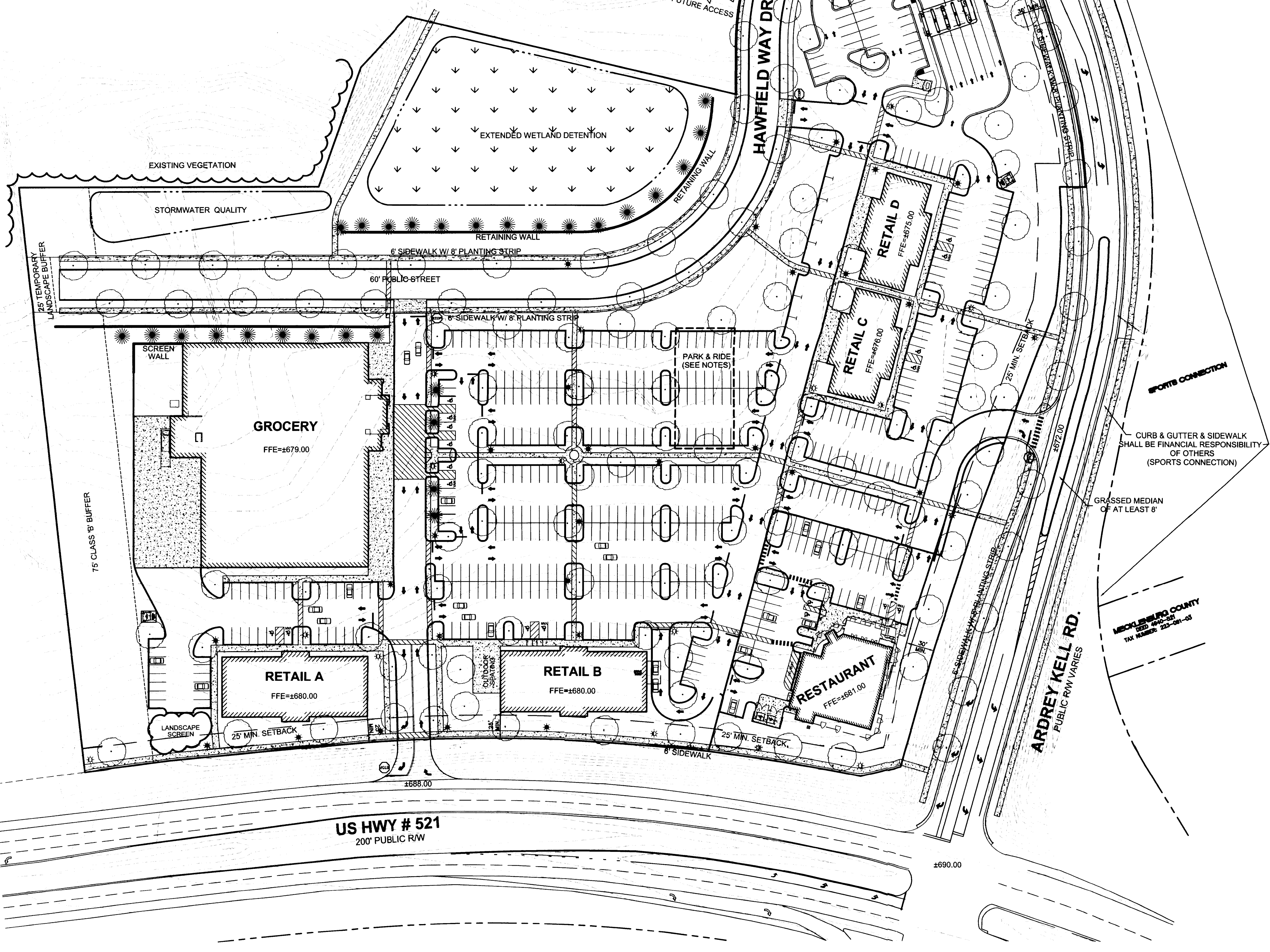
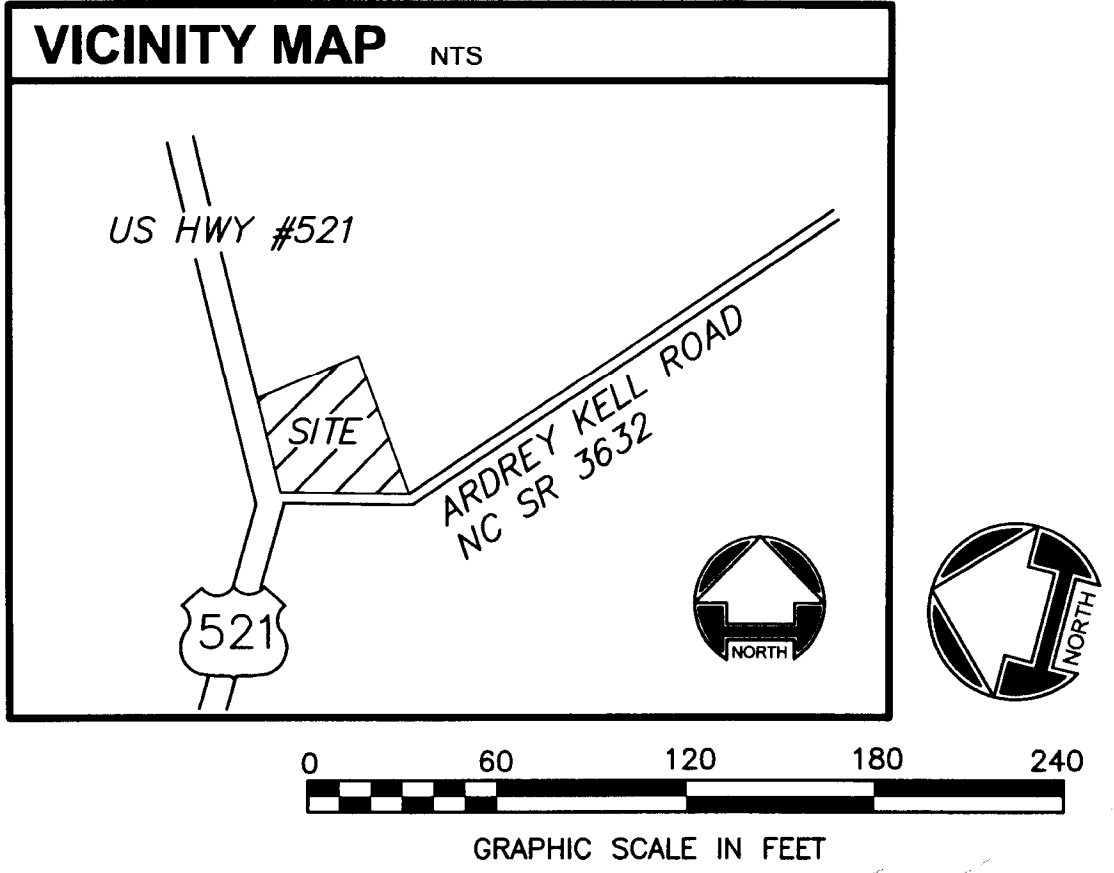


LEGEND

- PROPOSED BUILDINGS
- PROPOSED STREET TREE
- PROPOSED ORNAMENTAL TREE
- PUBLIC STREET R/W
- EXISTING CONTOUR

DEVELOPMENT DATA

TOTAL SITE AREA	18.789 ACRES
EXISTING ZONING	R-3
PROPOSED ZONING	NS
TOTAL COMMERCIAL	97,700 SQ FT
BANK	10,000 SQ FT



DEVELOPMENT STANDARDS

- Development of the site will be controlled by the standards depicted on this site plan and by the standards of the Charlotte Zoning Ordinance. The development depicted on this plan is intended to reflect the arrangement of proposed buildings and uses on the site, but the exact configuration, placement, and size of individual site elements may be altered or modified within the limits prescribed by the ordinance in Section 6.207 during the design development and construction phases.
- Access to the site will be provided by driveway connections to US 521 (Lancaster Highway) and to Ardrey Kell Rd. via a new public street and a driveway as generally depicted on this site plan as well as to other properties through future connections. The Petitioner will install sidewalks as generally depicted on the site plan along the perimeter of the site. Along Ardrey Kell Rd. and US 521 this sidewalk will be 6' in width behind an 8' planting strip. The Petitioner will apply to NCDOT for permission to extend these pedestrian facilities to provide for a pedestrian connection to the Birdhampton community across US 521 from the site, including marked crosswalks and improved sidewalks within the NCDOT right-of-way and the median area. The Petitioner specifically reserves the right under the provisions of the Subdivision Ordinance, to seek relief from the extent and timing of the construction of a portion of the required collector street on the site that would extend to an adjoining tract to the north.
- The proposed use of the site will be for the development of a small neighborhood shopping center and related accessory uses and permanent open space. Uses include neighborhood oriented uses such as a supermarket, small retail services, dry cleaners, personal services, restaurant, or similar uses. The site will be restricted from use as a gas station or any "fast food" restaurant and may specifically include up to two uses with drive through service such as a restaurant, bank, or pharmacy. There will be no direct access from any out parcel to the adjoining public streets. The buildings that may locate separated from the main structure will be designed as part of the overall development in terms of consistent landscaping, signage, and architectural style. More than one use or type of use may locate in any structure on the site. The Petitioner is proposing no specific phasing plan and reserves the right to develop the site on a building by building basis that is responsive to the market demand for various types of tenants. Restaurants may include outdoor seating and this seating will not be counted toward the floor area for the site. Any proposed adjustment of the site plan to accommodate a use such as a bank that is not specifically indicated as part of the plan as submitted, will be reviewed and approved by the Zoning Committee of the Planning Commission.
- All dumpsters will be screened with solid enclosures and gates. Roof top mechanical and HVAC equipment will be screened from view from public streets or adjoining properties. The grocery store loading dock will be screened by a 6' solid wall as generally depicted on the site plan.
- Buffer areas will be developed in accordance with the provisions of the Zoning Ordinance. Required buffers on the site may be eliminated by administrative action if the adjoining parcels are rezoned such that buffers are no longer required. In addition, the Petitioner reserves the right to seek approval of an alternate buffer plan or a variance from the standard buffer provisions in the areas of the site where a lake exists in any of the required buffers.
- The proposed development will comply with all applicable Ordinance requirements for signage, screening, and landscaping. Additional landscaping and tree planting will be provided as generally depicted on the site plan in the numbers and general locations indicated. Nothing in this provision will limit the Petitioner's ability to install additional landscaping, even if not shown on the site plan.
- The Petitioner will construct a collector street through the site as generally depicted on the site plan. This street will include a 6' sidewalk and an 8' planting strip. If any safety rails are required along the sidewalk, the Petitioner will install a decorative rail rather than the City's standard rail. Future access to other properties to the east may also make use of this collector street for access and connectivity to the area street network and to the Petitioner's site.
- The Petitioner will dedicate and/or convey right-of-way sufficient to create 50' of right-of-way measured from the centerline of Ardrey Kell Rd., such dedication and/or conveyance to occur prior to the issuance of a Certificate of Occupancy for the first building on the site. Any such dedication and/or conveyance will take the form of an instrument such as a quitclaim, non-warranty deed with appropriate reversion clause wherein the rights in the property or right of way so dedicated and/or conveyed will revert to the owner of the property without cost should the purpose for which the dedication and/or conveyance no longer exist and the responsible governmental authority abandons its use or need for the property.
- Subject to the review and approval of NCDOT and CDOT, the Petitioner, as part of the development of the site will install the following transportation improvements.
 - Lancaster Highway/Johnston Road (US 521) and Lancaster Highway (SR 4982)
 - Construct an eastbound right turn lane on Lancaster Highway (SR 4982) with a minimum 375 feet of storage and a 20:1 bay taper.
 - Lancaster Highway (US 521) and Ardrey-Kell Road (SR 3632)
 - Extend the existing South bound left turn lane to provide a total of 300' storage and a 15:1 bay taper in the existing median.
 - Construct a westbound right turn lane on Ardrey-Kell Road with a minimum 225 feet of storage and a 20:1 bay taper.
 - Construct 125 feet of additional storage with a 15:1 bay taper and 45:1 through lane taper(s) for the westbound left turn lane on Ardrey-Kell Road for a total storage of 200 feet.
 - Align Ardrey Kell Road and left turn lanes on each side of US Hwy 521 and provide pedestrian crossings at intersection.
 - Ardrey-Kell Road (SR 3632) and Boys Town Road (SR 4024) Proposed Access
 - Construct the southbound Proposed Access in alignment with Boys Town Road to form the fourth leg of the intersection with Ardrey-Kell Road.
 - Construct eastbound left turn lane on Ardrey-Kell Road with 150 feet of storage and a 15:1 bay taper with 45:1 through lane taper(s).
 - Construct southbound left turn lane on Proposed Access with 150 feet of storage and a 15:1 bay taper with 35:1 through lane taper(s).
 - Lancaster Highway (US 521) and Proposed R/I/O Access
 - Construct Proposed Access to serve as a right-in/right-out access location.
 - Construct a northbound right turn lane on Lancaster Highway with 150 feet of storage and a 20:1 bay taper.

Sweat Engineering & Consulting LLC

Site Design
Civil Engineering
CAD Consulting & Programming

805-571-5887
1410 Woodburn Drive
Rock Hill, SC 29732
swear@compulink.net

REVISIONS

NO.	DATE	DESCRIPTION	REVISED PER STAFF COMMENTS	REVISED PER STAFF COMMENTS
1	1/28/2005			
2	5/5/2005			
3	12/4/2006			
4	2/21/2007			
5	10/20/2008			

PREPARED FOR:

BEN HAWFIELD
100 North Tryon Street
Charlotte, NC 28202

HAWFIELD CORNERS

LOCATED IN THE CITY OF CHARLOTTE
MECKLENBURG COUNTY, NORTH CAROLINA

REZONING PLAN

PROJECT TITLE:

DATE: 2005-29

BY: DEBRA D. CAMPBELL

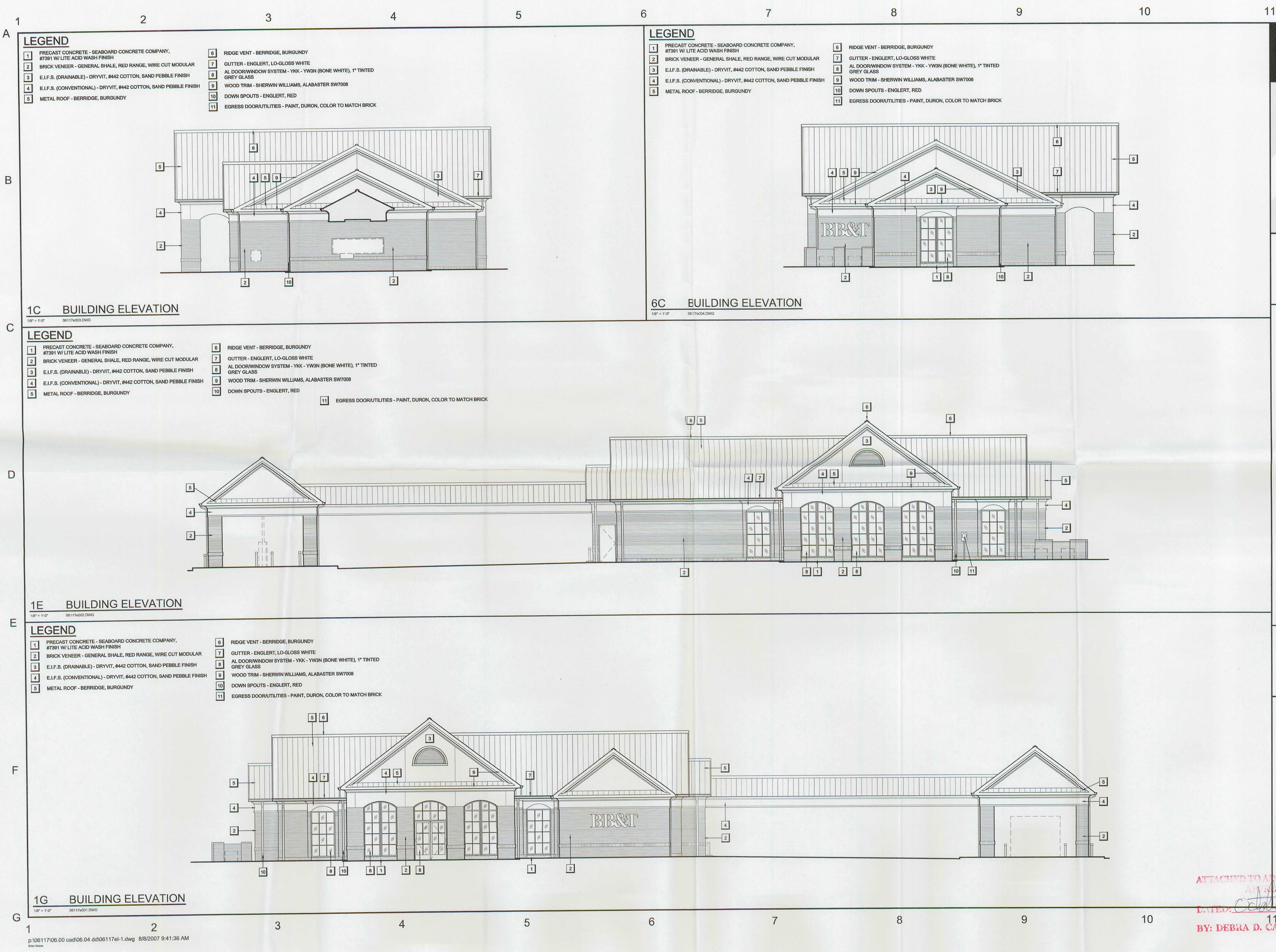
MECKLENBURG COUNTY
223-081-03
TAX NUMBER: 223-081-03

DATE: 02/18/2005

PROJECT NO.: 0503

SHEET NO.: 21

L:\sweat_engineering & consulting\PROJECTS\ARCHIVE\0503_HAWFIELD\rezoning exhibits\0503REZONE\HEAD\H4.dwg, Plotted: Oct 20, 2008 - 6:32pm



LAMBERT
2400 Reynolds Road
Suite 202
Winston-Salem, NC 27106
Phone: 336.777.3857
Fax: 336.777.3858
www.lambert.com

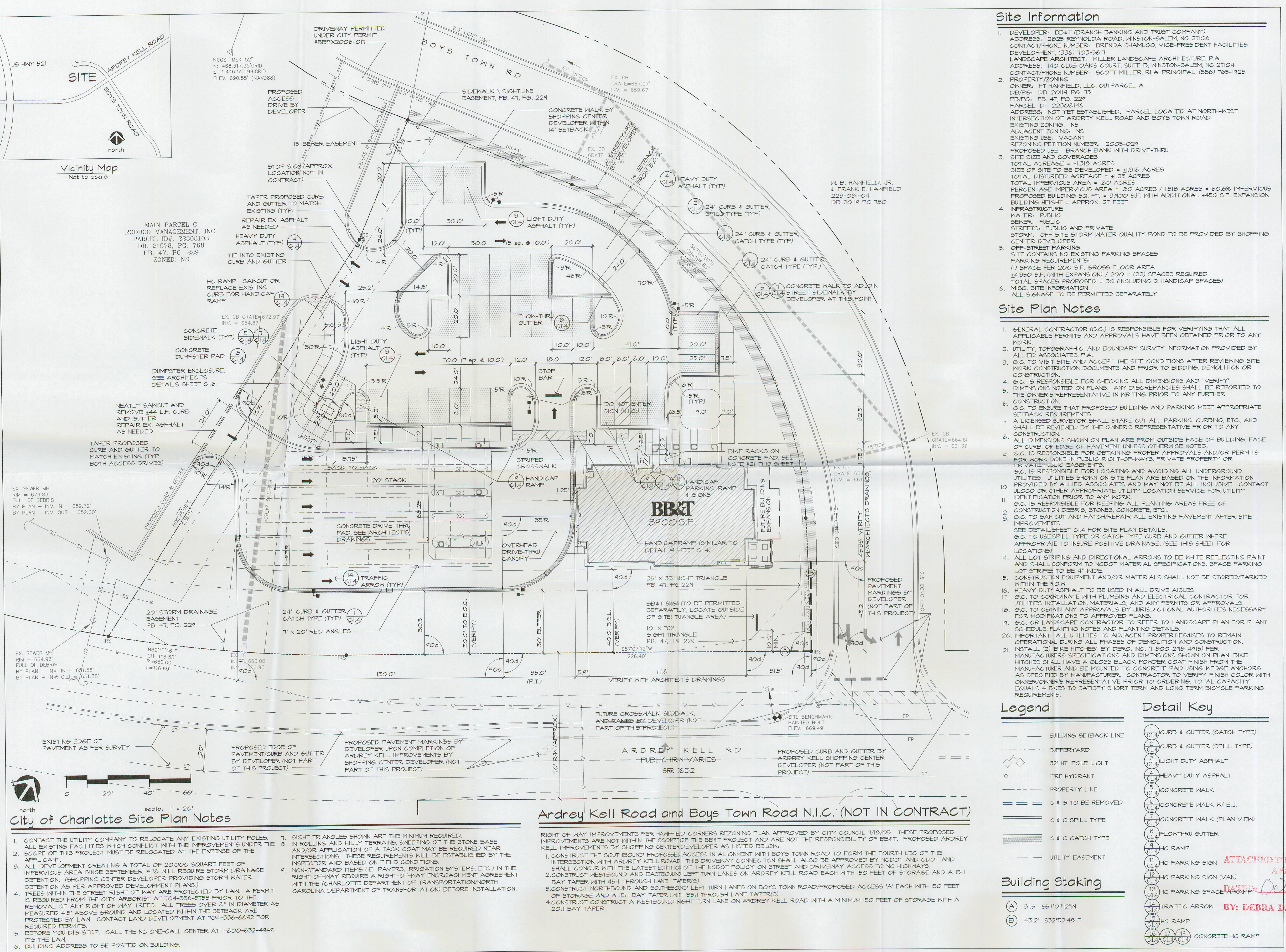
BB&T
BRANCH BANK
THE SHOPRES @ ARDREY KELL
CHARLOTTE, NC
TRACKING #: 06-NC-0147-00

OWNER REVIEW
PRELIMINARY DOCUMENTS
DESIGN DOCUMENTS
PERMITTING DOCUMENTS
CONSTRUCTION DOCUMENTS
RECORD DOCUMENTS

REVISIONS:

JOB NO: 06117
SHEET: EL-1
DATE: 2008
DRAWN BY: DEBRA D. CAMPBELL
BY: DEBRA D. CAMPBELL

ATTACHED TO ADMINISTRATION
DATE: 2008
DRAWN BY: DEBRA D. CAMPBELL
BY: DEBRA D. CAMPBELL



MILLER LANDSCAPE ARCHITECTURE
TURNING LAND INTO LANDMARKS
160 Club Oaks Court, Suite B
Winston-Salem, NC 27104
(336) 783-1923
Fax: (336) 783-5833
mla@millers.com

BB&T
Branch Bank
16704 Hawfield Way Drive
Charlotte, North Carolina

Date: 14 December 2007
For Permitting

Revisions:

3/12/08	Per City Comments
1/25/08	Per City Comments
8/6/08	County Permitting

Drawn By: PJF
Checked By: GSM
Project #:

Sheet Title: ATTACHED TO SITES PLAN
DATE: 08/29/2008
BY: DEBRA D. CAMPBELL

Sheet C1.1 of 7

CHARLOTTE - MECKLENBURG
PLANNING COMMISSION

INTER - OFFICE COMMUNICATION

DATE: October 30, 2008



FROM: Debra Campbell
Planning Director

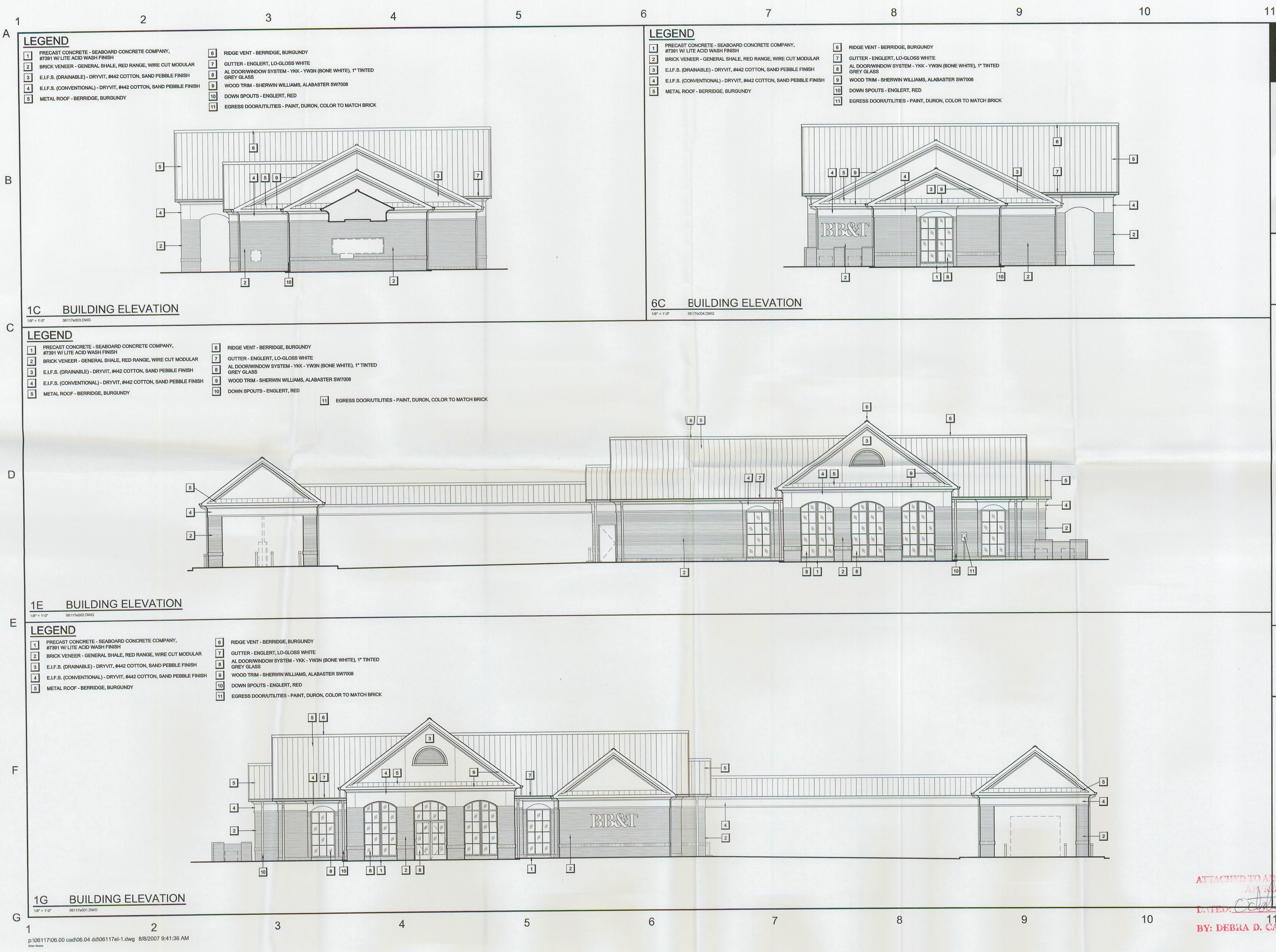
TO: Gary Huss
Zoning Coordinator

SUBJECT: Administrative Approval for Petition No. 2005-029 by William B. Hawfield, Jr. and Frank E. Hawfield

Attached is a revised plan for the above petition. The plan has been revised to show the location of a Bank on the site. The conditional plan required the Zoning Committee to approve this Bank. The Zoning Committee approved the attached site plan on October 29, 2008. Please use this plan when evaluating requests for building permits and certificates of occupancy.

Note all other ordinance requirements still apply.





LAMBERT

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BB&T

BRANCH BANK
THE SHOPRES @ ARDREY KELL
CHARLOTTE, NC
TRACKING #: 06-NC-0147-00

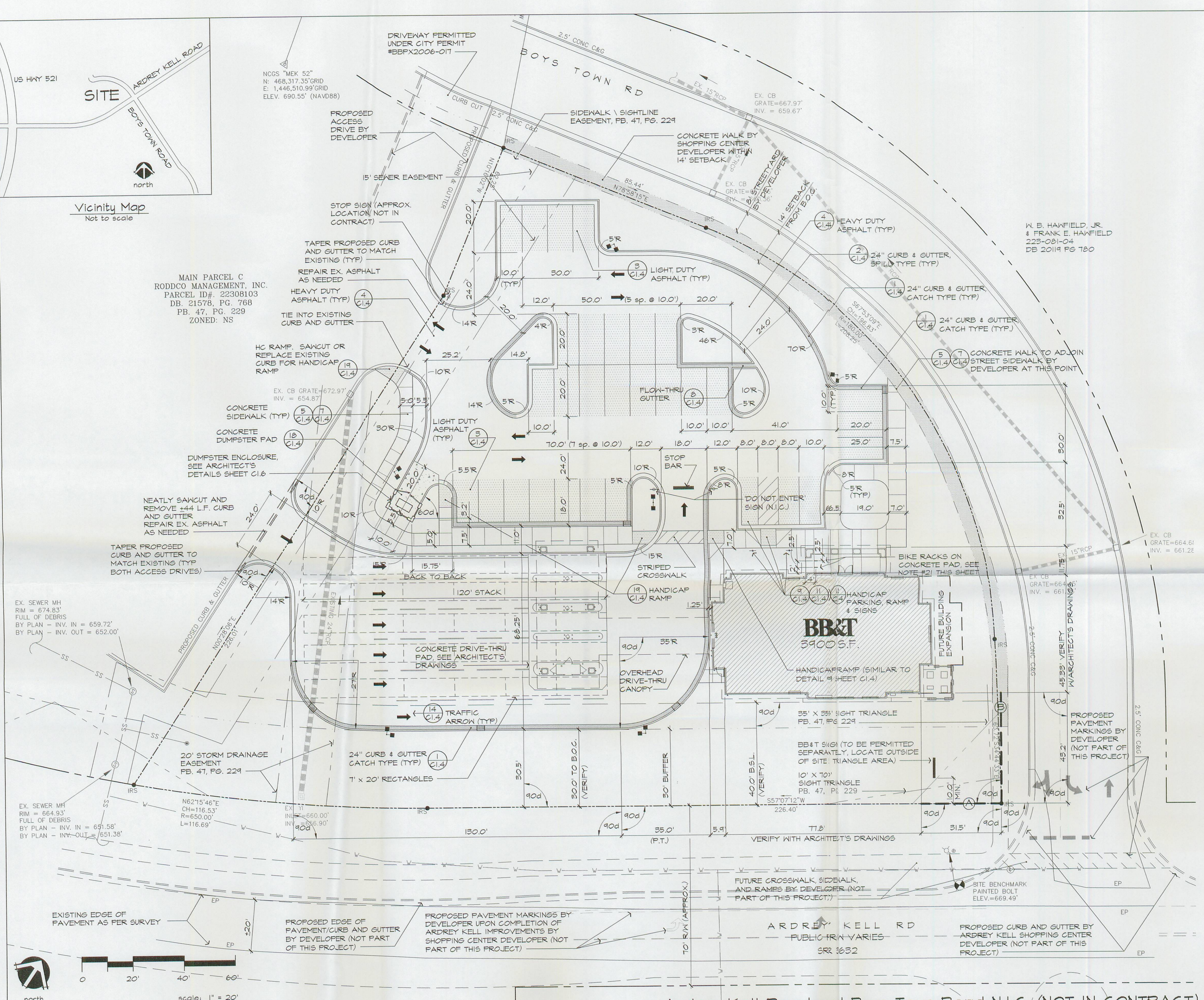
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BD DOCUMENTS
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RECORD DOCUMENTS

REVISIONS:

JOB NO: 06117
SHEET: EL-1

DATE: 2/20/08
DRAWN BY: DEBRA D. CAMPBELL
BY: DEBRA D. CAMPBELL

ATTACHED TO ADMINISTRATION



MILLER LANDSCAPE ARCHITECTURE

TURNING LAND INTO LANDMARKS

160 Club Oaks, Suite B
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BB&T
Branch Bank
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Date: 14 December 2007
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Revisions:

3/12/08	Per City Comments
1/25/08	Per City Comments
2/6/08	County Permitting

Drawn By: PJF
Checked By: GSM
Project #:

Sheet Title: **ATTACHED TO ADMINISTRATION**
APPROVAL
DATE: 2/20/08
BY: DEBRA D. CAMPBELL

Sheet C1.1 of 7

City of Charlotte Site Plan Notes

- CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
- ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION. (SHOPPING CENTER DEVELOPER PROVIDING STORM WATER DETENTION AS PER APPROVED DEVELOPMENT PLANS).
- TREES WITHIN THE STREET RIGHT-OF-WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT 104-356-5789 PRIOR TO THE REMOVAL OF ANY RIGHT-OF-WAY TREES. ALL TREES OVER 8" IN DIAMETER AS MEASURED 45' ABOVE GROUND AND LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT 104-356-6642 FOR REQUIRED PERMITS.
- BEFORE YOU DIG STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4444. IT'S THE LAW.
- BUILDING ADDRESS TO BE POSTED ON BUILDING.
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- IN ROLLING AND HILLY TERRAINS, SHEETING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- NON-STANDARD ITEMS (IE. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION.
- CONSTRUCT A WESTBOUND RIGHT TURN LANE ON ARDREY KELL ROAD WITH A 20' BAY TAPER.
- CONSTRUCT A WESTBOUND RIGHT TURN LANE ON BOYS TOWN ROAD TO FORM THE FOURTH LEG OF THE INTERSECTION WITH ARDREY KELL ROAD. THIS DRIVEWAY CONNECTION SHALL ALSO BE APPROVED BY NC DOT AND GDOT AND SHALL CONFORM WITH THE LATEST EDITION OF THE NC DOT POLICY ON STREET AND DRIVEWAY ACCESS TO NC HIGHWAYS.
- CONSTRUCT WESTBOUND AND EASTBOUND LEFT TURN LANES ON ARDREY KELL ROAD EACH WITH 150 FEET OF STORAGE AND A 15' BAY TAPER WITH 55' THROUGH LANE TAPER(S).
- CONSTRUCT NORTHBOUND AND SOUTHBOUND LEFT TURN LANES ON BOYS TOWN ROAD/PROPOSED ACCESS 'A' EACH WITH 150 FEET OF STORAGE AND A 15' BAY TAPER WITH 55' THROUGH LANE TAPER(S).
- CONSTRUCT A WESTBOUND RIGHT TURN LANE ON ARDREY KELL ROAD WITH A MINIMUM 150 FEET OF STORAGE WITH A 20' BAY TAPER.

Ardney Kell Road and Boys Town Road N.I.C. (NOT IN CONTRACT)

RIGHT OF WAY IMPROVEMENTS PER HAWFIELD CORNERS REZONING PLAN APPROVED BY CITY COUNCIL 1/8/05. THESE PROPOSED IMPROVEMENTS ARE NOT WITHIN THE SCOPE OF THE BB&T PROJECT AND ARE NOT THE RESPONSIBILITY OF BB&T. PROPOSED ARDREY KELL IMPROVEMENTS BY SHOPPING CENTER DEVELOPER AS LISTED BELOW.

- CONSTRUCT THE SOUTHBOUND PROPOSED ACCESS IN ALIGNMENT WITH BOYS TOWN ROAD TO FORM THE FOURTH LEG OF THE INTERSECTION WITH ARDREY KELL ROAD. THIS DRIVEWAY CONNECTION SHALL ALSO BE APPROVED BY NC DOT AND GDOT AND SHALL CONFORM WITH THE LATEST EDITION OF THE NC DOT POLICY ON STREET AND DRIVEWAY ACCESS TO NC HIGHWAYS.
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- CONSTRUCT A WESTBOUND RIGHT TURN LANE ON ARDREY KELL ROAD WITH A MINIMUM 150 FEET OF STORAGE WITH A 20' BAY TAPER.