

This Master Signage Plan is submitted by the Developer to indicate proposed Site and Building Signage for Grande Promenade Village as noted under Rezoning Petition No. 2005-031 filed with the City of Charlotte, North Carolina

- Revisions:
- Revised 11-04-2005
 - Revised 11-10-2005
 - Revised 11-16-2005



Grande Promenade Village
Charlotte
North Carolina

Project Number: 01011.00
Issued For: CADD

DRAWING TITLE
MASTER SIGNAGE PLAN

SHEET NUMBER
MSP.100

LEGEND

- Developer Shopping Center**
Detached Identification Pylons Signs
Sized per Zoning TDP Petition 2005-031
Signs to be internally or externally illuminated.
- Shopping Center Name ID Signs**
Attached to Building
Sized per City of Charlotte CC Zoning
Signs to be internally or externally illuminated.
- Tenant Signs**
Sized by Tenant wall size exposure per City of Charlotte CC Zoning
-Attached to Wall face.
-These signs may take several forms from individual letters, single face signs, logos, blade type signs, etc.
-Signs to be internally or externally illuminated.
- Directionals**
-Directionals
- Regulatory Signs**
Stop Signs, etc.

Note:
Projecting Signs are indicated on the examples for Tenant Signs. They shall comply with Charlotte Code Section 13.106a(2) stating:

(2) Projecting Signs
A projecting sign shall be permitted, provided:

(a) A projecting sign shall be allowed to project up to 4 feet into the required setback as measured from the back of the curb. Under no circumstance shall a sign project more than 6 feet from the building face. These requirements shall not apply to an existing building that already encroaches into the required setback. Such a non-conforming building shall be permitted to have a projecting sign that does not project more than 4 feet from the building face into the setback, and shall not be any closer than 2 feet from the face of existing curb. The maximum area of a projecting sign shall be 75 square feet.
(Petition No. 2002-147, § 13.106a(2)(a), 1-21-03)

If the projecting sign extends into the public street right-of-way, an encroachment agreement from the Charlotte Department of Transportation (CDOT) and, if applicable, the North Carolina Department of Transportation (NCDOT) is required.

Contact CDOT for information concerning cost, submittal, and liability insurance coverage requirements.

Through the right of way encroachment process CDOT will review the sign location and design to determine whether the sign can be installed/uninstalled in a manner that will not adversely affect public safety.

(b) A projecting sign shall not extend vertically above the roofline or parapet wall of a building; and

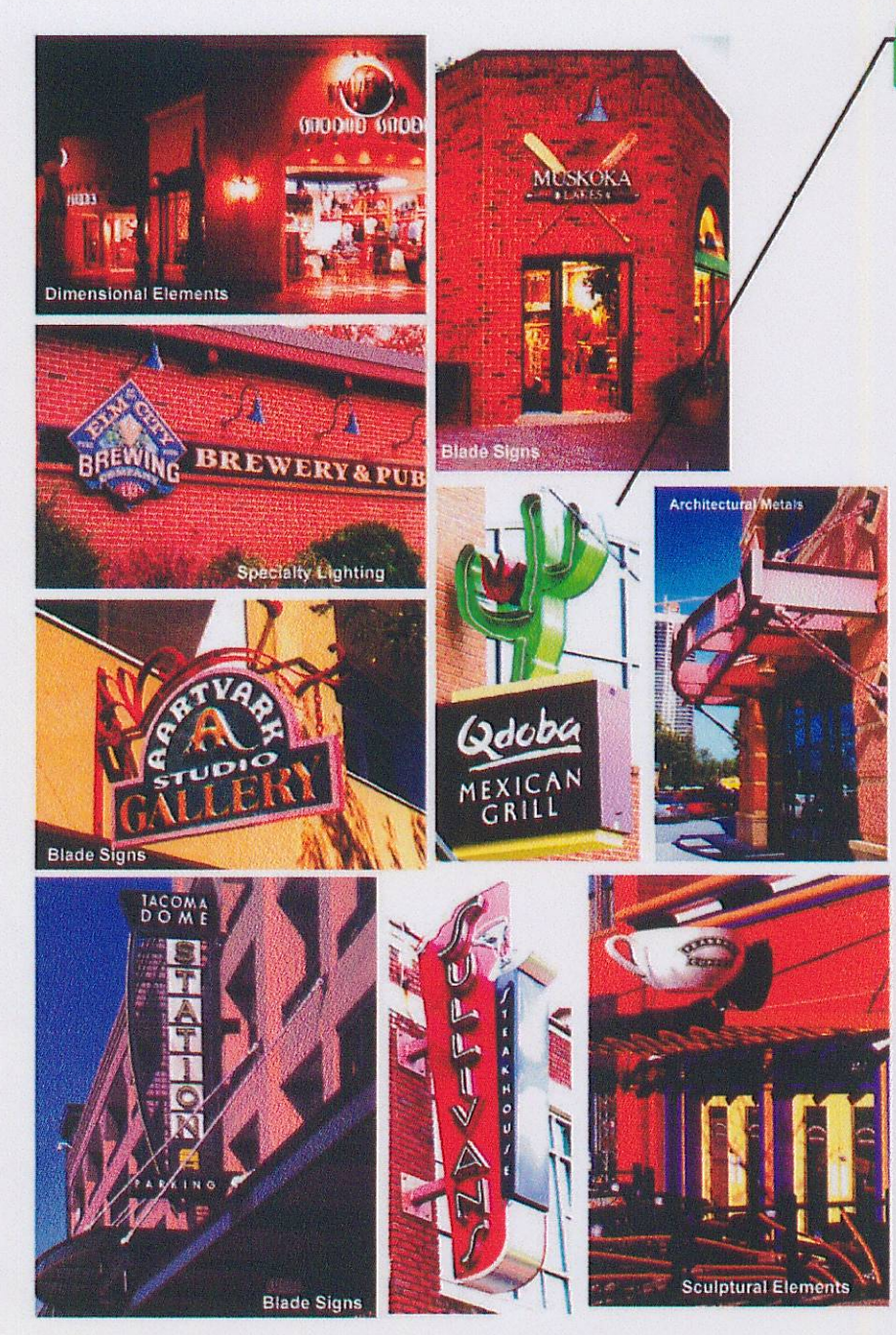
(c) The minimum height from grade to the lowest edge of a projecting sign shall be 9 feet.

(3) A projecting sign, wall sign, or combination of both may be located on any building wall of a structure so long as the maximum sign surface area of all signs on one wall does not exceed 10% of the area of the building wall to which the sign or signs are attached up to a maximum of 200 square feet.

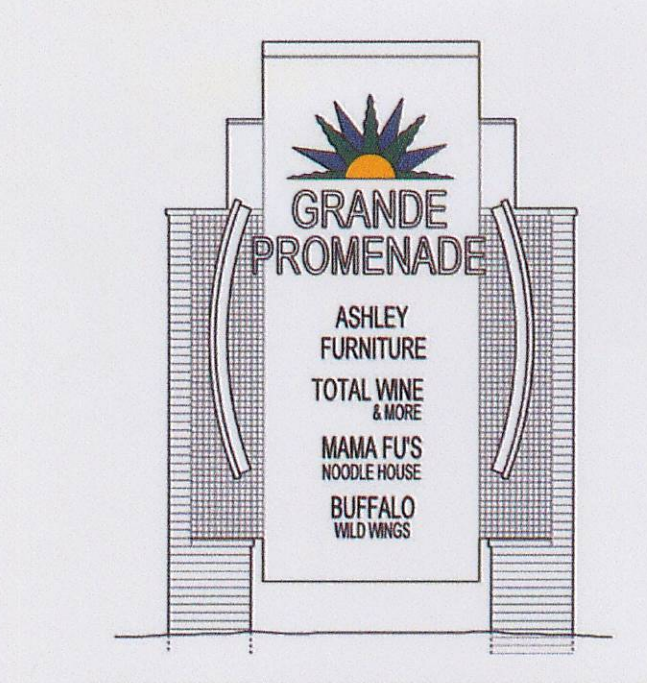
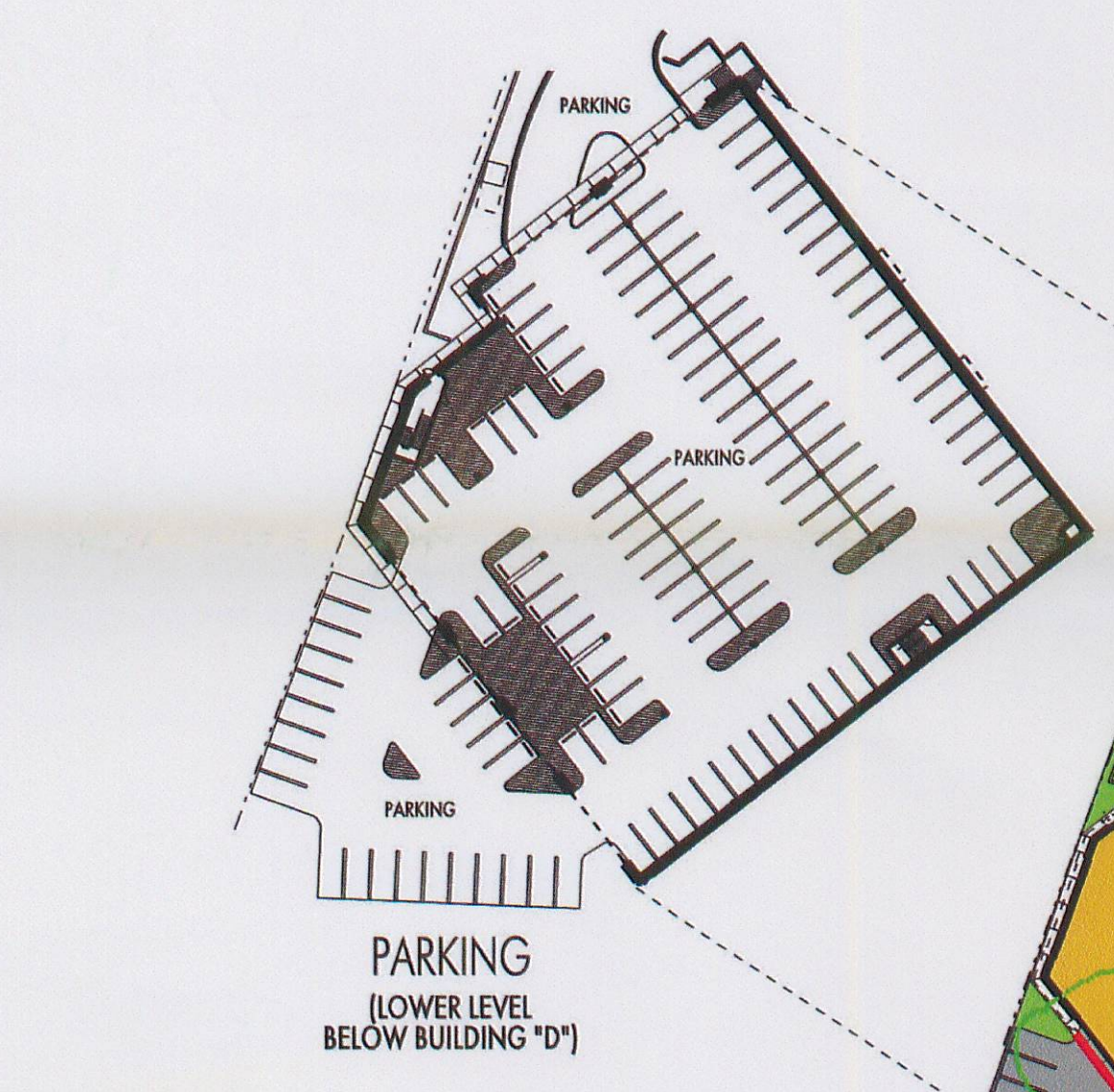
(4) The maximum allowable sign area per wall shall not be transferable to another wall.

(5) The total area of wall and projecting signs may be increased by 10% if no detached sign is used on the premises;

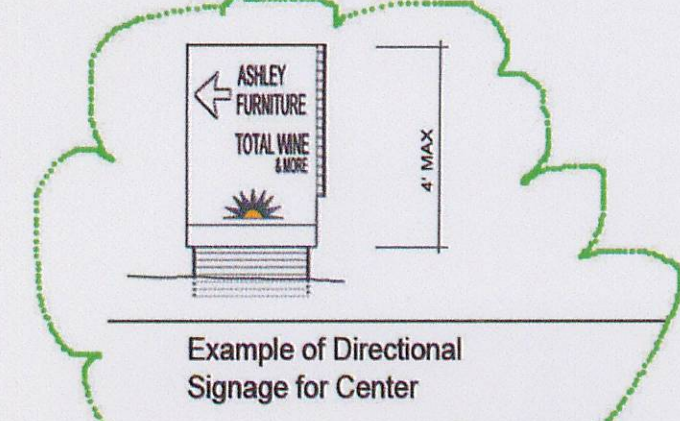
(6) Lamps and fixtures used to illuminate a projecting sign shall not project into the required setback as measured from the back of curb and shall have a minimum clearance of 10 feet from grade.
(Petition No. 2002-147, § 13.106a(1)(g), 1-21-03)



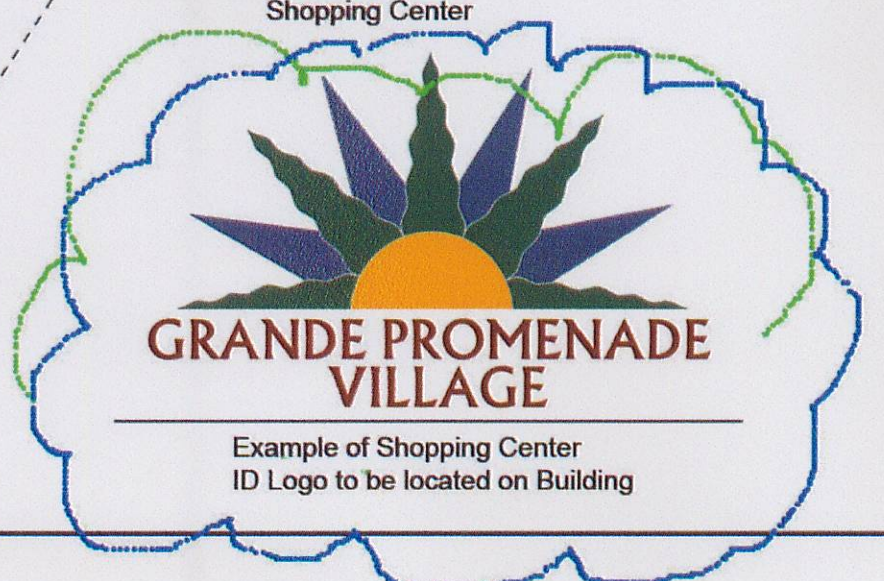
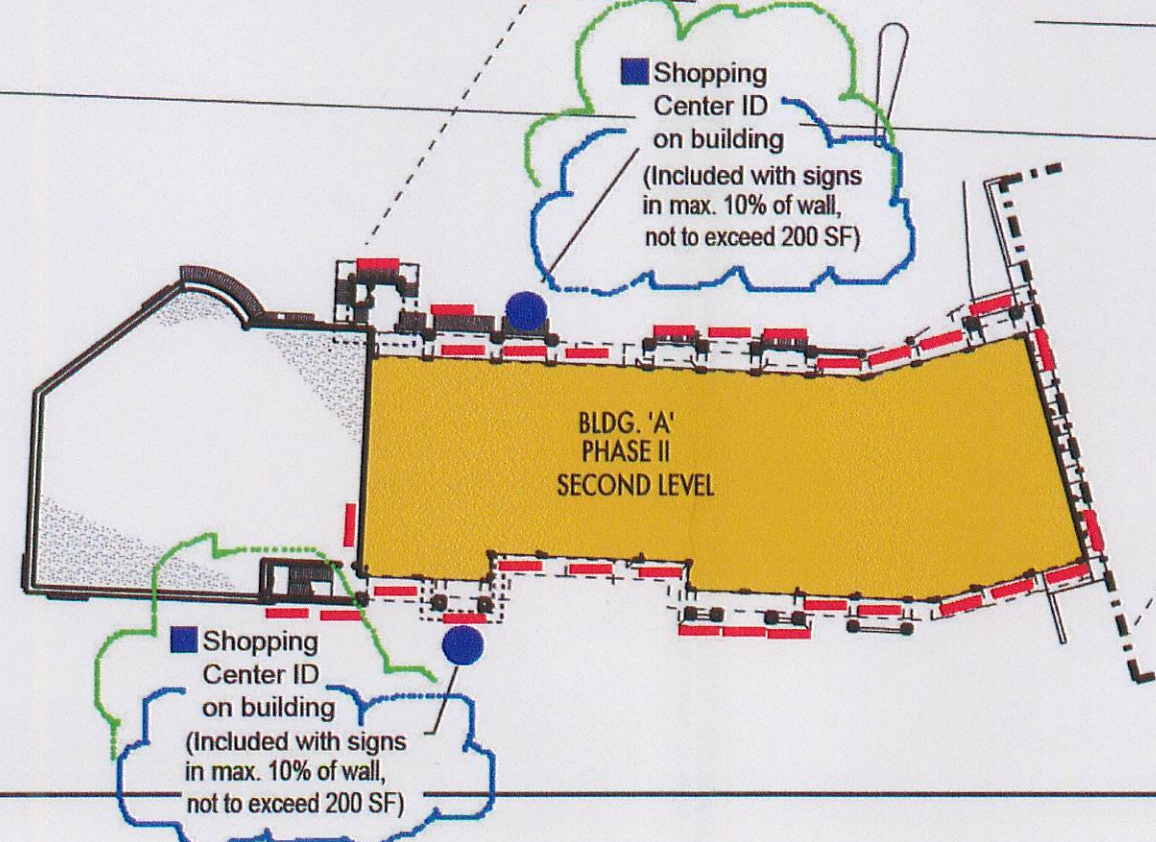
Examples of Tenant Signage encouraged by Developer's Signage Criteria for Tenants (Must comply with City of Charlotte Sign Ordinance)



Example of Developer Shopping Center ID Signage
Reference Rezoning Petition 2005-031
Sheet RZ-1



Example of Directional Signage for Center



Example of Shopping Center ID Logo to be located on Building



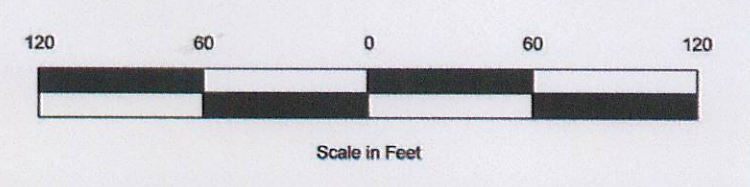
NOTES from Zoning Petition 2005-31

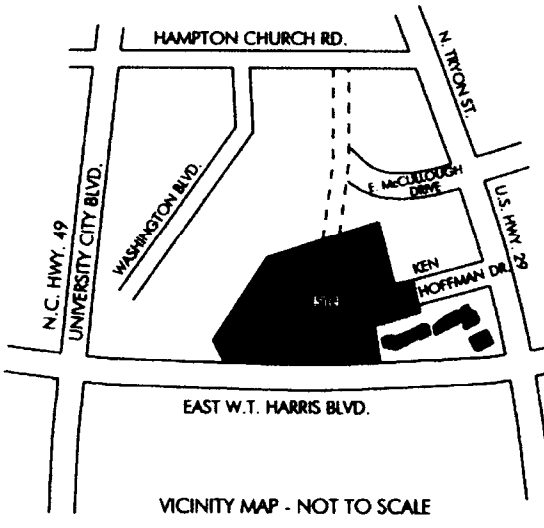
- 12.3. Signage for the Site. A coordinated and well-designed signage system will be developed for the Site. Detached project and tenant identification signage may be installed on those architectural monuments located throughout the Site generally as depicted on Sheet RZ-2 of the Technical Data Sheet. The size and number of attached and detached signs for building walls facing East W.T. Harris Boulevard, and other building walls associated with tenants having 10,000 square feet or more of gross floor area (up to a maximum of five (5) such tenants), shall be as allowed for a shopping center in a CC district as per Section 13.106 and Section 13.109(4)(b) and as modified by the Planned Development Flexibility Option in Section 13.110(2). The master signage system will accommodate up to three detached signs per street frontage. Detached signs shall not exceed 16 feet in height. The Petitioner reserves the right to pursue a variance from the City of Charlotte Zoning Board of Adjustment to allow for architectural monument sign #9 as generally depicted on Sheet RZ-2 of the Technical Data Sheet. The design of the Architectural Monument Signs shall be substantially similar to the elevations and plans set forth on RZ 2.
13. SIGNAGE AMENDMENT TO PHASE I PETITION NO. 99-98
[Intentionally Omitted - See Petition No. 99-98, as amended by Petition No. 01-79]

NOTE:
Grande Promenade (existing buildings and signage) are not part of this Signage Master Plan

Master Signage Plan

GRANDE PROMENADE VILLAGE - SITE PLAN - PHASE TWO





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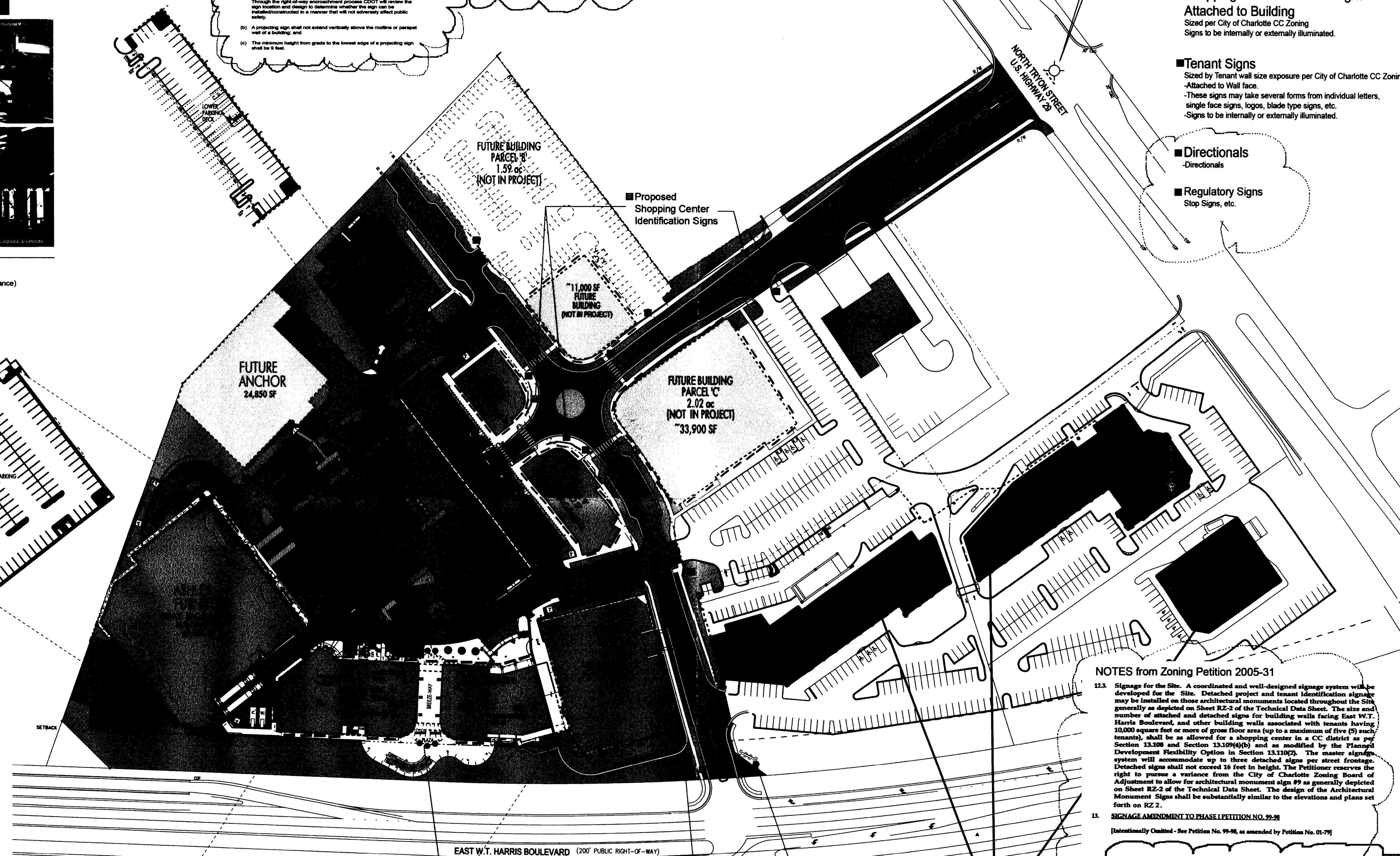
Examples of Tenant Signage encouraged by Developer's Signage Criteria for Tenants (Must comply with City of Charlotte Sign Ordinance)

Note: Projecting Signs are indicated on the examples for Tenant Signs. They shall comply with Charlotte Code Section 13.106a(2) stating:

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- If the projecting sign extends into the public street right-of-way, an encroachment agreement from the Charlotte Department of Transportation (CDOT) and if applicable, the North Carolina Department of Transportation (NCDOT) is required. Contact CDOT for information concerning cost, submital, and liability insurance coverage requirements. Through the right-of-way encroachment process CDOT will review the sign location and design to determine whether the sign can be installed/relocated in a manner that will not adversely affect public safety.
- A projecting sign shall not extend vertically above the roofline or parapet level of a building; and
- The minimum height from grade to the lowest edge of a projecting sign shall be 9 feet.

- A projecting sign, wall sign, or combination of both may be located on any building wall of a structure so long as the maximum sign surface area of all signs on one wall does not exceed 10% of the area of the building wall to which the sign or signs are attached up to a maximum of 200 square feet.
- The maximum allowable sign area per wall shall not be transferable to another wall.
- The total area of wall and projecting signs may be increased by 10% if no detached sign is used on the premises;
- Large and feature used to illustrate a projecting sign shall not project into the required setback as measured from the back of curb and shall have a minimum clearance of 10 feet from grade. (Petition No. 2005-147, § 13.106a(2)(B), 1-21-03)



NOTES from Zoning Petition 2005-31

- Signage for the Site. A coordinated and well-designed signage system will be developed for the Site. Detached project and tenant identification signage may be installed on those architectural monuments located throughout the Site generally as depicted on Sheet RZ-2 of the Technical Data Sheet. The size and number of attached and detached signs for building walls facing East W.T. Harris Boulevard, and other building walls associated with tenants having 10,000 square feet or more of gross floor area (up to a maximum of five (5) such tenants), shall be as allowed for a shopping center in a CC district as per Section 13.108 and Section 13.109(4)(b) and as modified by the Planned Development Flexibility Option in Section 13.110(3). The master signage system will accommodate up to three detached signs per street frontage. Detached signs shall not exceed 16 feet in height. The Petitioner reserves the right to pursue a variance from the City of Charlotte Zoning Board of Adjustment to allow for architectural monument sign #9 as generally depicted on Sheet RZ-2 of the Technical Data Sheet. The design of the Architectural Monument Signs shall be substantially similar to the elevations and plans set forth on RZ 2.
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