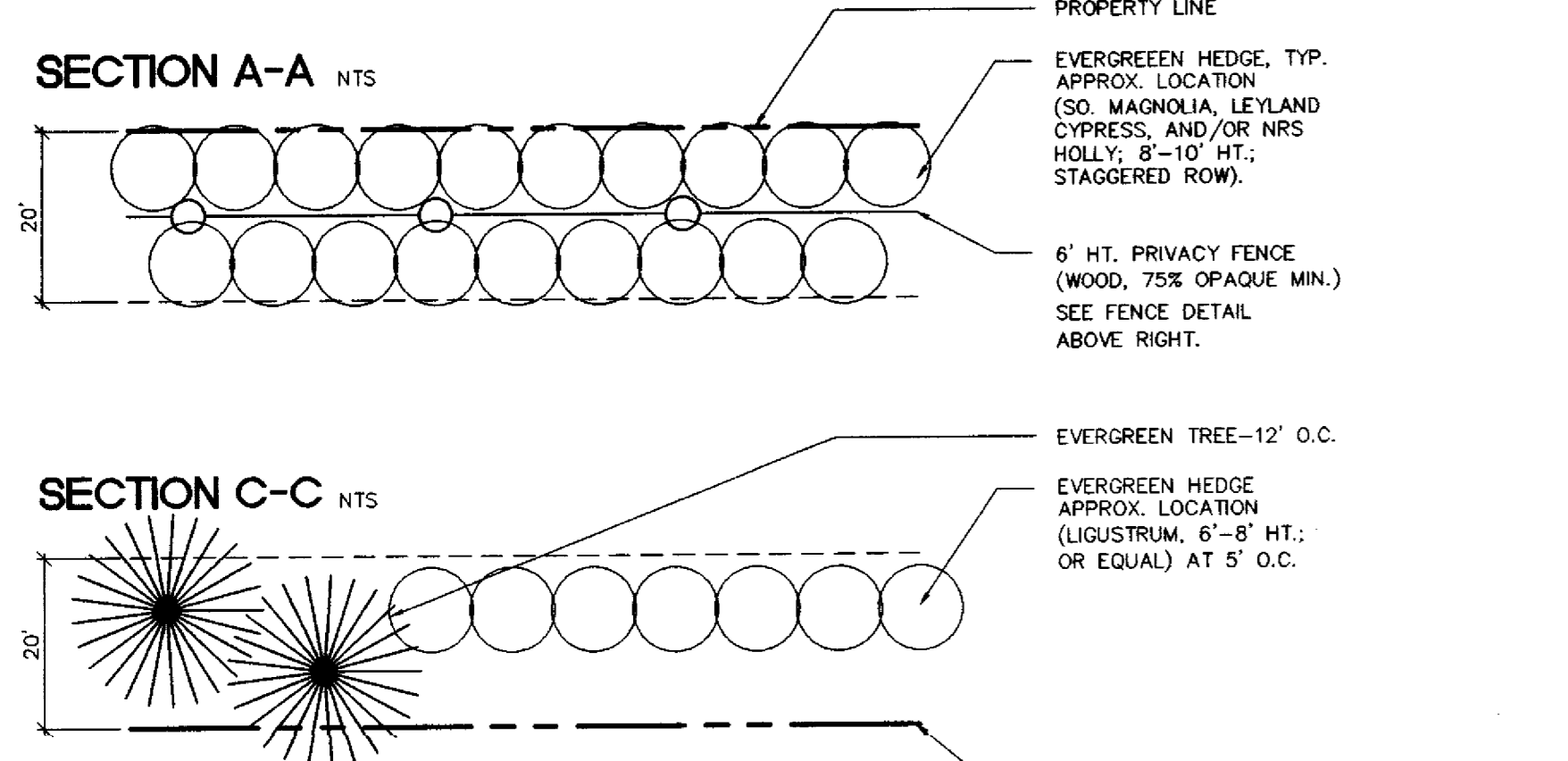
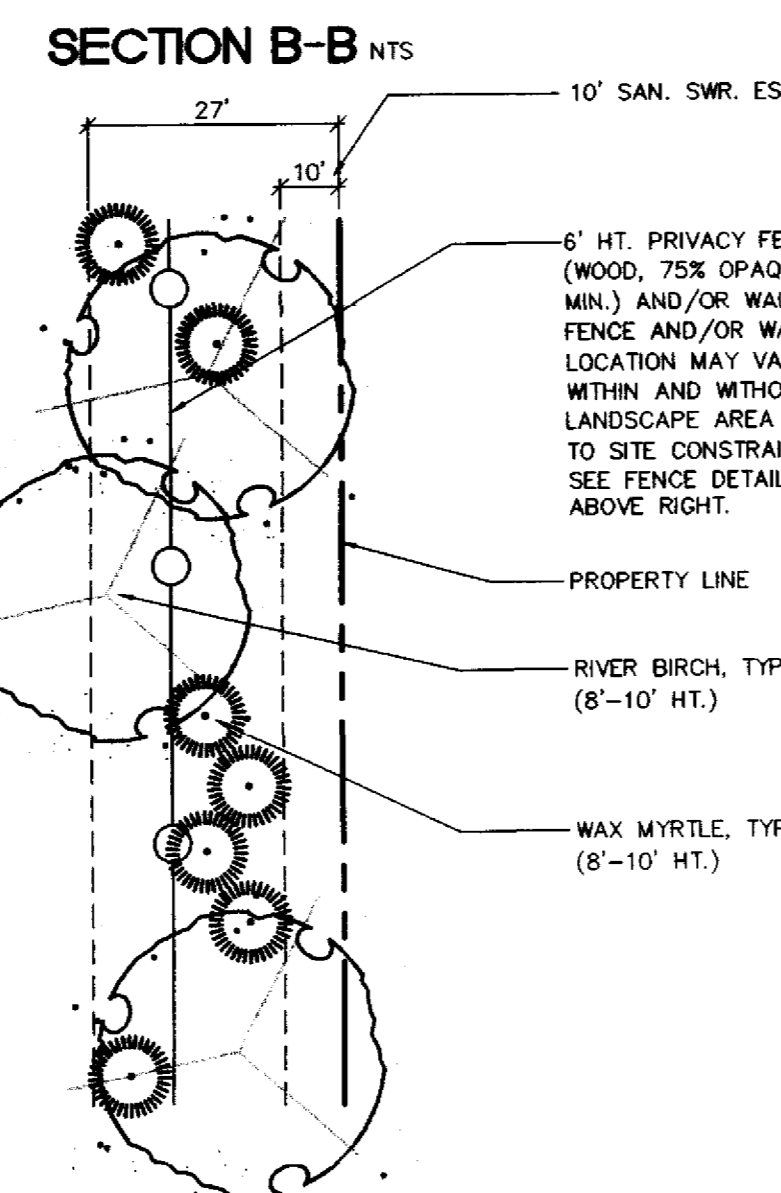
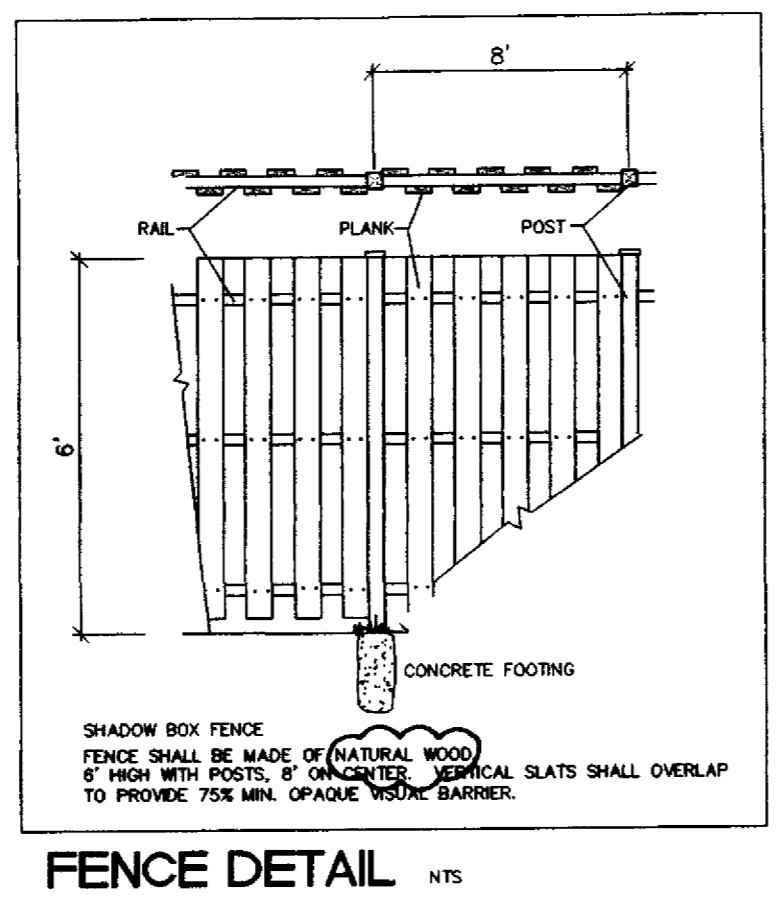


SITE SUMMARY	
TAX PARCEL NUMBERS	179-022-16
SITE AREA	6.373 ACRES
EXISTING ZONING	R-3
PROPOSED ZONING	UR-2 (CD)
PROPOSED DENSITY	46 D.U.'s MAX. (7.22 D.U.'s PER ACRE)
FLOOR AREA RATIO	1.0 MAX
PROPOSED BLDG. HEIGHT	40' HT. MAX.
PROPOSED USE	SINGLE FAMILY ATTACHED OR SINGLE FAMILY DETACHED AS ALLOWED PER R-3
REQUIRED YARDS	14' SETBACK FROM BACK OF CURB OR RIGHT OF WAY, WHICHEVER IS GREATER 5' SIDE YARD 10' REAR YARD

**KEY TO ADJACENT PROPERTY OWNERS**

A. 179-022-43	LIVINGSTON, BRIAN J. 6225-A PARK SOUTH DRIVE CHARLOTTE, NC 28210	I. 179-022-26	FOLSON, ANTHONY G. & W. CHRISTINE 3100 EASTBURN ROAD CHARLOTTE, NC 28210
179-022-44	CRIMES, JOHN JAMES 6227-B PARK SOUTH DRIVE CHARLOTTE, NC 28210	J. 179-022-25	GARRITT, JOHN EDGAR & W. PEGGY W. 3110 EASTBURN ROAD CHARLOTTE, NC 28210
179-022-45	BREIN, JOSEPH M. GAIL L. BREIN 6229-C PARK SOUTH DRIVE CHARLOTTE, NC 28210	K. 179-022-18	CARRIKER, RONALD H. JR. & W. REBECCA C. 3627 STOKES AVENUE CHARLOTTE, NC 28210
179-022-46	HARR, RICHARD W. BARBARA R. HARR 6233-B PARK SOUTH DRIVE CHARLOTTE, NC 28210	L. 179-022-17	MULLISTER, FRANK DANIEL & W. MONIKA MOKR 3621 STOKES AVENUE CHARLOTTE, NC 28210
179-022-47	KING, BILLY F. LINDA P. KING 6235 PARK SOUTH DRIVE CHARLOTTE, NC 28210	M. 179-044-35	ALBERTSON, CHRISTOPHER A. 3620 STOKES AVENUE CHARLOTTE, NC 28210
179-022-48	SCAMMANN, ROBERT D. SUZANNE SHAMMANN 6237-C PARK SOUTH DRIVE CHARLOTTE, NC 28210	N. 179-044-19	OLE, MARK A. ANGELA M. COLE 3612 STOKES AVENUE CHARLOTTE, NC 28210
179-022-49	SALIVAN, HARRY J. 6241-B PARK SOUTH DRIVE CHARLOTTE, NC 28210	O. 179-044-20	WILSON, WELMIA J. 3600 STOKES AVENUE CHARLOTTE, NC 28210
179-022-50	REMER, SUSAN LYNN 6243-B PARK SOUTH DRIVE CHARLOTTE, NC 28210	P. 179-045-11	HELDMAN, ANDREW F. & W. JOAN C. 6300 LONG MEADOW ROAD CHARLOTTE, NC 28210
179-022-51	O'MELVENY, CHARLES 6245-B PARK SOUTH DRIVE CHARLOTTE, NC 28210	Q. 179-045-10	ONEIL, KEVIN M. & SP. COURTNEY M. 3610 STOKES AVENUE CHARLOTTE, NC 28210
179-022-14	REYNOLDS, WALTER DORIS & LUCILLE C. 4511 FINE VALLEY ROAD CHARLOTTE, NC 28210	R. 179-045-09	TAMERLIN, MARION C. 113 FINE VALLEY DRIVE SAN CLEMENTE, CA 92672
179-022-12	OSTRINE, VERNON D. & W. MCKI 4502 FINE VALLEY ROAD CHARLOTTE, NC 28210	S. 171-256-13	MANNING, GREGORY LEE 2012 SE 12TH STREET POMPANO BEACH, FL 33060
179-022-11	ROBERTS, JAMES ELLIS & W. CHARLENE 4501 FINE VALLEY ROAD CHARLOTTE, NC 28210	T. 171-256-14	WISSE, CHARLES W. 6310 PARK SOUTH DRIVE CHARLOTTE, NC 28210
179-022-42	TWO SOUTH DEVELOPMENT LLC 6000 FAIRVIEW/ SOUTH PARK TOWNS J.A. JONES DRIVE #715 CHARLOTTE, NC 28217	U. 171-256-15	MEADHAM, CHARLES R. 6300 PARK SOUTH DRIVE SAN CLEMENTE, CA 92672
179-022-29	RODGERS, W. GORDON, JR. 3018 EASTBURN ROAD CHARLOTTE, NC 28210	V. 171-256-16	COLE, WANDA A. 6322 PARK SOUTH DRIVE CHARLOTTE, NC 28210
179-022-28	PRESTLEY, DIA 3026 EASTBURN ROAD CHARLOTTE, NC 28210	W. 171-256-17	BOONE, MELANIE G. 5013 BELLERIVE COURT CHARLOTTE, NC 28277
179-022-27	HARRISON, NANCY 3034 EASTBURN ROAD CHARLOTTE, NC 28210		



**DEVELOPMENT STANDARDS**

**PARK SOUTH TOWNHOME REZONING**

- I. GENERAL COMMITMENT:
  - A. Development of the real estate identified on this Technical Data Sheet, consisting of 6.373 acres, more or less (the "Site"), will be governed by the standards established under the zoning ordinance of the City of Charlotte (the "Ordinance") for the UR-2 Zoning District unless more stringent standards are established by these Development Standards or this Technical Data Sheet.
  - B. The configurations, placements, and sizes of the single family attached residential buildings, parking areas, driveways and common open spaces shown on the Schematic Site Plan which accompanies this Technical Data Sheet are schematic and conceptual in nature and may be altered and/or modified based upon final design, development and construction documents and site and topographical constraints within the Building/Parking/Service areas established on this Technical Data Sheet and in accordance with Section 6.206(2) of the Ordinance.
- II. PERMITTED DEVELOPMENT WITHIN THE SITE:
  - A. Up to 46 single family attached residential dwelling units may be developed on the Site, together with any incidental or accessory uses associated therewith which are permitted under the Ordinance by right or under prescribed conditions in an UR-2 Zoning District.
  - B. Provided, however, the Petitioner may elect not to develop the Site as provided in this conditional plan and instead the Petitioner may develop the Site for single family detached homes in accordance with the standards of the R-3 Zoning District.
- III. VEHICULAR ACCESS POINTS/CONSTRUCTION TRAFFIC:
  - A. The number of access points to/from the Site shall be limited to those shown on the Technical Data Sheet. The access points to/from Stokes Avenue shall have full access. The point shown on the Technical Data Sheet from the Site to Park South Drive shall be limited to a right of way private exit from the Site.
  - B. These access points shall be located in the general areas depicted on this Technical Data Sheet. Final location of each access point is subject to any modifications required to accommodate final site and construction plans/design, and site/topographic constraints.
  - C. Subject to approval of CDOT, Petitioner shall use diligent good faith efforts to have construction equipment access the Site from Park South Drive during the site development phase of the project (i.e., clearing and grading of the Site) and shall obligate Petitioner's contractors to provide street cleaning services on a weekly basis on Stokes Avenue during the site development and unit construction phase of the project.
- IV. RIGHT OF WAY DEDICATION/STOKES AVENUE SPEED HUMPS:
  - A. The Petitioner agrees to dedicate and convey (by quitclaim deed and subject to a reversionary interest in any property not used for right-of-way purposes in the future) such additional portions of the Site as may be needed to provide for 35 feet of right of way east of the existing centerline of Park South Drive prior to the issuance of any building permits for improvements to the Site. In addition, the Petitioner agrees to provide improvements along Park South Drive. As needed to meet the minimum standards of a Class (V) minor thoroughfare as defined by the Charlotte-Mecklenburg Land Development Standards for that portion of Park South Drive which abuts the Site. These improvements shall include an 8 foot wide planting strip and a 6 foot wide sidewalk.
  - B. At its expense, Petitioner agrees to reimburse the City of Charlotte Department of Transportation (CDOT) for the costs of installation of up to five speed humps in appropriate locations along Stokes Avenue, the number of said speed humps and their locations on Stokes Avenue to be reasonably acceptable to CDOT and Petitioner (except that Petitioner commits to reimburse for five speed humps). This agreement by Petitioner shall be subject to (i) the receipt of a satisfactory Traffic Calming Petition signed by the requisite number of Stokes Avenue residents requesting installation of the speed humps and other information required of Stokes Avenue residents by CDOT, and (ii) the approval and cooperation by CDOT in such installation. Subject to cooperation by CDOT in the manner set forth herein and prior to issuance of the final certificate of occupancy for the first residential building on the Site, Petitioner agrees to enter into a written agreement with CDOT regarding reimbursement for the costs directly attributable to the installation of the speed humps as set forth herein. Such agreement to include an escrow or bond in amount equal to the estimated costs of installation.

**V. DESIGN GUIDELINES:**

- A. YARD RESTRICTIONS AND BUFFER REQUIREMENTS
  - (1) In every instance the side yard, setback, and rear yard requirements imposed under the Ordinance will be satisfied with respect to the development taking place within the Site, unless more stringent requirements are established under these Development Standards. In addition, landscaped areas shall be maintained along portions of the Site boundary in the manner shown on this Technical Data Sheet.
- B. OFF STREET PARKING
  - (1) Off street parking shall meet the minimum standards established under the Ordinance.
- C. STORM WATER MANAGEMENT
  - (1) Storm water shall be managed in accordance with the requirements of the City of Charlotte. Furthermore, Petitioner agrees to provide to Charlotte-Mecklenburg Storm Water Services ("Storm Water Services"), during the permitting stage of the development, an engineering review, completed by a professional engineer licensed in North Carolina, of the drainage system located directly downstream from the Site (at the next receiving channel and drainage pipe) to ensure that such system is not taken out of standard due to the development contemplated by this rezoning (i.e. such system is not already out of standard or the contemplated development will not take the system out of standard) as submitted at the permitting stage of the development. If such review indicates that the proposed development will cause such drainage system located directly downstream to be taken out of standard, the Petitioner shall provide adequate detention on Site or otherwise take such reasonable steps as may be needed to avoid this from occurring.
  - (2) Storm water detention facilities shall not be located within any setback nor required yard or within 15 feet from the exterior boundary line of any designated landscaped area as shown on this Technical Data Sheet.
  - (3) It is acknowledged that during the site development and construction phases of the project, the Petitioner may provide for the relocation of a portion of the stream located along the eastern boundary of the Site in accordance with applicable regulations and guidelines of the Army Corps of Engineers and the NC Department of Environmental and Natural Resources. In this regard, the Petitioner shall use diligent good faith efforts to work with Charlotte-Mecklenburg Storm Water Services ("Storm Water Services") to mitigate any material impacts to the channel of the stream located along the eastern boundary of the Site and to any designated landscaped areas located adjacent thereto by re-vegetation and natural channel design methods as may be reasonably required by Storm Water Services. Storm Water Services shall provide assistance with design services regarding the stream upon request of the Petitioner.
  - (4) Prior to the issuance of the final certificate of occupancy for the first unit in the building(s) to be built in Building Envelope D and in the building to be built within Building Envelope C located closest to the stream, the Petitioner shall grant to the City of Charlotte a permanent 20 foot easement on each side of the center line of the stream (but not beyond the boundary of the Site), provided, however, the specific location of the easement shall be determined by survey prior to the easement grant. The easement shall permit the City and its designated contractors to make necessary drainage repairs to this stream, and the easement shall contain such other provisions that are reasonable under the circumstances.
- D. SIDEWALKS
  - (1) A 6 foot wide sidewalk and an 8 foot wide planting strip will be installed along Park South Drive and Stokes Avenue. Sidewalks will be allowed to meander to avoid certain existing trees to be preserved as identified on this Technical Data Sheet, and the planting strip may be less than 8 feet in width as may be reasonably necessary to preserve these trees.
  - (2) Petitioner will provide internal sidewalks in substantially the manner as conceptually depicted on the Conceptual Schematic Site Plan attached hereto and as required by Section 12.529 of the Ordinance. Sidewalks will connect to walks and sidewalks along Park South Drive and Stokes Avenue.
- E. COMMON OPEN SPACE
  - (1) Development of the Site shall include two (2) common open space areas in the general locations shown on this Technical Data Sheet. The specific locations and dimensions of each such common open space area may be altered and/or modified based upon final design, development and construction documents and site and topographic constraints, provided that each such common open space area shall consist of a minimum of 5,000 square feet. Each such common open space area shall include sidewalks, landscaping and grass areas, and benches or other seated areas.

**F. LANDSCAPING, SCREENING AND TREE PRESERVATION**

- (1) Landscaping and screening shall, at a minimum, satisfy the requirements of Section 12.505 of the Ordinance.
- (2) Landscaping will be installed in stages in accordance with the Ordinance as the Site is developed.
- (3) Those mature oak trees located within the setback along Stokes Avenue as designated on this Technical Data Sheet will be preserved. Sidewalks can meander to preserve these trees and the planting strip may be less than 8 feet in width as may be reasonably necessary to preserve these trees.
- (4) All dumpsters or trash receptacle "corrals," if provided, will be screened with solid enclosures with gates. Pursuant to Section 12.403 of the Ordinance, if public trash collection is provided to the Site, any required dumpsters, trash receptacles and recycling facilities will be located in the areas generally depicted on the Conceptual Schematic Site Plan, provided, however, other improvements, such as parking and landscaping areas may be located in such areas in the event private roll-out trash collection is used.

**G. SIGNS**

- (1) All signs placed on the Site will be erected in accordance with the requirements of the Ordinance.
- (2) A master signage and graphics system will be adopted and implemented throughout the Site.

**H. LIGHTING**

- (1) All freestanding lighting fixtures installed will be uniform in design and the maximum height of any such lighting fixture, including its base, may not exceed 20 feet in height.
- (2) All direct lighting within the site (except streetlights which may be erected along the private drives and streets) will be capped to project light downward and otherwise designed such that direct illumination does not extend past any adjacent property line. Consideration will be given to the impact of lighting both within and without the perimeter of the Site. Items for consideration will include intensity, cutoff angles, color, energy efficiency, and shielding sources of light, the intent being to eliminate glare towards public streets and adjacent properties.

**I. ARCHITECTURAL GUIDELINES**

- (1) The single family attached residential buildings located along Park South Drive and Stokes Avenue to the west of the second access drive on Stokes Avenue will have entrances onto such streets in substantially the same manner as generally depicted on the Schematic Site Plan attached hereto but the number, size, configurations and placements of such buildings may be altered or modified as provided in this Technical Data Sheet and these Development Standards.
- (2) The proposed exterior finish of the single family attached residential buildings (excluding the roof) located on the Site shall consist of brick, cedar shingle or a combination of such materials with portions of such elevations consisting of natural wood siding and/or trim materials.
- (3) The attached schematic architectural elevations are intended to depict the general conceptual architectural style of the single family attached residential buildings located on the Site. Changes and alterations which do not materially change the overall conceptual architectural style are permitted based upon final design/construction drawings. Subject to and in accordance with subsection I(2) above, the single family attached residential buildings may employ complimentary differences in color pertaining to brick, cedar shingle, natural wood siding, roof shingles and/or trim accents.
- (4) Buildings will not exceed two stories (excluding underneath parking facilities, if provided) nor 40 feet in height.

**J. FIRE HYDRANTS**

- (1) Fire hydrants shall be located within 750 feet of the most remote point of buildings as the truck travels.

**VI. AMENDMENTS TO THE REZONING PLAN:**

- (1) The owner or owners of the Site, in accordance with the Ordinance, may apply for future amendments to this Technical Data Sheet and these Development Standards.

**VII. BINDING EFFECT OF THE REZONING PETITION:**

- (1) If the Petitioner's rezoning petition is approved, the development program established under these Development Standards and this Technical Data Sheet shall, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and the owners (from time to time) and their respective heirs, devisees, personal representatives, successors in interest and assigns.

**ColeJenest & Stone**  
Land Planning  
Landscape Architecture  
Civil Engineering  
Urban Design

112 South Tryon Street  
Suite 300  
Charlotte, North Carolina 28284  
Tel 704.376.1555  
Fax 704.376.7851  
www.colejeneststone.com

**FAIRHILLS DEVELOPMENT GROUP, LLC**  
CHARLOTTE, NORTH CAROLINA

**PARK SOUTH TOWNHOME REZONING**  
PARK SOUTH DRIVE  
CHARLOTTE, NORTH CAROLINA

**TECHNICAL DATA SHEET**  
PET. #02-57

Project No. 2339  
Issued 02/25/02 - SUBMITTED FOR REZONING

Issued For Construction

Managing Principal: BCJ Date: \_\_\_\_\_  
Team Manager: KJB Date: \_\_\_\_\_  
Project LAEC: DBS Date: \_\_\_\_\_

Revised

04/03/02 - PER OWNER REVIEW  
04/08/02 - REVISE DEV. DATA AND PER OWNER REVIEW COMMENTS  
04/22/02 - FOR PUBLIC HEARING  
05/14/02 - FOR OWNER REVIEW  
05/17/02 - ADDED TEXT / FOR PUBLIC HEARING

APPROVED BY CITY COUNCIL

DATE: 6/1/02

SCALE: 1"=40'

0 20 40 80

**RZ1.0 of 2**

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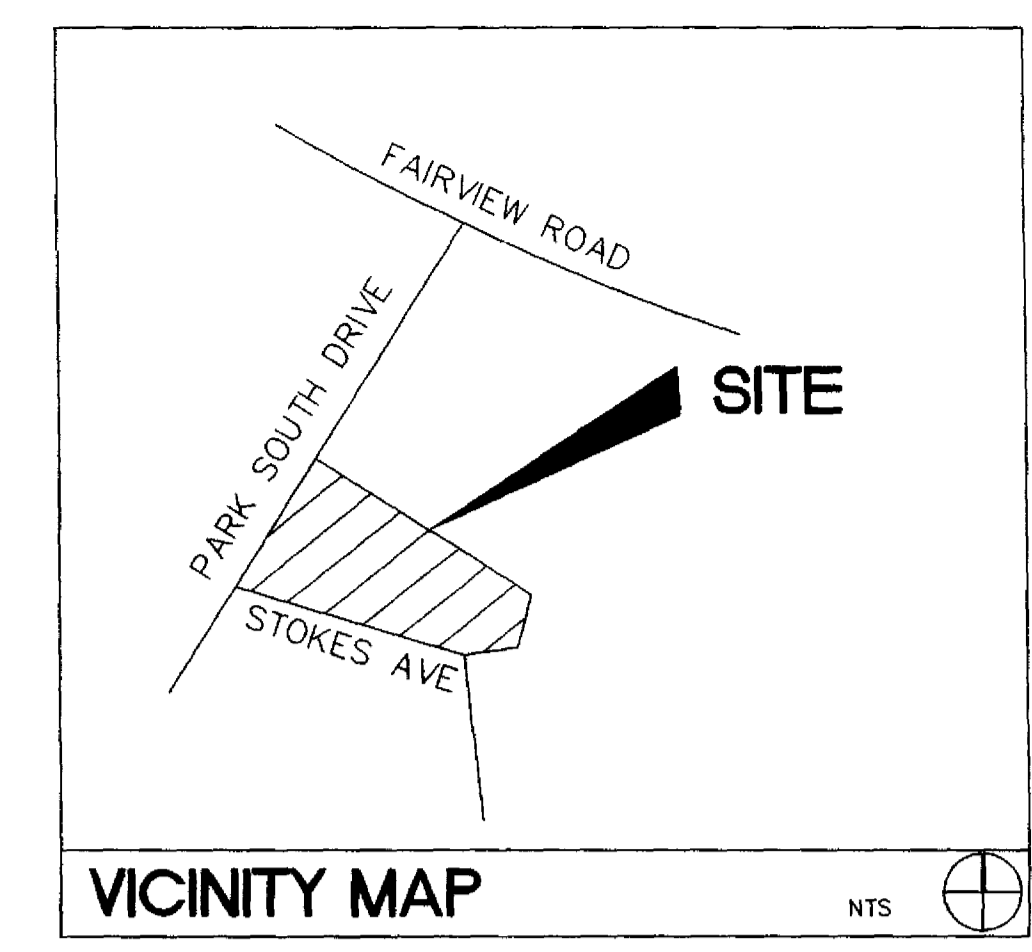
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**LEGEND**

	EXISTING ZONING
	PROPOSED BUILDING/PARKING/SERVICE ENVELOPE
	ADJACENT PROPERTY OWNER (SEE R21.0 FOR KEY TO ADJACENT PROPERTY OWNERS)

**SITE SUMMARY**

TAX PARCEL NUMBERS	179-022-16
SITE AREA	6.373 ACRES
EXISTING ZONING	R-3
PROPOSED ZONING	UR-2 (CD)
PROPOSED DENSITY	46 D.U.'s MAX. (7.22 D.U.'s PER ACRE)
FLOOR AREA RATIO	1.0 MAX
PROPOSED BLDG. HEIGHT	40' HT. MAX.
PROPOSED USE	SINGLE FAMILY ATTACHED OR SINGLE FAMILY DETACHED AS ALLOWED PER R-3
REQUIRED YARDS	14' SETBACK FROM BACK OF CURB OR RIGHT OF WAY, WHICHEVER IS GREATER 5' SIDE YARD 10' REAR YARD



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PARK SOUTH DRIVE  
CHARLOTTE, NORTH CAROLINA

**CONCEPTUAL SCHEMATIC PLAN**  
PET.#02-57

**Project No.**  
2339

**Issued**  
02/25/02 - SUBMITTED FOR REZONING

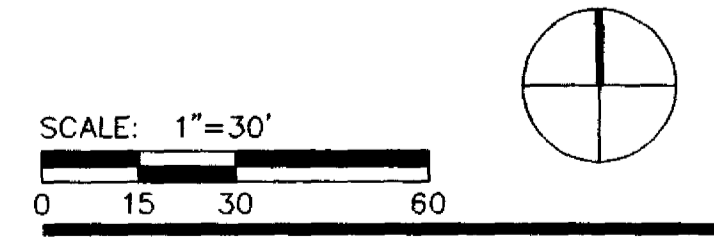
**Issued For Construction**

Managing Principal: BCI	Date:
Team Manager: KJB	Date:
Project LACE: DBS	Date:

**Revised**

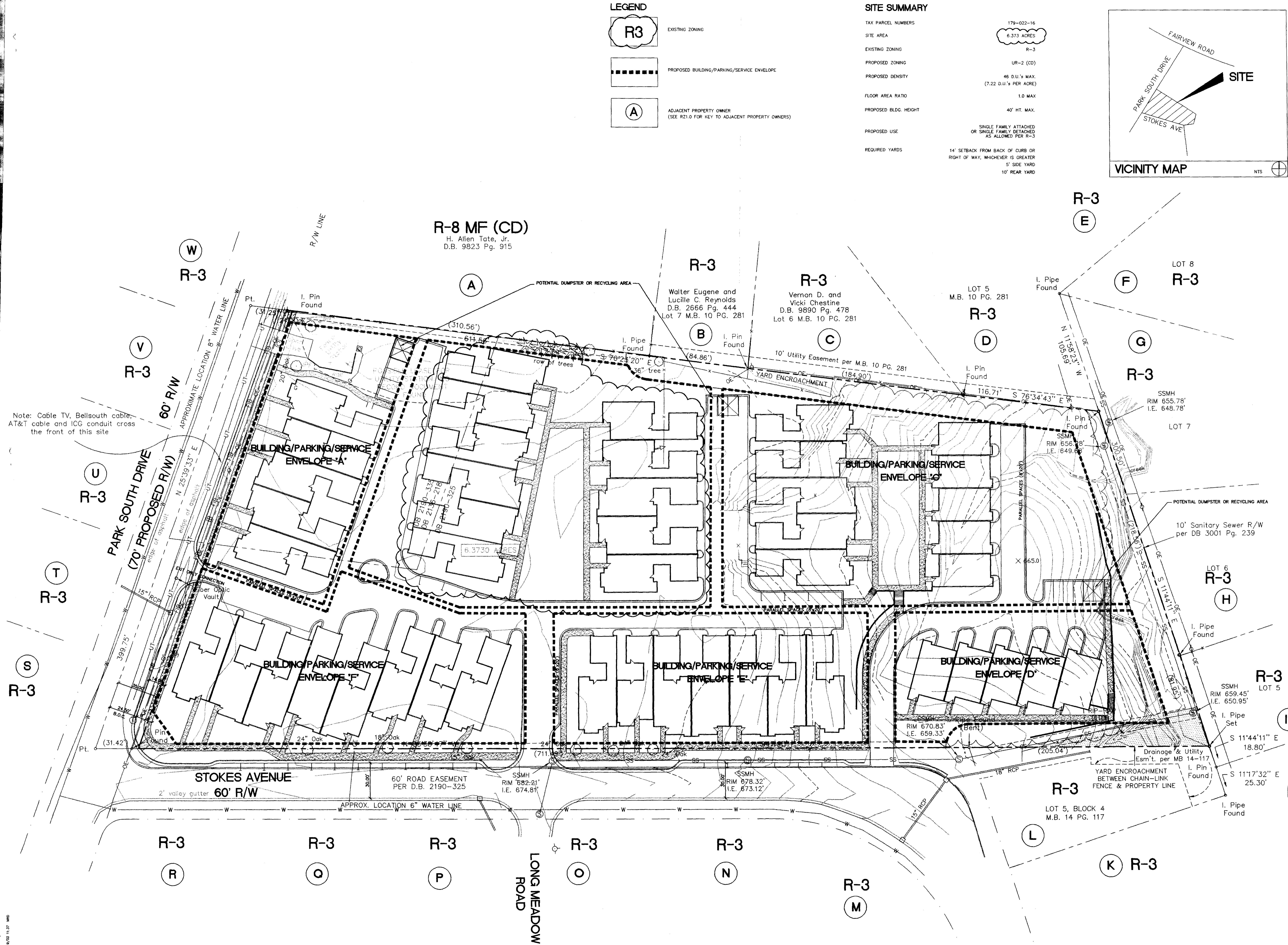
04/03/02	- PER OWNER REVIEW
04/08/02	- PER OWNER REVIEW COMMENTS
04/22/02	- FOR PUBLIC HEARING
05/14/02	- FOR OWNER REVIEW
05/17/02	- REVISED BLDG. CONFIG. / FOR PUBLIC HEARING

APPROVED BY CITY COUNCIL  
DATE 6/17/02



**RZ2.0 of 2**

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Fairhills Development Group, LLC/Park South Rezoning  
*Conceptual/ Illustrative Elevations*

APPROVED BY CITY COUNCIL  
DATE 6/17/02

*For Single Family Attached Residential Townhomes facing Stokes Avenue*

These Conceptual Illustrative Elevations are intended to depict the general conceptual architectural style of the single family attached residential units on the Site as the same face Stokes Avenue. Changes and alterations which do not materially change the overall conceptual architectural style shall be permitted based upon final design/construction drawings. These single family attached residential buildings may employ complimentary differences in color pertaining to the brick, cedar shingle, natural wood siding, roof shingles and/or trim accents. See the Development Standards for additional requirements and rights regarding the development and architectural features of the plan.

