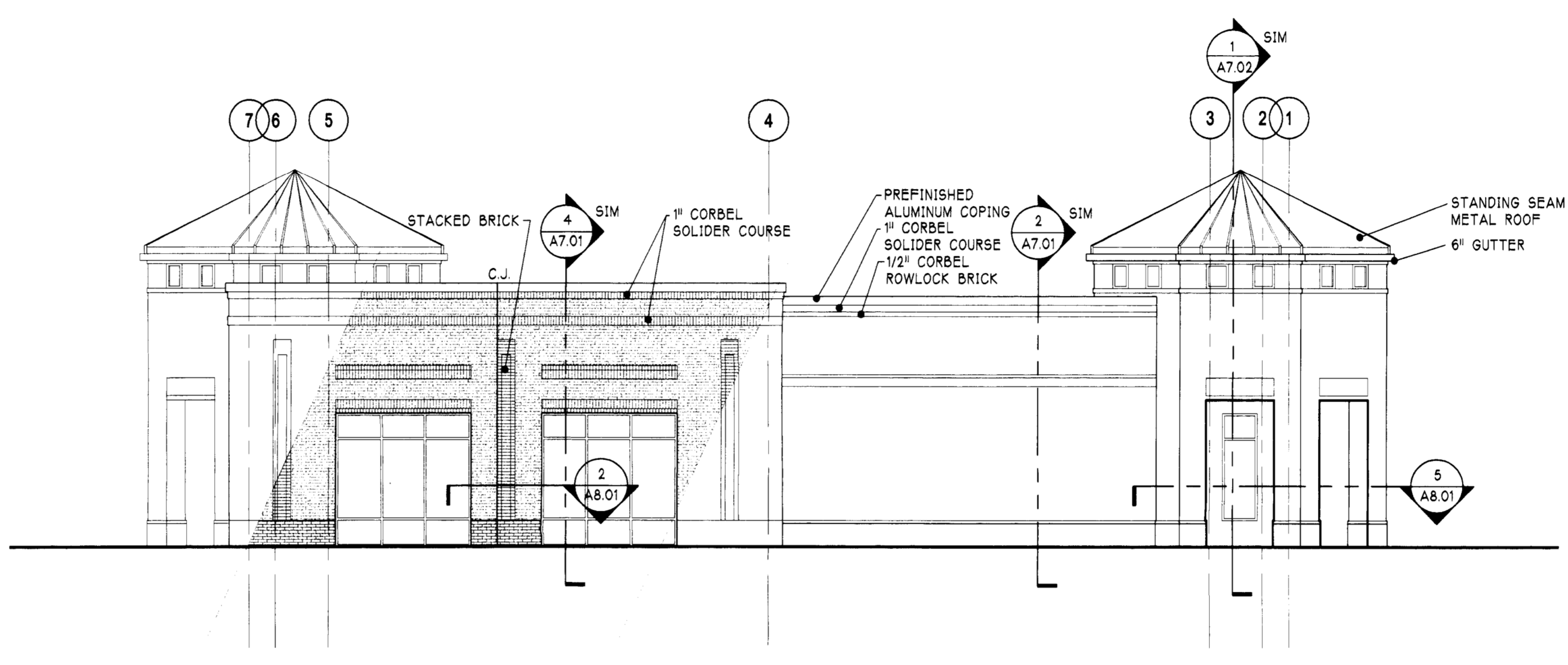
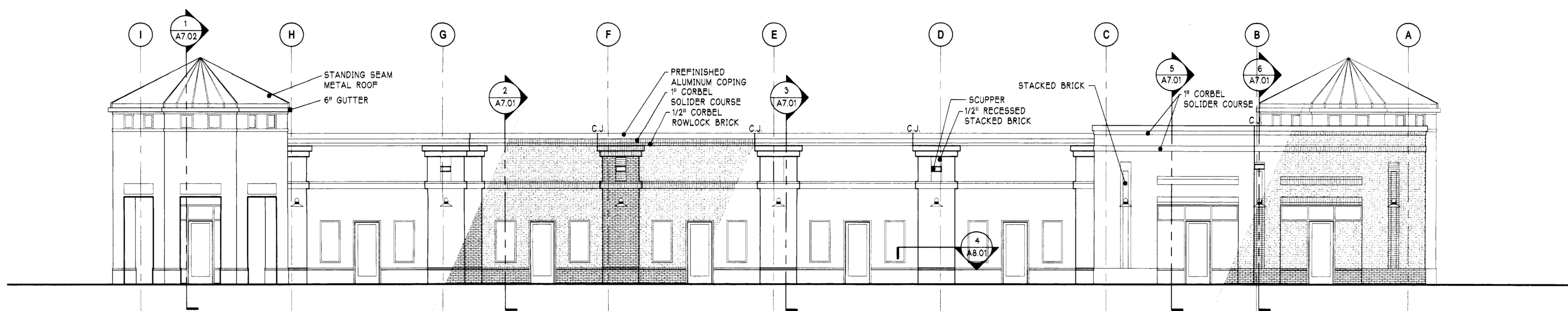


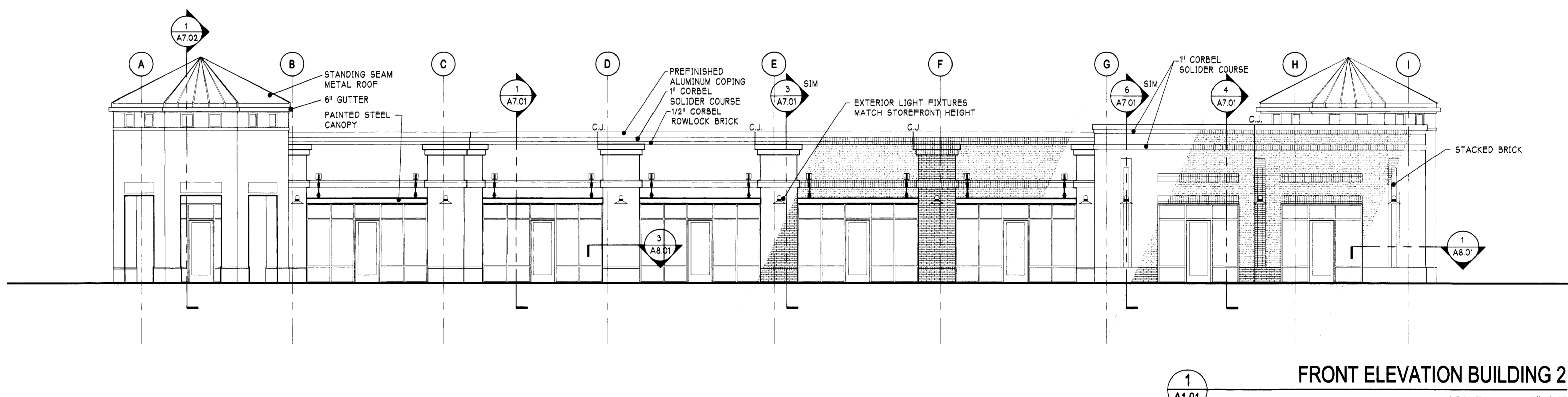
1  
A1.01 SIDE ELEVATION BUILDING 2  
SCALE: 1/8"=1'-0"



1  
A1.01 SIDE ELEVATION BUILDING 2  
SCALE: 1/8"=1'-0"



3  
A1.01 REAR ELEVATION BUILDING 2  
SCALE: 1/8"=1'-0"



1  
A1.01 FRONT ELEVATION BUILDING 2  
SCALE: 1/8"=1'-0"

**Arwood Retail Building 2**

CHARLOTTE, NORTH CAROLINA

PROJECT | 06MFP260  
DATE | 03.08.07  
DRAWN | ESD, EDC & DLS  
PATH |

copyright © BB+M ARCHITECTURE, PLLC 2007

REVISIONS

NUMBER	DATE	COMMENT

**ELEVATIONS BUILDING 2**

ATTACHED TO ADMINISTRATIVE APPROVAL

DATED: Nov 5, 2007

BY: DEBRA D. CAMPBELL

**A4.01**

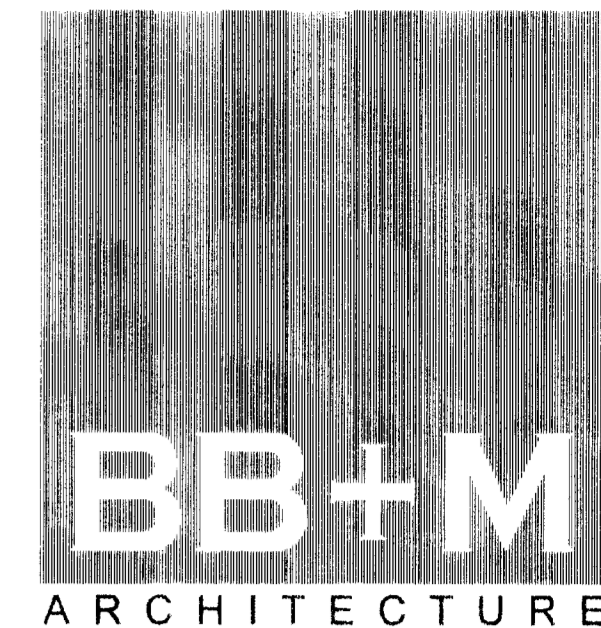
**CHARLOTTE - MECKLENBURG PLANNING COMMISSION**  
INTER - OFFICE COMMUNICATION

DATE: June 5, 2007  
FROM: Debra Campbell  
Planning Director  
TO: Gary Huss  
Zoning Coordinator

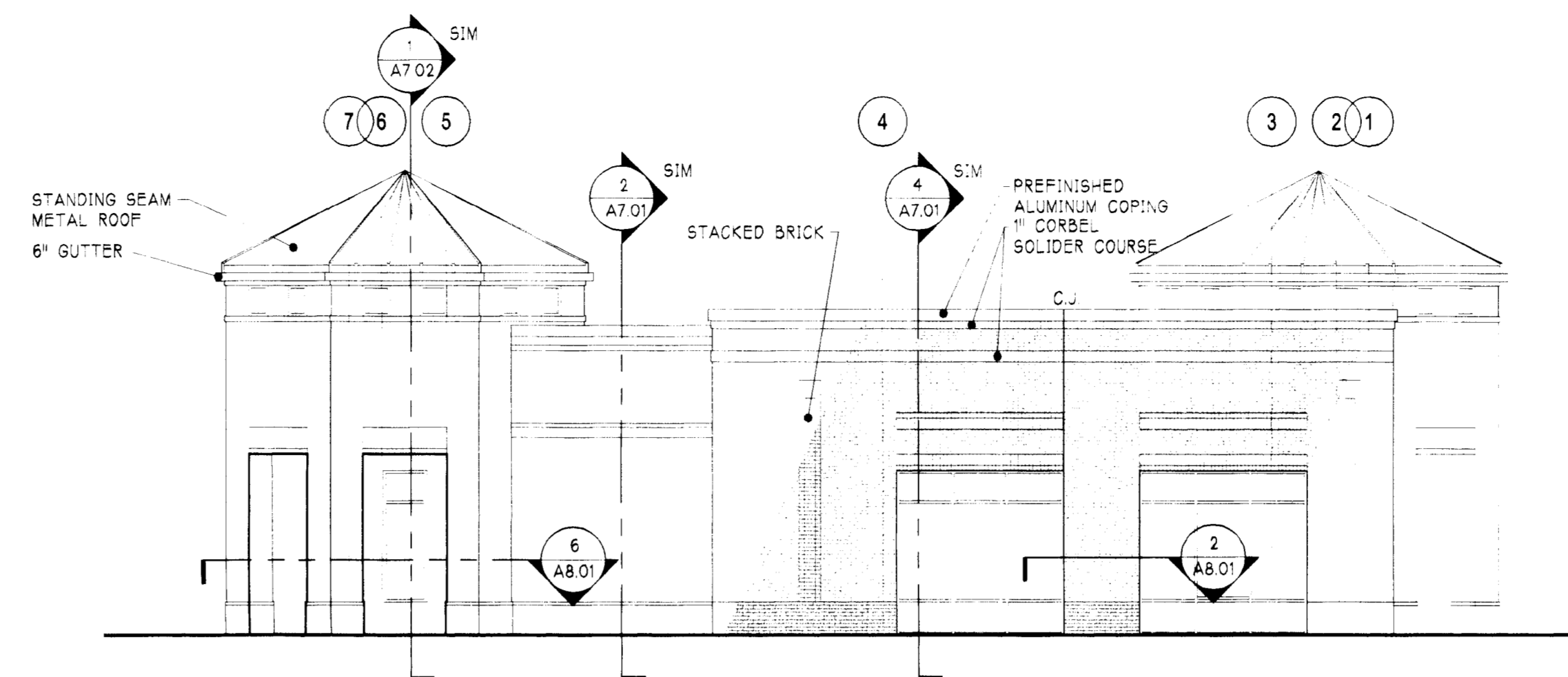
SUBJECT: Administrative Approval for Petition No. 2006-14 by Merrifield Partners LLC. Building 2 and 3 located on Parcel 1 Only.

Attached is a specific plan showing the layout of parcel 1 on the above rezoning petition along with elevations for buildings 2 and 3 located. The conditional plan required that the Planning Commission Staff approve all specific building plans for parcel 1. Since these plans meet the conditional plan requirements, I am administratively approving these plans. Please use the attached plans and elevations when evaluating requests for building permits and certificates of occupancy.  
Note that all other ordinance requirements still apply.

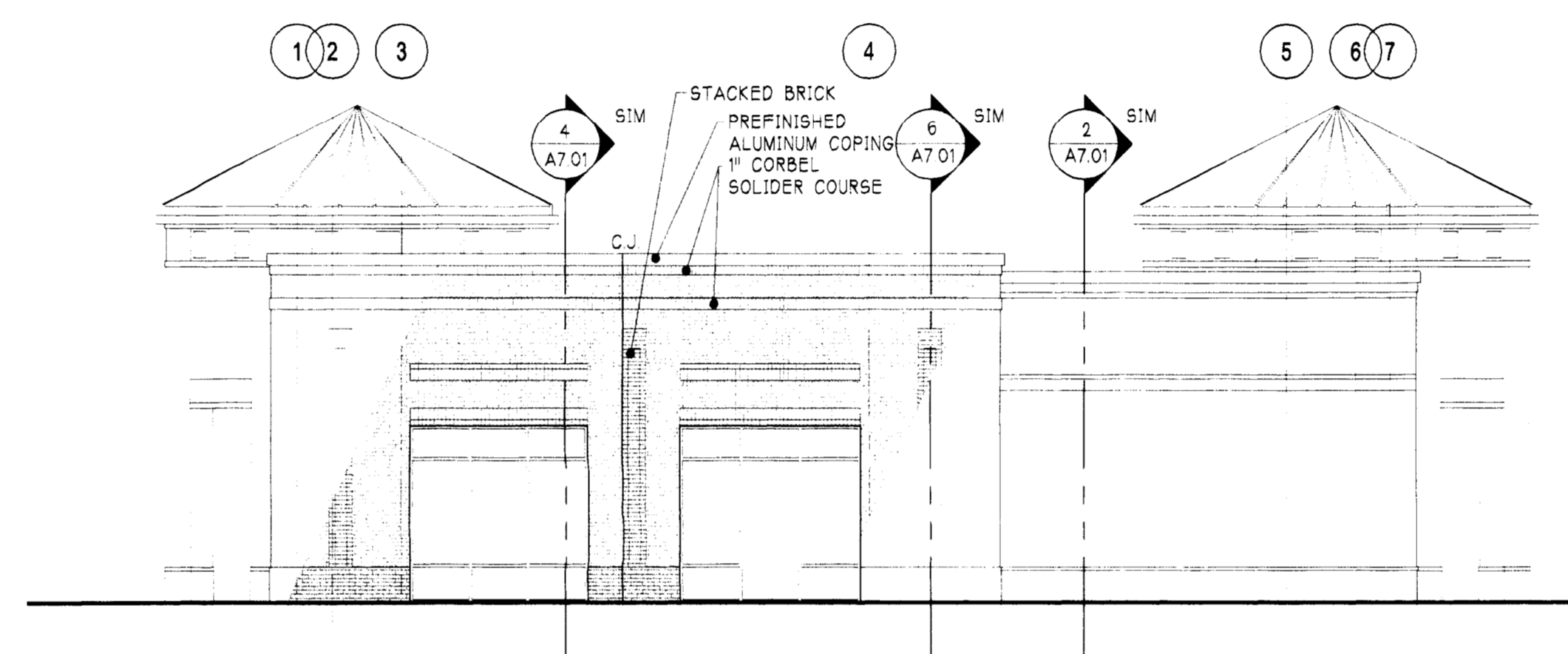
Note the administrative approval dated November 15, 2006 still applies for parcel 2 and 3.



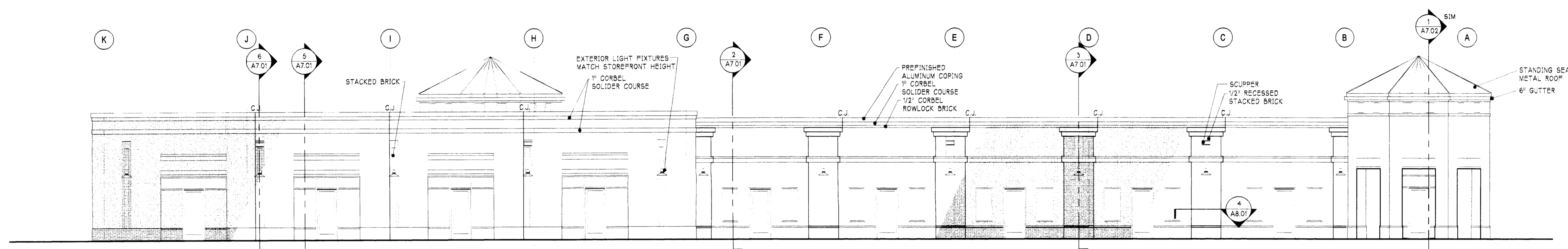
beachamunce+manley  
 architects pllc  
 atherton lofts  
 [suite 109]  
 2108 south boulevard  
 charlotte, north carolina  
 28203  
 vc 704|334|1716  
 fx 704|334|6571



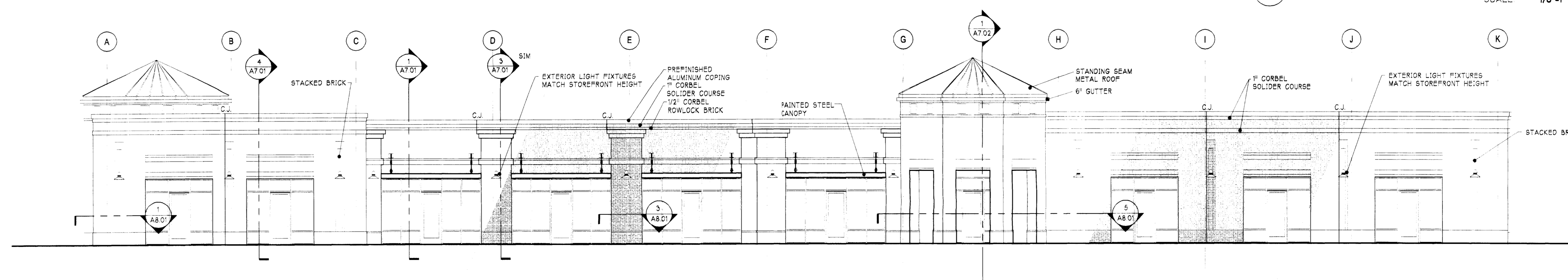
4 LEFT SIDE ELEVATION BUILDING 3  
 SCALE 1/8"=1'-0"



3 RIGHT SIDE ELEVATION BUILDING 3  
 SCALE 1/8"=1'-0"



2 REAR ELEVATION BUILDING 3  
 SCALE 1/8"=1'-0"



1 FRONT ELEVATION BUILDING 3  
 SCALE 1/8"=1'-0"

Arrowood Retail Building 3

Charlotte, North Carolina

PROJECT | 06MFP260  
 DATE | 03.09.2007  
 DRAWN | ESD, EDC, & DLS  
 PATH |

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REVISIONS

NUMBER	DATE	COMMENT

ELEVATIONS BUILDING 3

ATTACHED TO ADMINISTRATIVE APPROVAL

DATED: June 5, 2007

BY: DEBKA D. CAMPBELL

A4.01



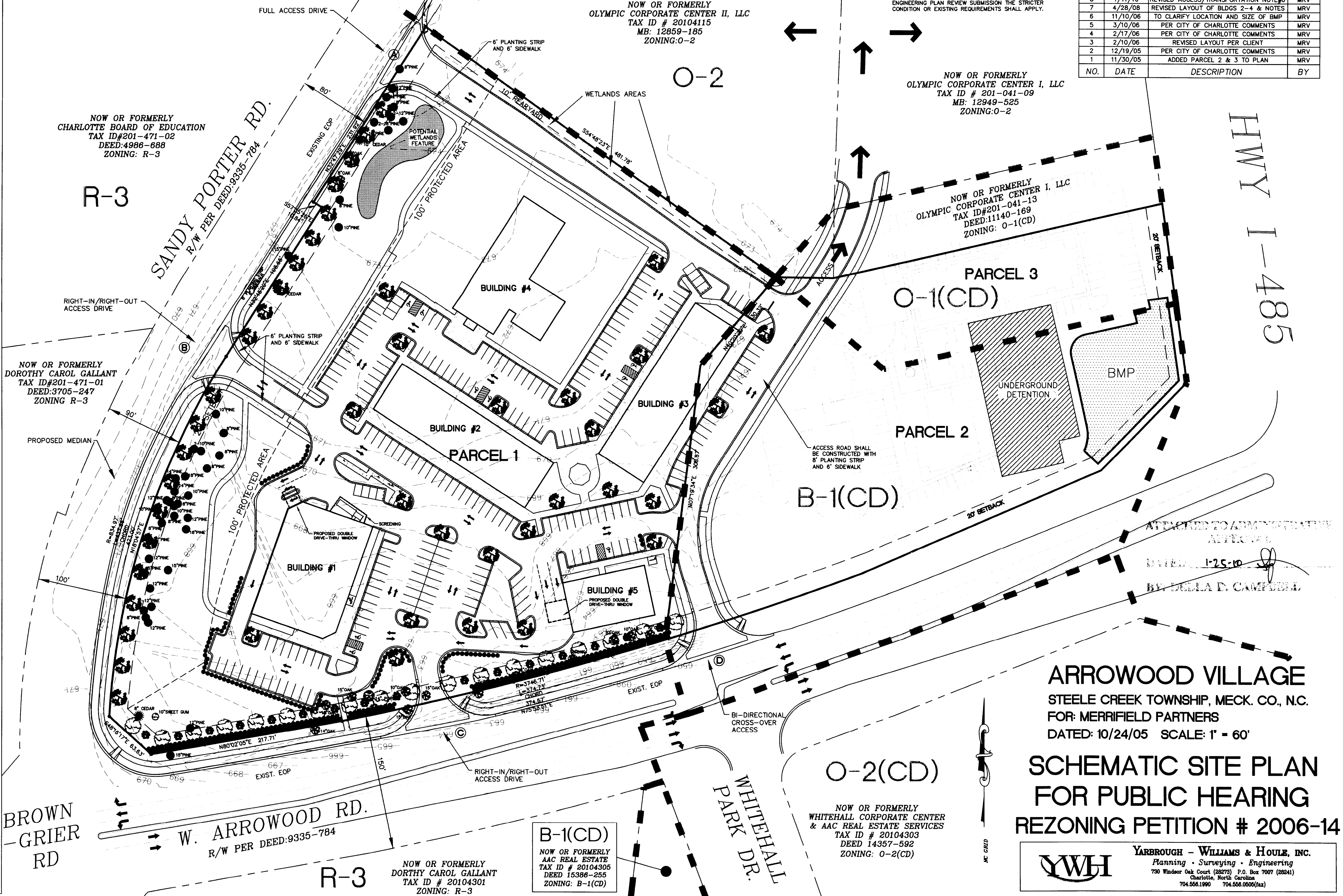
**DEVELOPMENT STANDARDS**

- General Provisions**
- Unless more stringent standards are established by the Schematic Site Plan or these Development Standards, all development standards established under the City of Charlotte Zoning Ordinance (the "Ordinance") for the B-1 zoning district classification shall be followed in connection with development taking place on Parcel 1 and Parcel 2. All development standards established under the City of Charlotte Zoning Ordinance (the "Ordinance") for the O-1 zoning district classification shall be followed in connection with development taking place on Parcel 3. The development depicted on the Schematic Site Plan is schematic in nature and intended to describe the general arrangement of uses on the Site. Accordingly, the configurations, placements, and sizes of the building footprints, driveways and parking areas are schematic in nature and, subject to the provisions set forth below, may be altered or modified during design development and construction phases subject to the normal staff review processes.
- Permitted Uses**
- Parcel 1**
- Parcel 1 may be devoted to any use (including any accessory use) which is permitted under the Ordinance by right or under prescribed conditions in the B-1 Zoning District with the exception of automobile service stations and car washes, convenience stores and restaurants with drive-through facilities.
- Parcel 2**
- Parcel 2 may be devoted to any use (including any accessory use) which is permitted under the Ordinance by right or under prescribed conditions in the B-1 Zoning District with the exception of fast food restaurants and restaurants with drive-through services.
- Parcel 3**
- Parcel 3 may be devoted to general office use or to one hotel/motel use.
- Building Limitations**
- Parcel 1**
- Parcel 1 may be developed with up to 75,000 square feet of gross floor area subject to the following limitations and provisions:
- No more than 40,000 square feet shall be devoted to restaurant uses.
  - No more than two uses on the Site may include drive-through facilities.
  - Uses on the Site that may include drive-through facilities are limited to a pharmacy and a bank/financial institution.
- Parcel 2**
- Parcel 2 may be developed with up to 10,000 square feet of office/retail space.
- Parcel 3**
- Parcel 3 may be devoted to general office use or to one hotel/motel use subject to the following limitations and provisions:
- If a hotel/motel is constructed on Parcel 3, then it may contain no more than 130 rooms, together with any incidental or accessory uses permitted under the Ordinance which the developer may elect to provide for such facility.
  - Should fewer than 130 hotel rooms be developed on Parcel 3, then general office space may be developed on the Site at the rate of 200 square feet of office space for each hotel room eliminated, up to a maximum of 26,000 square feet of additional office space.
- Setbacks, Side Yards and Rear Yards**
- All buildings constructed within Parcel 1 and 2 of the Site shall satisfy or exceed the setback, rear yard and side yard requirements established under the Ordinance for the B-1 Zoning District. All buildings constructed within Parcel 3 of the Site shall satisfy or exceed the setback, rear yard and side yard requirements established under the Ordinance for the O-1 Zoning District. The Site can be viewed as a unified development plan. As such, yards will not be required between buildings located on the Site. The Developer reserves the right to subdivide the Site and create lots within the interior of the development with no side and/or rear yards as part of a unified development plan, subject to the normal staff review and approval process.
- Screening and Landscaping Areas**
- The Owner shall install within the setback areas required by the Zoning Ordinance along Arrowwood Road and Sandy Porter Road, trees and other materials in accordance with the Ordinance and shall thereafter maintain or cause to be maintained all such materials (including replacement of all dead or dying plants).
- The setback along Arrowwood Road shall include landscaping elements decoratively arranged and shall include large maturing trees, decorative/ornamental trees and evergreen shrubs. A minimum of 10 trees and 40 shrubs per 100 linear feet shall be included in the setback. Trees shall be a minimum of two inches caliper at planting and shrubs shall be 1 1/2 feet tall at planting. Internal areas of the Site shall be landscaped in accordance with the requirements of the City Code.
- The fencing along Sandy Porter Road will be a preservation strip of 100 feet in width as measured from the new right-of-way line. Existing trees located within the 100 foot strip that are 6 inches DBH or greater shall be preserved. The tree preservation area shall include walking trails and benches and may include tables, extended wetland (direction ponds), and storm water detention ponds. Installation of these items within the 100 foot strip shall be done in a manner that does not cause the removal of trees 6 inches DBH or greater.
- Landscaping areas will be planted and improved in sequences which are keyed to each phase of development taking place on the Site and will meet or exceed the requirements of the Ordinance.
- Screening shall conform with the standards and treatments specified in Section 12.203 of the Ordinance.
- All roof mounted mechanical equipment will be screened from view from adjoining public right-of-way and abutting properties as viewed from grade.
- Brick screen walls may be used in lieu of shrubbery to screen parking areas adjacent to Arrowwood Road.
- Parking**
- Off street vehicular and bicycle parking will meet the minimum standards established under the Ordinance.
- Lighting**
- Parcel 1**
- The maximum height of any freestanding lighting fixture (other than street lights on public rights-of-way) including its base, shall not exceed 25 feet.
  - All parking lot lighting shall be fully-shielded and downwardly directed.
  - Any lighting attached to a building shall be capped and downwardly directed.
  - No wall pack light fixtures will be allowed on any structures.
  - Wall-mounted decorative light fixtures such as sconces are permitted.
- Parcel 2 and Parcel 3**
- The maximum height of any freestanding lighting fixture (other than street lights on public rights-of-way), including its base, shall not exceed 30 feet.
  - All parking lot lighting shall be fully-shielded and downwardly directed.
  - Any lighting attached to a building shall be capped and downwardly directed.
  - No wall pack light fixtures will be allowed on any structures.
  - Wall-mounted decorative light fixtures such as sconces are permitted.
- Signs**
- All signs placed on the Site will be erected in accordance with the requirements of the Ordinance.
- Detailed signs erected along Arrowwood Road Extension and Sandy Porter Road will be ground mounted monument type signs, may not exceed 7 feet in height and may not contain more than 50 square feet of copy area.
- Detached signs erected along the I-485 right-of-way will be ground mounted monument type signs, may not exceed 16 feet in height and may not contain more than 75 square feet of copy area.
- Access / Transportation**
- Access to the Site shall be as generally depicted on the Schematic Site Plan.
- The placement and configurations of these access points are subject to any minor modifications required to accommodate final site and architectural construction plans and designs and to any adjustments required for approval by the Charlotte Department of Transportation and/or the North Carolina Department of Transportation. The existing edge of pavement, pavement markings, medians, sidewalks, and curbs and gutter shall be shown on driveway and construction site plans.
- The parking lots for each of the establishments placed on the Site must be configured in such fashion as to allow internal vehicular interconnectivity. Vehicular and/or pedestrian connectivity will be provided between Parcel 1 of the Site and the Olympic Corporate Center II site subject to the approval of the owner of the Olympic Corporate Center II site.
- Subject to the approval of the North Carolina Department of Transportation, the Petitioner shall install or cause to be installed standard 20" curb and gutter and associated storm drainage along the Site frontage on Arrowwood Road and Sandy Porter Road.
- The Petitioner agrees to dedicate and convey (by quitclaim deed and subject to a reservation for any necessary utility easements) title to the issuance of any building permit those portions of the Site immediately abutting the following roadways as required to provide right-of-way as outlined below (if such right-of-way does not presently exist):
- Arrowwood Road**  
65 feet from centerline for a distance of 500 feet from Sandy Porter Road, then tapering back at a rate of 45:1 to the existing right-of-way width of 50 feet, whichever is greater.
  - Sandy Porter Road**  
25 feet from centerline for a distance of 300 feet from Arrowwood Road, then tapering back at a rate of 20:1 to the existing right-of-way width of 15 feet, whichever is greater.
- Improvements listed below in sections 6a, 6b, 6c, 6d, shall be completed prior to the issuance of the second certificate of occupancy for the Site. Improvements listed below in sections 6e, 6f, 6g, 6h shall be completed prior to the issuance of the certificate of occupancy for building #1.
- Steel Creek Road & Brown-Grier Road**
    - Construct an exclusive northbound right turn lane on Steel Creek Road with a minimum of 175 feet of storage and a 20:1 bay taper.
    - Construct an additional westbound left turn lane to provide dual lefts on Arrowwood Road each with 200' of storage and a 15:1 bay taper.
    - Construct a second southbound through lane on Sandy Porter Road to accept the proposed dual westbound lefts from Arrowwood Road. The new through lane should terminate as a right turn lane at Red Hickory Lane. This provides for approximately a 2000' transition lane for the dual left turn lanes.
  - Arrowwood Road & Whitehall Park Dr/Proposed Access "D"**
    - Construct Proposed Access "D" to operate as a bi-directional crossover with a single existing lane for right only movement. This driveway connection shall be subject to the review and approval of NCDOT and conform with the latest edition of the NCDOT Policy on Street and Driveway Access to North Carolina Highways.
  - Sandy Porter Road & Proposed Access "A"**
    - Construct Proposed Access "A" with two existing lanes. The through lane shall terminate as a right turn lane and connect to left turn lane with 150 feet of internal storage. This driveway connection shall be subject to the review and approval of NCDOT and conform with the latest edition of the NCDOT Policy on Street and Driveway Access to North Carolina Highways.
  - Sandy Porter Road & Proposed Access "B"**
    - Construct Proposed Access "B" with a single existing lane to operate under right-of-way/right-of-way movement only.
  - Arrowwood Road & Proposed Access "C"**
    - Construct Proposed Access "C" with a single existing lane to operate under right-of-way/right-of-way movement only.
    - A minimum of 100 feet of internal channelization will be provided at Access C.
- Drive through facilities shall conform to Section 12.413 of the Ordinance.
- Fire Protection**
- Adequate fire protection in the form of fire hydrants will be provided to the Charlotte Fire Marshal's specifications. Plans for each building will be submitted to the Fire Marshal's office for approval before the construction of that building commences.
- Architectural Controls and Restrictive Covenants**
- All buildings constructed on the Site shall be architecturally compatible in appearance through the use of substantially similar building materials, colors and design (giving due consideration to the use of each building). The Petitioner agrees to record restrictive covenants governing the use and development of the Site prior to the issuance of any building permit for improvements to the Site. The restrictive covenants will be enforced by a Property Owners Association and will provide for the establishment of:
- A Property Owners Association;
  - Use restrictions on the property;
  - Common area maintenance and;
  - An Architectural Design Review Committee.
- The Architectural Design Review Committee shall have responsibility for adapting and implementing guidelines for all development taking place within the Site. Each application for a building permit must be accompanied by a letter which states that the plans for the relevant building have been approved by the Architectural Design Review Committee. Key areas to be addressed by these guidelines will include landscaping, open space and signage criteria. In addition, all development will be subject to the following provisions:
- Dumpster areas will be enclosed on all four sides by a brick wall with one side being a hinged wooden gate. If one or more sides of a dumpster area adjoin a side or rear wall of a building, then the side or rear wall may be substituted for a side.
  - At least 75% of the sum total of the exterior surface areas of each building (with doors and windows to be excluded from such calculation) shall consist of brick material, with no single elevation containing less than 50% brick materials.
  - If the developer is able to attract a major branded service station establishment to Parcel 2 of the Site, the canopy of its facility may incorporate the company's standard design, materials and colors. While the building for this facility must satisfy the standards established under Paragraph 6 above, the elevations of the building may nevertheless incorporate accent features which include the company's logo and colors.
  - If a hotel/motel is constructed on the Site, its design shall incorporate interior corridors and exterior corridors shall be prohibited.
  - Windows located within the lower 12 feet of buildings located on Parcel 1 of the Site shall not contain operable glass. Windows located above that height in those buildings may contain operable glass.
  - The Charlotte Mecklenburg Planning Commission shall review and comment on the final design of Parcel 1 of the Site.
- Storm Water Management**
- Storm water runoff will be managed through proven techniques which satisfy the standards imposed by the City of Charlotte Ordinances and the Charlotte Mecklenburg Storm Water Design Manual. Surface level storm water detention, if provided, may be located in the common open space but shall not be located in the setback required by the ordinance.
- In addition to the above provisions that apply to the entire Site, the following additional provisions shall apply only to Parcel 1 of the Site. The Petitioner shall control and treat the entire runoff volume for the post development 1-year 24-hour storm. Runoff down time shall be a minimum of 24 hours, but not more than 120 hours. Peak storm water release rates shall match pre-development rates for the 2-year and 10-year 6-hour storm events. The use of a structural storm water treatment system or BMP (wet ponds, extended detention wetlands, bio-retention, etc.) shall be incorporated into the Site and be located in the southeast corner of Parcel 1. Although drainage from parcels 1, 2, 3 and other areas through the BMP, it shall not be used to provide water quality for parcels 2, 3, and office drainage. The BMP shall be sized for the area of parcel 1 only and in accordance with the specifications in the most recent version of the N.C. Department of Environment and Natural Resources Best Management Practices Manual. Design standards shall not be according to the City of Charlotte BMP Manual, when available. Water quality systems, measures and methods not approved or included within the NCDENR BMP Manual shall be approved by the City of Charlotte Land Development and City of Charlotte Storm Water Services divisions.
- Sidewalks**
- The Petitioner shall install a six foot sidewalk with a minimum eight foot planting strip along the Site frontage on Arrowwood Road and Sandy Porter Road and the sidewalk may be wider. As more specifically depicted on the Schematic Site Plan, the Petitioner shall install internal sidewalks on the Site that will provide pedestrian connections between the various buildings located thereon and to the sidewalk installed along Arrowwood Road and Sandy Porter Road.
- The Petitioner shall install a six foot sidewalk with a minimum eight foot planting strip along one side of Access Point D.
- Internal sidewalk along parking spaces shall be seven feet in width to accommodate vehicle bumper overhang or at least five feet in width with a two foot planting strip to provide unobstructed pedestrian access.
- Amendments to Rezoning Plan**
- Future amendments to the Schematic Site Plan and these Development Standards may be applied for by the then Owner or Owners of the Site in accordance with the provisions of Chapter 6 of the Ordinance.

**SITE DATA TABLE**

<b>PARCEL 1</b>	<b>TAX ID# 201-041-01</b>	<b>-8.254 ACRES</b>
<b>TOTAL SITE ACREAGE</b>	<b>R-3</b>	
<b>EXISTING ZONING</b>	<b>-B-1 (CD)</b>	
<b>PROPOSED ZONING</b>	<b>SEE DEVELOPMENT STANDARDS</b>	
<b>USE: OFFICE/COMMERCIAL</b>	<b>SEE DEVELOPMENT STANDARDS</b>	
<b>PARCEL 2</b>	<b>TAX ID# 201-041-10</b>	<b>-2.942 ACRES</b>
<b>TOTAL SITE ACREAGE</b>	<b>-B-1(CD)</b>	
<b>EXISTING ZONING</b>	<b>-B-1(CD) SITE PLAN</b>	
<b>PROPOSED ZONING</b>	<b>AMMENDMENT</b>	
<b>USE: OFFICE/COMMERCIAL</b>	<b>SEE DEVELOPMENT STANDARDS</b>	
<b>PARCEL 3</b>	<b>TAX ID# 201-041-10</b>	<b>-0.996 ACRES</b>
<b>TOTAL SITE ACREAGE</b>	<b>O-1(CD)</b>	
<b>EXISTING ZONING</b>	<b>-O-1(CD) SITE PLAN</b>	
<b>PROPOSED ZONING</b>	<b>AMMENDMENT</b>	
<b>USE: OFFICE/HOTEL</b>	<b>SEE DEVELOPMENT STANDARDS</b>	

NOW OR FORMERLY  
DORA T. PRICE  
Tax ID# 201-081-04  
DEED 8037-077  
ZONING: R-3



**ARROWOOD VILLAGE**  
STEELE CREEK TOWNSHIP, MECK. CO., N.C.  
FOR: MERRIFIELD PARTNERS  
DATED: 10/24/05 SCALE: 1" = 60'

**SCHEMATIC SITE PLAN**  
**FOR PUBLIC HEARING**  
**REZONING PETITION # 2006-14**

**YARBROUGH - WILLIAMS & HOULE, INC.**  
Planning - Surveying - Engineering  
700 Beaver Oak Court (2070) P.O. Box 7007 (28264)  
Charlotte, North Carolina  
704.536.1990 704.536.1065(fax)

**CHARLOTTE - MECKLENBURG**  
**PLANNING COMMISSION**  
**INTER - OFFICE COMMUNICATION**

DATE: January 25, 2010

TO: Mark Fowler  
Zoning Supervisor

FROM: Debra Campbell  
Planning Director

SUBJECT: Administrative Approval for Petition No. 2006-014 by Merrifield Partners, LLC

Attached are revised plans for the above petition. The plans have been revised to allow the primeuse building CO prior to the completion of all road improvements. Since these changes are minor and do not alter the intent of the development and meet the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving these plans. Please use these plans when evaluating requests for building permits and certificates of occupancy.

Note all other ordinance requirements and conditional notes still apply.