

SITE DATA

TAX MAP NO: 080-056-01
EXISTING ZONING: UMUD
PROPOSED ZONING: UMUD-O
 SITE AREA: 48,826 SF (1.2 ACRES)
 PROPOSED UNITS:
 PHASE I - 107 UNITS, 156,277 SF, CONDOMINIUMS FOR SALE
 RETAIL - 7,224 SF
 PHASE II - 81 UNITS, 61,879 SF, CONDOMINIUMS FOR SALE
 RETAIL - 2,950 SF

TOTAL BUILDING SQUARE FOOTAGE: 228,330 SF

PARKING REQUIRED:
 I SPACE / UNIT, 0.5 SPACES PER 1000 SF RETAIL
 PHASE I RESIDENTIAL - 107 SPACES REQUIRED
 PHASE I COMMERCIAL - 3 SPACES REQUIRED
 PHASE II RESIDENTIAL - 81 SPACES REQUIRED
 PHASE II COMMERCIAL - 2 SPACES REQUIRED
 TOTAL LOADING SPACES - 3 SPACES REQUIRED
 TOTAL REQUIRED PARKING - 196 SPACES
 TOTAL REQUIRED ACCESSIBLE PARKING - 5 ACCESSIBLE SPACES, 1 VAN
 252 SPACES

PARKING PROVIDED:
 RETAIL - 1 SPACE PER 5% OF AUTO PARKING
 AUTO PARKING PROVIDED - 5 SPACES X 5% + 1 SHORT TERM BICYCLE SPACE
 RESIDENTIAL - 1 SPACE PER 20 UNITS
 188 TOTAL UNITS / 20 = 10 SHORT TERM BICYCLE SPACES
 II TOTAL SHORT TERM BICYCLE SPACES PROVIDED

IMPERVIOUS AREA: 43,785 SF (1.0 ACRES)
 PRE 1978 IMPERVIOUS AREA: 19,594 SF (0.45 ACRES)
 MIN. SETBACK: 12' FROM BACK OF CURB
 MIN. SIDE & REAR YARD: NONE, EXCEPT ADJOINING RESIDENTIAL, THEN 8' MIN BUILDING SEPARATION.
 BUILDING HEIGHT: PHASE I: 187'-2" / 148'-11" / 98'-6"
 PHASE II: 55'-0"

TRASH PICK UP REQUIRED:
 (2) 8 CU. YD. COMPACTORS + 16 CU. YD.
 (3) 144 SF RECYCLE AREA - 432 SF

TRASH PICK UP PROVIDED:
 (5) 2 CU. YD. COMPACTOR BINS TO BE PICKED UP TWICE A WEEK.
 BINS WILL BE ROLLED TO STREET THROUGH GARAGE AT TIME OF PICK UP.

RECYCLE PICK UP PROVIDED:
 (1) 250 SF AREA
 (2) 180 SF AREA
 435 SF TOTAL
 RECYCLE CANS TO BE ROLLED TO STREET AT TIME OF PICK UP.

SCHEDULE OF DRAWINGS

1 of 2 REZONING PLAN
 2 of 2 UTILITY RELOCATION PLAN

UMUD-O CONDITIONAL REZONING NOTES

PER AERIAL RELOCATION OF UTILITIES, THE FOLLOWING CONDITIONS WILL BE MET ON OR ADJACENT TO THE PROJECT:

- DEVELOPER SHALL INSTALL MAST ARMS AT THE INTERSECTIONS OF THE 6TH/CALDWELL & 6TH/DAVIDSON TO REPLACE EXISTING WOOD POLES AND ASSOCIATED TRAFFIC SIGNALS.
- DEVELOPER SHALL INSTALL LARGE MATURING TREES ON PROJECT SIDE OF 6TH STREET IN ACCORDANCE WITH THE CHARLOTTE TREE ORDINANCE.
- DEVELOPER SHALL REMOVE EXISTING LARGE MATURING TREES ON BELL SOUTH SIDE OF 6TH STREET, DEVELOPER SHALL REPLACE THOSE TREES WITH 2" CALIBER SMALL MATURING TREES AT 30" ON CENTER.
- DEVELOPER SHALL PROVIDE PEDESTRIAN SCALE STREET LIGHTING ON BOTH SIDES OF 6TH STREET.
- INCLUDED WITH THIS PLAN IS A LETTER OF APPROVAL FROM BELL SOUTH PROPERTY (6TH STREET).
- NO GUY WIRES FROM UTILITY POLES SHALL BE LOCATED IN SIDEWALKS.
- THIS PROJECT SHALL MEET ALL CONDITIONS OF PREVIOUS UMUD SUBMITTALS

LIGHTING LEGEND:

- ★ PROPOSED STREET LIGHTING, ACORN FIXTURE ON A BLACK POLE
- ☆ EXISTING STREET LIGHTING TO REMAIN

31 JANUARY 2006

STREET TREE SPECIFICATIONS

SYMBOL	QUANTITY	TYPE	SIZE	CONDITION	NOTES
	12	QUERCUS SCHUMARDI SCHUMARD OAK	3" - 3.5" CAL. 14'-16" HEIGHT	B&B	WELL MATCHED
	16	SMALL MATURING TREE AS APPROVED BY URBAN FORESTRY	2 1/2" CAL. 12'-14" HEIGHT	B&B	WELL MATCHED

1.60" 38.73" 38.33" 58)

17" E 361.16 ft. 10" E 361.22 ft. 0" BASES

S 09°28'19" E 541.35'

N CALDWELL STREET R/W VARIES (PUBLIC R/W) ONE WAY

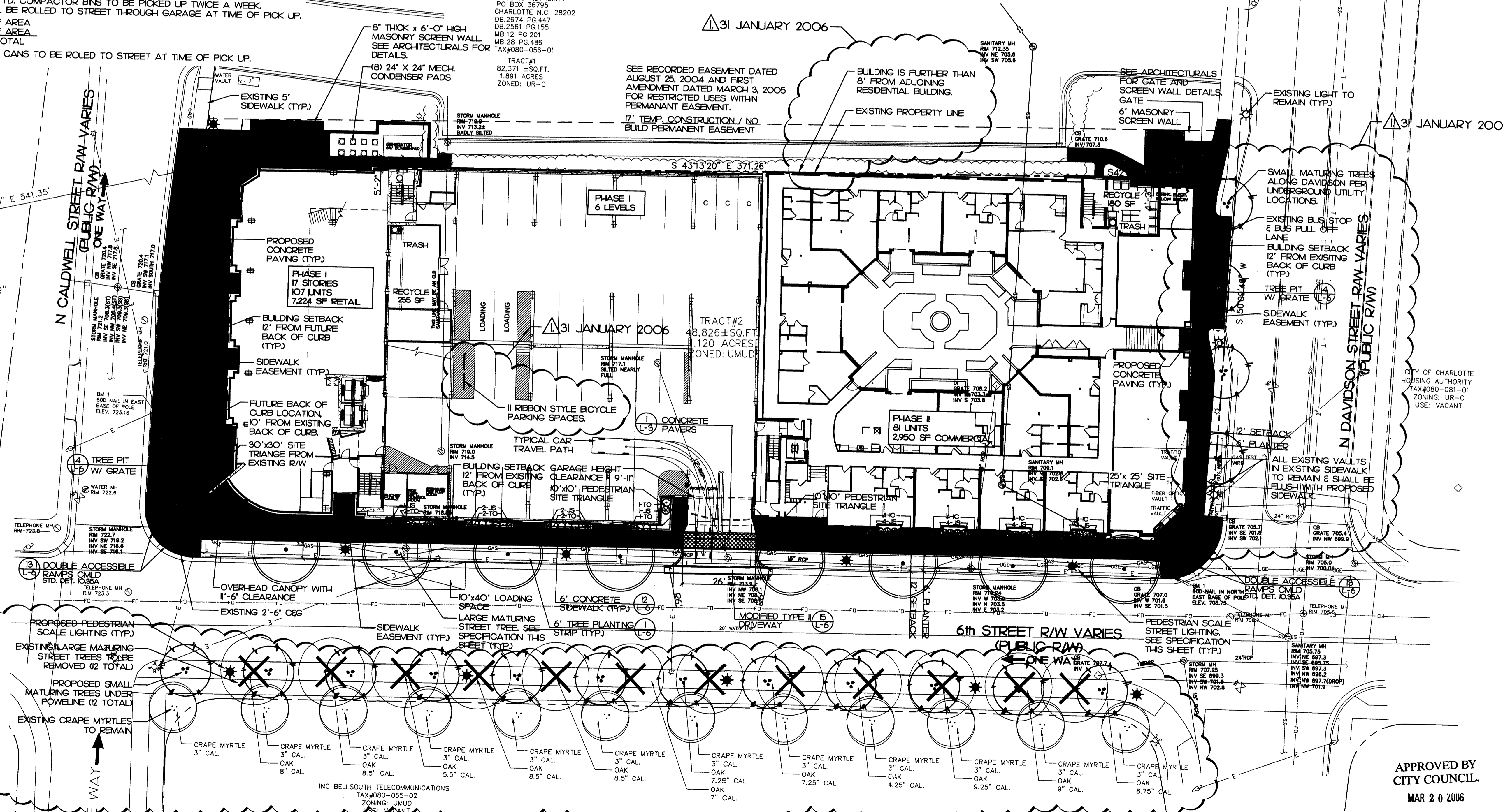
DATA SUPPLIED BY CITY OF CHARLOTTE (NOT PUBLISHED)
 CITY OF CHARLOTTE MONUMENT "L27.09"
 GRID N: 165,390.379
 GRID E: 442,427.902
 LATITUDE: 35°13'37.21"
 LONGITUDE: 80°50'12.10"
 SCALE FACTOR: 0.999873
 CONVERGENCE: -1°03'36.31"
 ELEV. = 735.34' (NAVD88)

LA POINTE CHEV CO
 TAX#080-051-01
 ZONING: UMUD
 USE: VACANT

CITY OF CHARLOTTE HOUSING AUTHORITY
 PO BOX 36795
 CHARLOTTE N.C. 28202
 DB 2674 PG.147
 DB 2561 PG.155
 MB 12 PG.201
 MB 28 PG.486
 TAX#080-056-01
 TRACT#1: 82,371 ±50.FT. 1.891 ACRES ZONED: UR-C

31 JANUARY 2006

31 JANUARY 2006
 11 JULY 2006



APPROVED BY CITY COUNCIL
 MAR 20 2006

COURTSIDE & COURT 6
 CHARLOTTE, NORTH CAROLINA

BOULEVARD CENTRO
 500 EAST BOULEVARD
 CHARLOTTE, NORTH CAROLINA, 28203

Design Resource Group
 230 West Morehead Street, Suite 214
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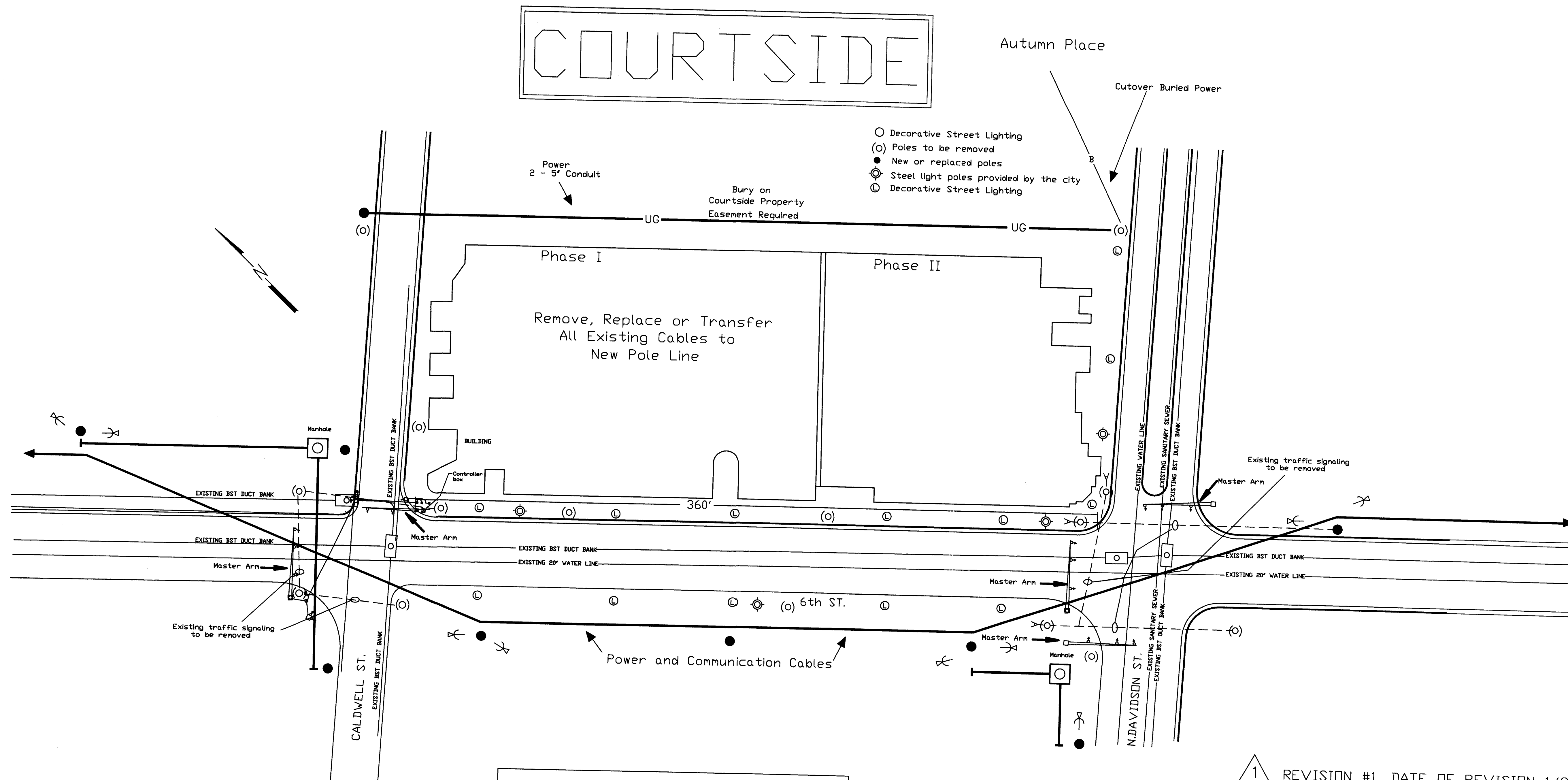
- Landscape Architecture
- Urban Design
- Civil Engineering
- Land Planning

DRG

REZONING PLAN
 FOR PUBLIC HEARING
 PETITION NO. 2006-031


Scale: 1"=20'
 Date: 24 OCT 2005
 Project No.: 004-019
 Revisions:
 31 JANUARY 2006
 11 JULY 2006

COURTSIDE



- DEVELOPER SHALL PROVIDE PEDESTRIAN LIGHTING ALONG THE WEST SIDE OF SIXTH STREET, AS GENERALLY INDICATED ON SHEET 1-2.
- UTILITY OWNERS WILL RELOCATE THEIR FACILITIES
- MASTER ARMS PROVIDED BY PETITIONER INSTALLED BY CITY CONTRACTORS

- 1 REVISION #1, DATE OF REVISION 1/27/06 FOR PUBLIC HEARING: PETITION #2005-031
- 2 REVISION #2, DATE OF REVISION 7/11/06

REVISIONS				PROJECT NO.	SIGNATURE CYCLE		 <p>287 SPRINGHILL FARM RD. FORT MILL, S.C. 29715 PHONE NUMBER (800) 424-1454 FAX NUMBER (803) 548-1373</p>	SCALE	
REV.	DESCRIPTION	INITIALS	DATE	PROJECT CITY - CHARLOTTE	SIGNATURE:			HORIZONTAL 1" = 6'	
				FILENAME: COURTSIDE CONDO'S	SIGNATURE:			SHEET 2 OF 2	
				DATE: 1/26/06	SIGNATURE:			FILE NAME:	
				DESCRIPTION: UTILITY RELOCATION PLAN	SIGNATURE:			COURTSIDE CONDO'S	