

**Charlotte Suites**  
**1700 Queen City Drive**  
**Charlotte, NC 28208**

Senior Condominiums for lease and sale

3 buildings and pool  
 88 1 bedroom units, approx. 600 square feet each  
 Lobby/Clubhouse incorporated into Building A  
 Pool/Gazebo

Rezoning Request from I-1 to Inst (CD)

Submitted by Edna Chirico  
 Chirico Huber Properties  
 (704) 562-8847

Representing NC Golf Homes of Locust Valley IV, LLC  
 Stephen Content, Managing Partner  
 504 North Central Ave.,  
 Locust, NC 28097  
 (704) 888-6700

Submitted for rezoning and zoning board of adjustment  
 January 23, 2006

**Site Data Table**

Scale 1 inch = 30 feet

Revisions Submitted March 23, 2006

Mecklenburg County Tax ID: 06115207

Property Address: 1705 Queen City Blvd  
 Charlotte, NC 28208

Acres: 2.888  
 Deed Book 19352, Page 309  
 Existing number of units: 88  
 Proposed number of units: 88

Existing Zoning: Industrial  
 Proposed Zoning: Institutional CD  
 Proposed Use: Senior Condominiums for sale and/or lease.  
 Senior being defined as Active Adult using federal guidelines that at least 1 resident of this facility will be age 55 or older or disabled. No persons under the age of 18 will reside in these units for more than 90 consecutive days.

Tax ID 06115205 Pankaj N Patel % Howard Johnson Inn 2.557 acres  
 Currently a Hotel - zoned Industrial adjacent to subject property and B-2 along Tuckaseegee Road.

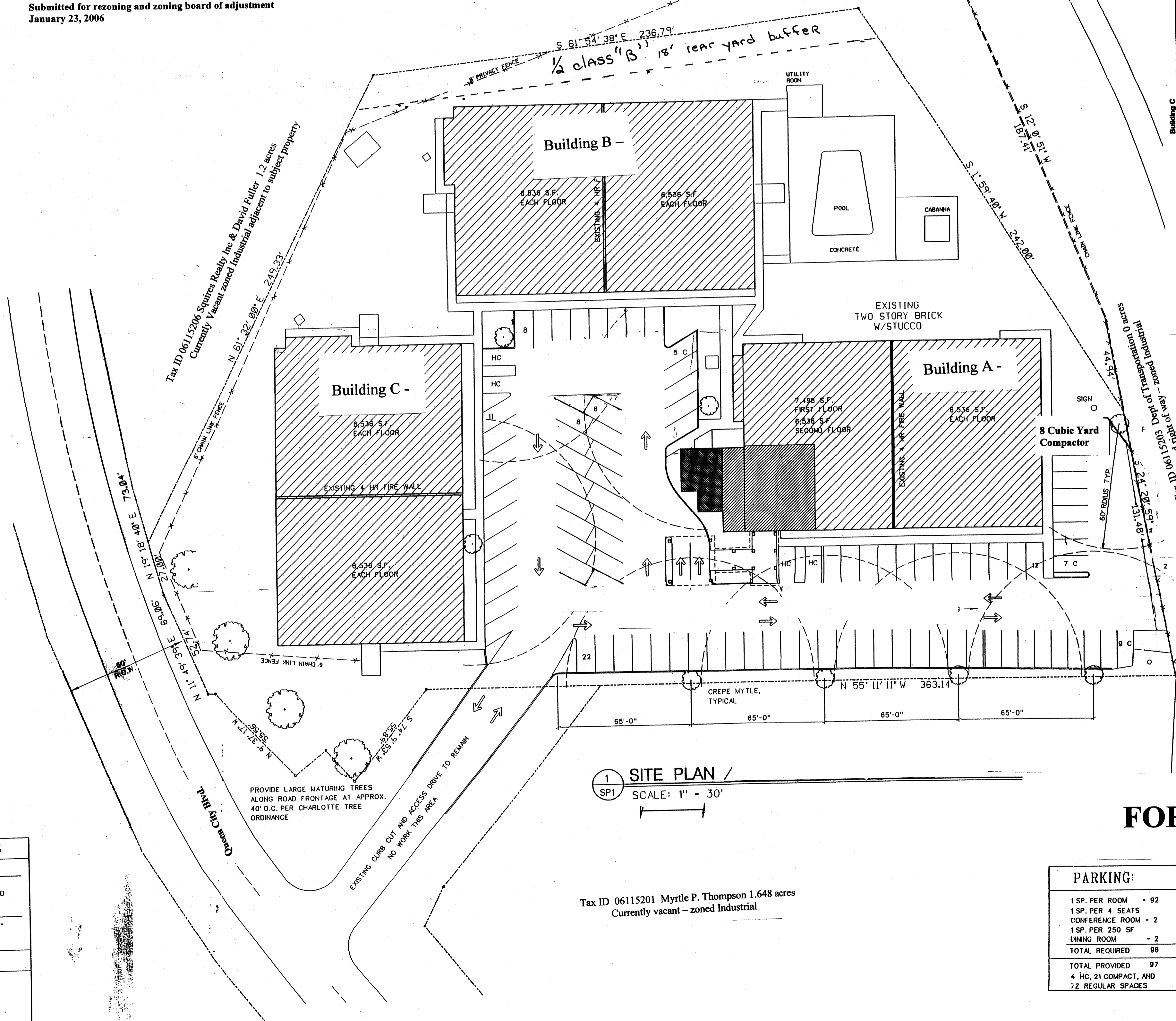
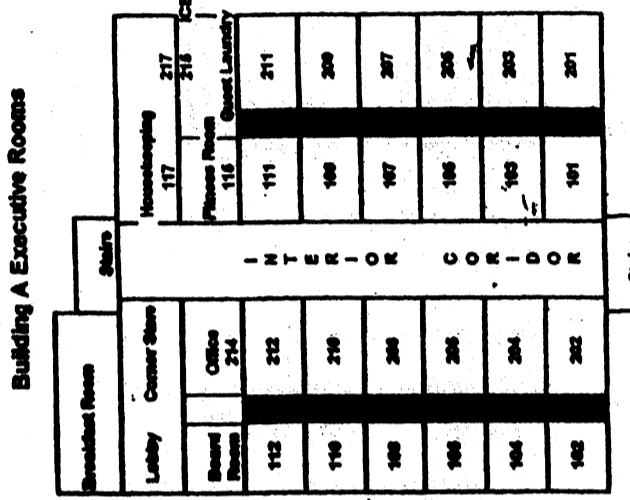
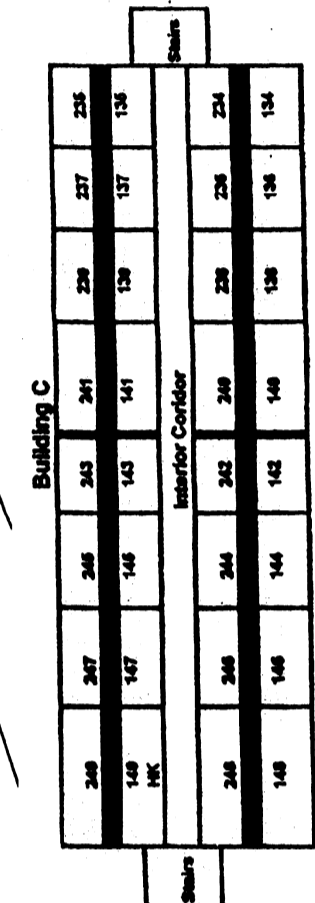
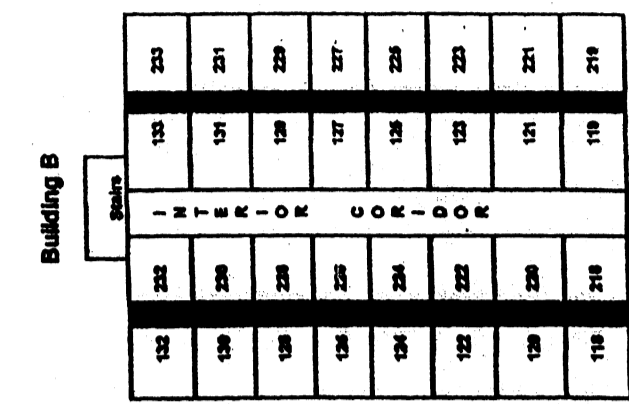
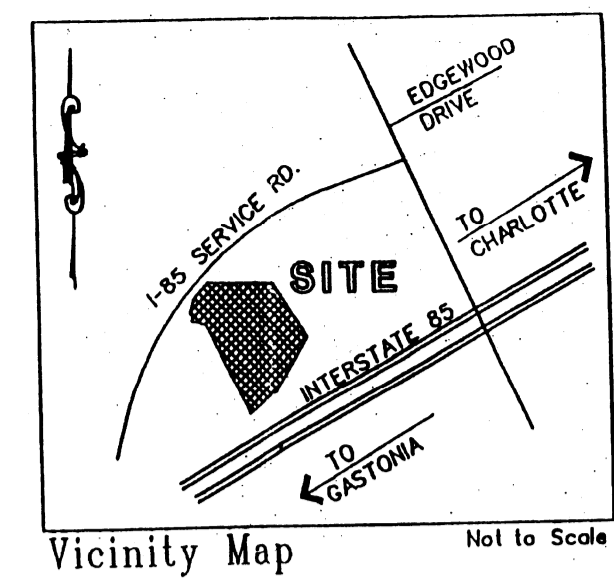
**Conditions:**  
 Property has been a weekly stay hotel. Current owner has spent extensive time and resources in conjunction with the Charlotte Mecklenburg Police Department in removing the criminal elements - specifically drug distribution and prostitution from the site. The current goal is to change the use, remodel the interior of the units and be allowed to sell and/or lease these units as "age restricted" independent living homes for seniors age 55 and above, according to the federal "age restricted" guidelines.

**This request is for a change of use only. Petition agrees to the following restrictions should this rezoning request be granted:**

No future expansions of existing buildings.  
 Any addition of exterior lighting would be fully shielded.

Existing Parking Spaces: 92 (4 handi-capped, 21 compact, 72 regular)

Note: we have requested CATS consider a bus stop close to our entrance and an adjustment to their routing to accommodate our future residents.



1 SITE PLAN /  
 SP1 SCALE: 1" = 30'

Tax ID 06115201 Myrtle P. Thompson 1.648 acres  
 Currently vacant - zoned Industrial

**PARKING:**

1 SP. PER ROOM	- 92
1 SP. PER 4 SEATS	
CONFERENCE ROOM	- 2
1 SP. PER 250 SF	
DINING ROOM	- 2
TOTAL REQUIRED	96
TOTAL PROVIDED	97
4 HC, 21 COMPACT, AND	
72 REGULAR SPACES	

**FOR PUBLIC HEARING**

Date: MAR 25, 1998

Revision:

RECEIVED  
 MAR 30 2006  
 BY:

Sheet:

SP1  
 of:

Charlotte Suites  
 1700 Queen City Drive  
 Charlotte, NC 28208

I-85 SOUTH

REVISIONS  
 CHANGES REQUIRED  
 C.  
 1 PER 40' -  
 UICED