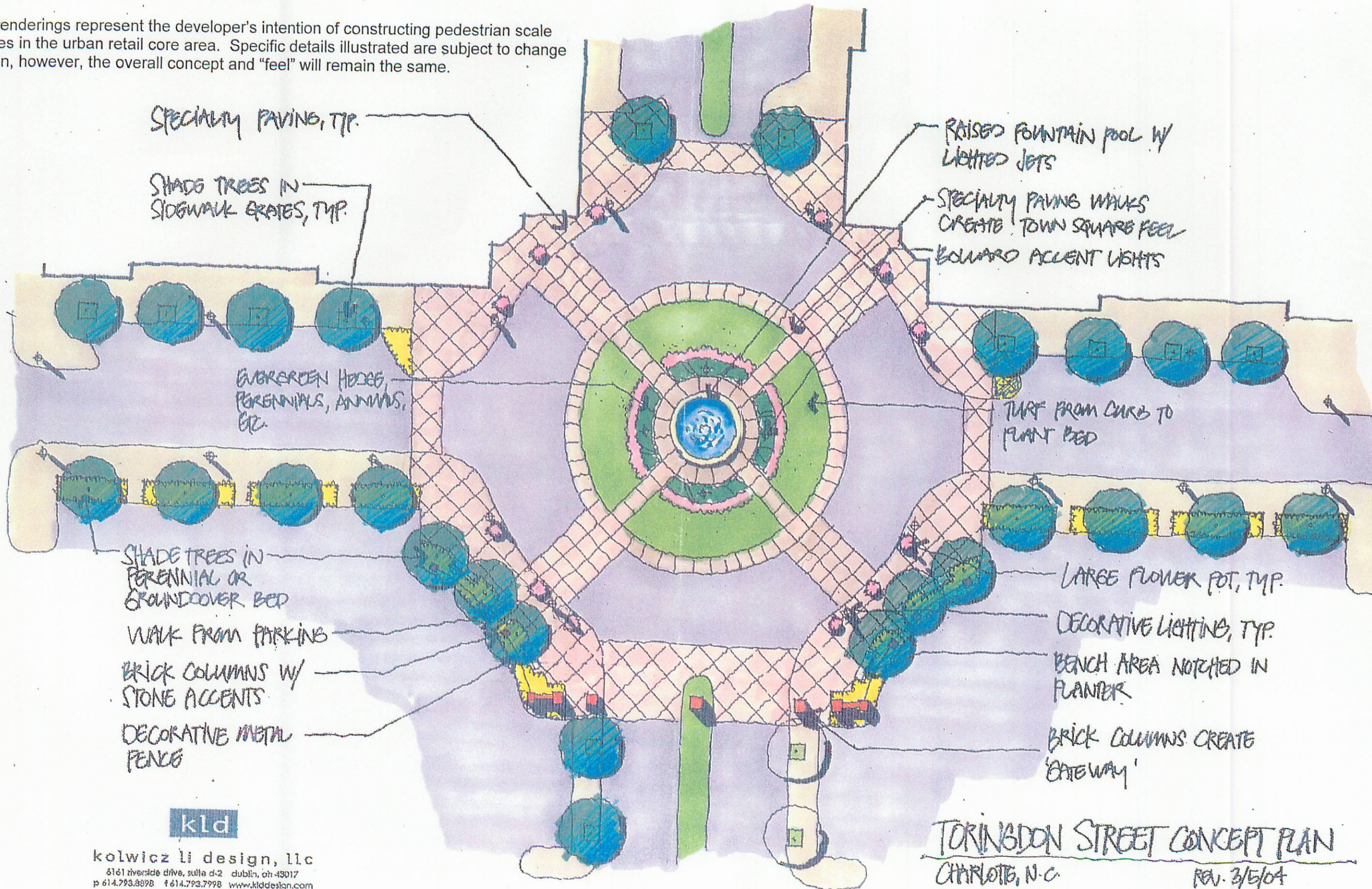
Revisions:

BY: **DEBRA D. CAMPBELL**

Sheet: RZ-4

Conceptual Master Plan (Per Note 14 RZ-1)

These renderings represent the developer's intention of constructing pedestrian scale amenities in the urban retail core area. Specific details illustrated are subject to change in design, however, the overall concept and "feel" will remain the same.



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landscape architecture planning graphic communication

ADMINISTRATIVE SITE PLAN AMENDMENT 4/20/05 A
 PERMIT # 11997-001

TORINGTON STREET CONCEPT PLAN

CHARLOTTE, N.C.

REV. 3/5/04

