

DEVELOPMENT STANDARDS

GENERAL PROVISIONS

Unless more stringent standards are established by the Technical Data Sheet or these Development Standards, all development standards established under the City of Charlotte Zoning Ordinance (the "Ordinance") for the B-D zoning district classification shall be followed in connection with development taking place on the Site.

The configuration, placement and size of the building depicted on the Schematic Site Plan is schematic in nature and subject only to the provisions as to how under Architectural Control, may be altered or modified during design development and construction document phases within the Building Envelope lines established on the Technical Data Sheet. Parking layouts may also be modified to accommodate final building locations.

PERMITTED USES

- 1. The Site may be devoted only to a self storage facility, such facility's rental and management offices and to any accessory uses that are clearly incidental and related thereto.
2. All storage shall be located within the building on the Site, and outside storage of any type, including the outside storage of moving vans, vehicles and boats, shall not be permitted.
3. The storage of hazardous materials is prohibited.

BUFFERS

1. The Class B Buffer areas established on the Technical Data Sheet (excluding the Woodland Buffer areas described below) shall conform to the standards for such buffers as set out in Section 12.302 of the Ordinance and the attached Landscape Plan where it is applicable, subject, however, to the provisions of Section 12.304 thereof. The width of the Class B Buffer areas shall be as depicted on the Technical Data Sheet and the Schematic Site Plan, and further reductions in the width of the Class B Buffer areas shall not be permitted. The reduction in the width of the relevant portions of the Class B Buffer areas are achieved either through the installation of a fence or berm pursuant to Section 12.302(b) of the Ordinance, or through the approval of an alternative buffer pursuant to Section 12.304 of the Ordinance.

2. Woodland Buffer areas (as defined below) shall be established on those portions of the Site depicted on the Technical Data Sheet and the Schematic Site Plan. The definition or requirements for the Woodland Buffer areas shall be as follows:
(a) Except as provided below, existing trees and shrubs shall be preserved.
(b) At a minimum, planting shall meet the tree and shrub requirements specified for a Class B Buffer or the tree and shrub requirements of the Landscape Plan where it is applicable. Notwithstanding, the Petitioner shall install additional trees and shrubs as necessary to comply with the tree and shrub requirements of a Class B Buffer, or to meet the tree and shrub requirements of the Landscape Plan where it is applicable. Accordingly, the foregoing, planting requirements for that portion of the Woodland Buffer area located along the western boundary line of the Site adjacent to the Cemetery that is more particularly depicted on the Technical Data Sheet and the Schematic Site Plan shall be met with the existing vegetation.

(c) Trees and shrubs may be hand pruned only. No heavy equipment or vehicles shall be allowed in the Woodland Buffer areas.
(d) Any plant material that is removed shall be cut flush with the ground. No disturbance of the soil shall be permitted, except that the soil may be disturbed in connection with the installation of additional trees and shrubs or in connection with the installation and maintenance of the decorative fence described below.
(e) No tree limb removal, with the exception of dead or diseased limbs.
(f) Weeds and vines may be removed.

(g) Trees that measure less than 2 inches in caliper at the base that are clearly within the drip line of a tree that is 2 inches in caliper or greater may be removed. Drip lines are defined as an imaginary line on the ground that would form the perimeter of the tree's canopy.
(h) Dead trees and material may be removed. Diseased trees may be removed at the discretion of the urban forester.
(i) Mulch may be applied within the Woodland Buffer areas.

3. Notwithstanding anything contained herein to the contrary, the Petitioner may remove trees and shrubs and disturb the soil within the relevant portions of the Woodland Buffer areas as necessary to install and maintain a 6 foot high decorative fence along the Site's western boundary line and a portion of the Site's northern boundary line as more particularly depicted on the Technical Data Sheet and the Schematic Site Plan and as more particularly described below. The fence is being installed to discourage pedestrian access to the existing Cemetery on the Site from the adjoining parcel of land.

4. The width of the Woodland Buffer areas shall be as depicted on the Technical Data Sheet and the Schematic Site Plan, and further reductions in the width of the Woodland Buffer areas shall not be permitted.
5. The Class B Buffer areas shall remain as open space, except to the extent necessary to accommodate grade changes and the installation and maintenance of a fence or berm, utility lines or drainage facilities and any grading associated therewith.

6. Where existing trees and natural vegetation have been cleared within the Class B Buffer areas to accommodate grade changes or the installation and maintenance of a fence or berm, utility lines or drainage facilities and any grading associated therewith, the cleared, unimproved areas will be landscaped with trees and shrubs in accordance with the requirements of the Ordinance and the attached Landscape Plan where it is applicable.
7. Above ground storm water detention facilities may not be located within the buffer areas.
8. No buildings, parking spaces or maneuvering areas may be located within the buffer areas.

9. With respect to those portions of the Class B Buffer areas and the Woodland Buffer areas that are hatched on the Technical Data Sheet and the Schematic Site Plan, the Petitioner in providing alternative buffers pursuant to Section 12.304 of the Ordinance that are more particularly defined and depicted on the Technical Data Sheet, the Schematic Site Plan and the Landscape Plan, the alternative buffers are provided due to the size and unusual shape of the relevant portions of the Site, and the desire to minimize any disturbance to the existing Cemetery.
10. The buffer areas shall be landscaped in accordance with the attached Landscape Plan where it is applicable.

SETBACKS, SIDE YARDS AND REAR YARDS

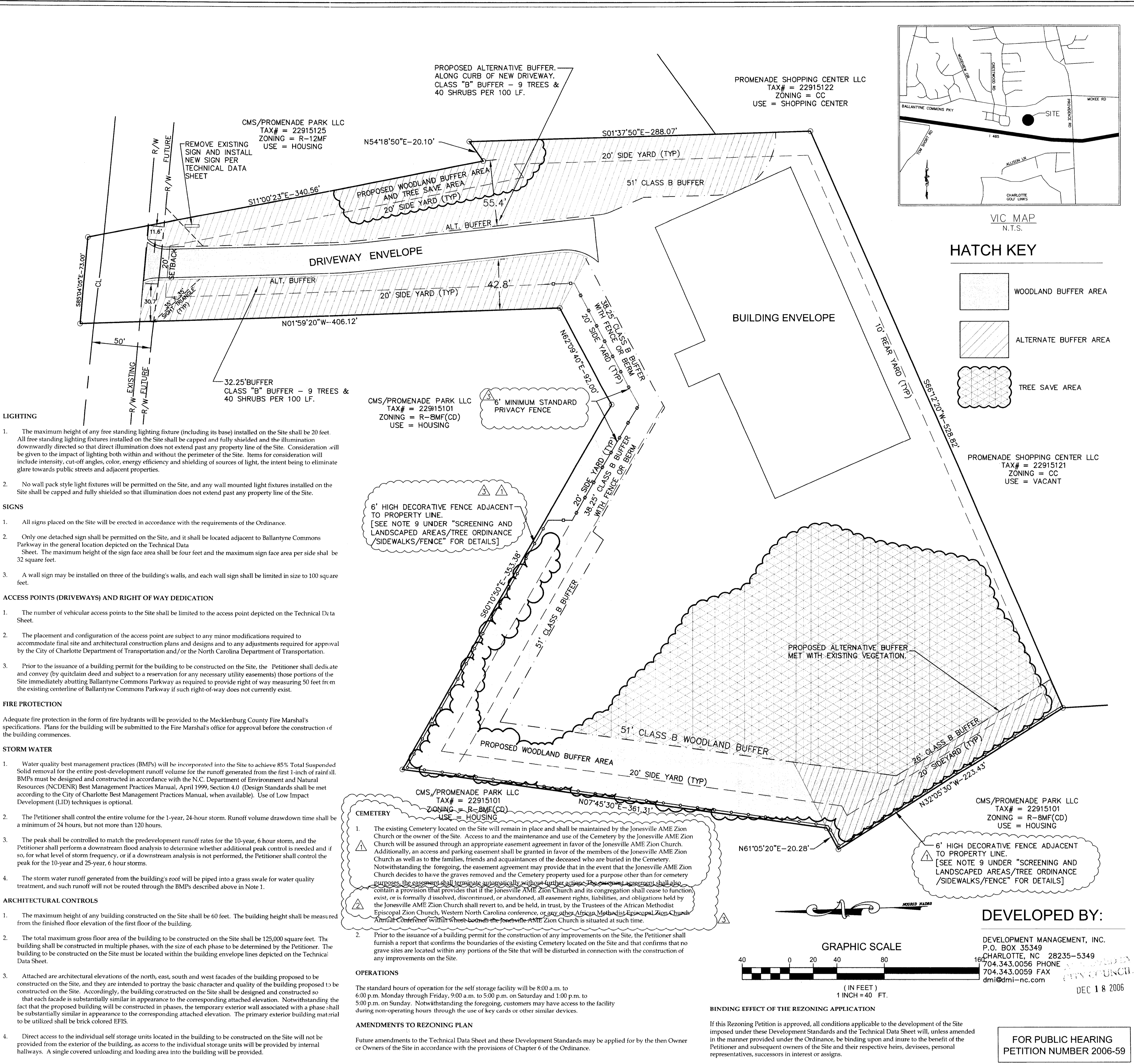
1. Development of the Site shall comply with the setback, rear yard and side yard requirements established under the Ordinance for the B-D zoning district.
2. No buildings, parking spaces or maneuvering areas may be located within the setback.
3. No above ground storm water detention facilities may be located within the required setback.

SCREENING AND LANDSCAPED AREAS/TREE ORDINANCE/SIDEWALKS/FENCE

1. Screening shall conform with the standards and treatments specified in Section 12.303 of the Ordinance.
2. All roof mounted mechanical equipment placed on the building located on the Site will be screened from view at grade from adjoining public rights of way and abutting properties.
3. Any dumpsters visible from a public street or from an adjoining parcel of land will be screened from view by a solid enclosure with gates. If one or more sides of the dumpster area adjoin a rear wall of a building, the rear wall may be substituted for the fence along each such side.
4. Development of the Site shall comply with the City of Charlotte Tree Ordinance.
5. A minimum of 17.5 percent of the Site shall be devoted to tree save areas.
6. The buffer areas and the Site shall be landscaped in accordance with the Ordinance and the Landscape Plan where it is applicable.
7. Any dead or dying plants shall be replaced in a timely fashion.
8. An internal sidewalk system shall be provided as generally depicted on the Schematic Site Plan.

PARKING

Off-street parking and loading will meet the minimum requirements set out in the Ordinance.



Lighting, Signs, Access Points, Fire Protection, Storm Water, Architectural Controls, Operations, Amendments to Rezoning Plan

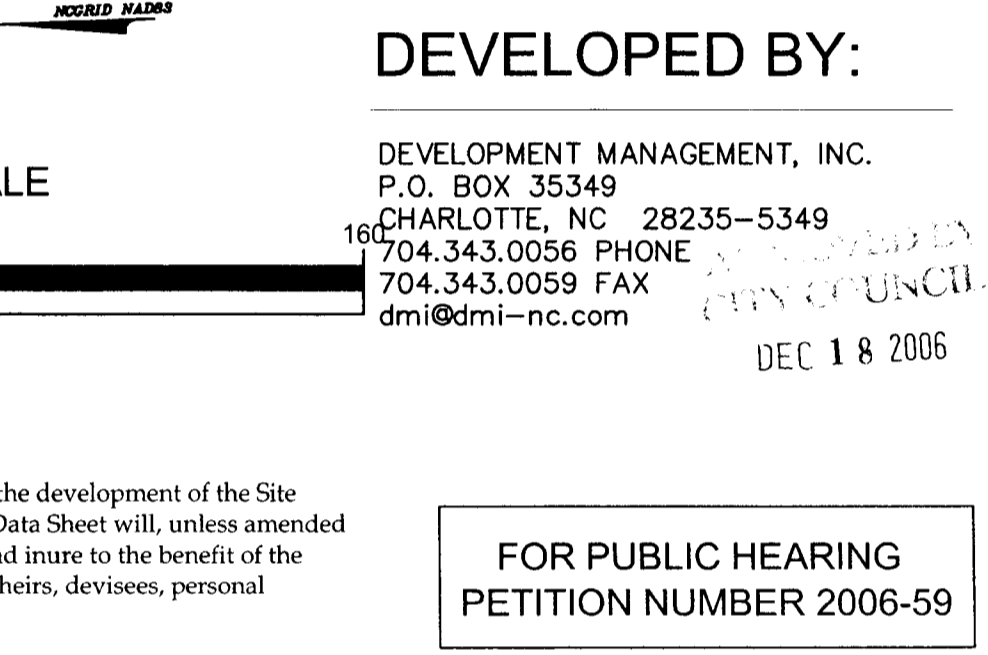
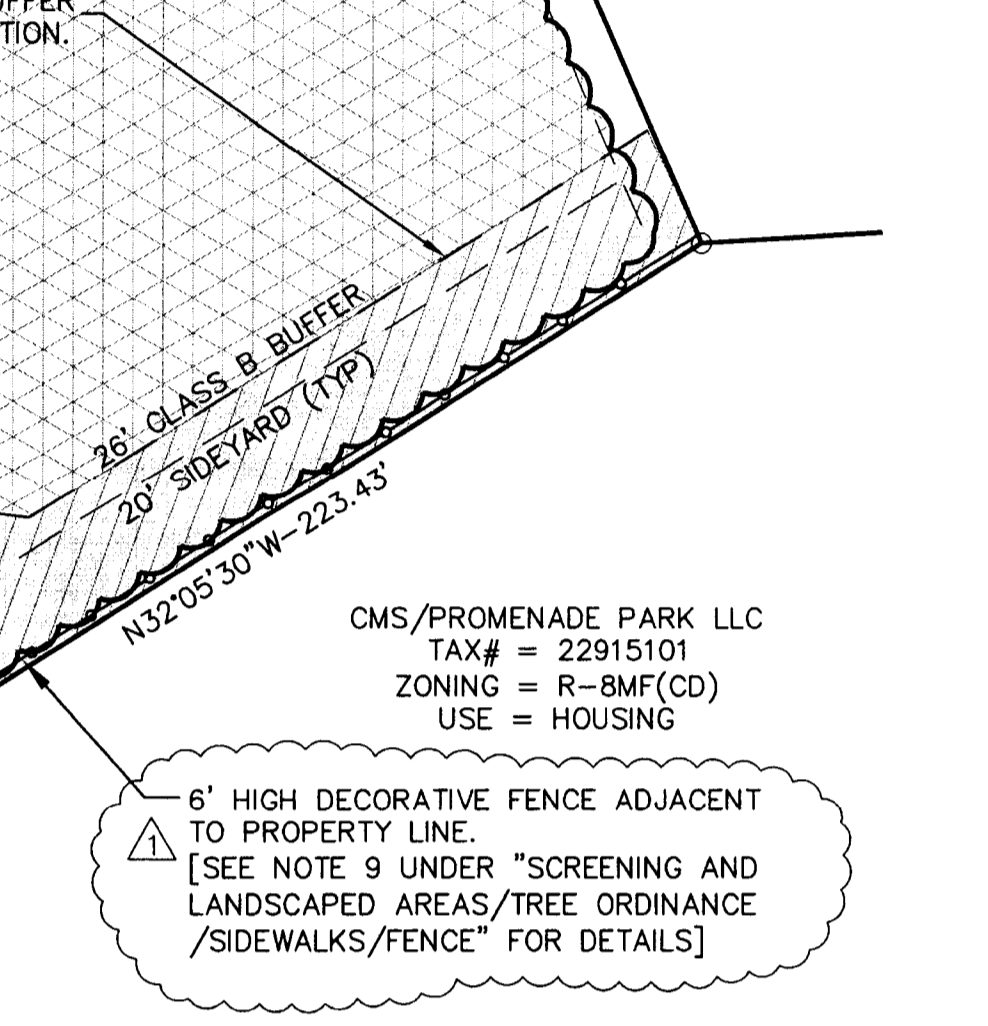
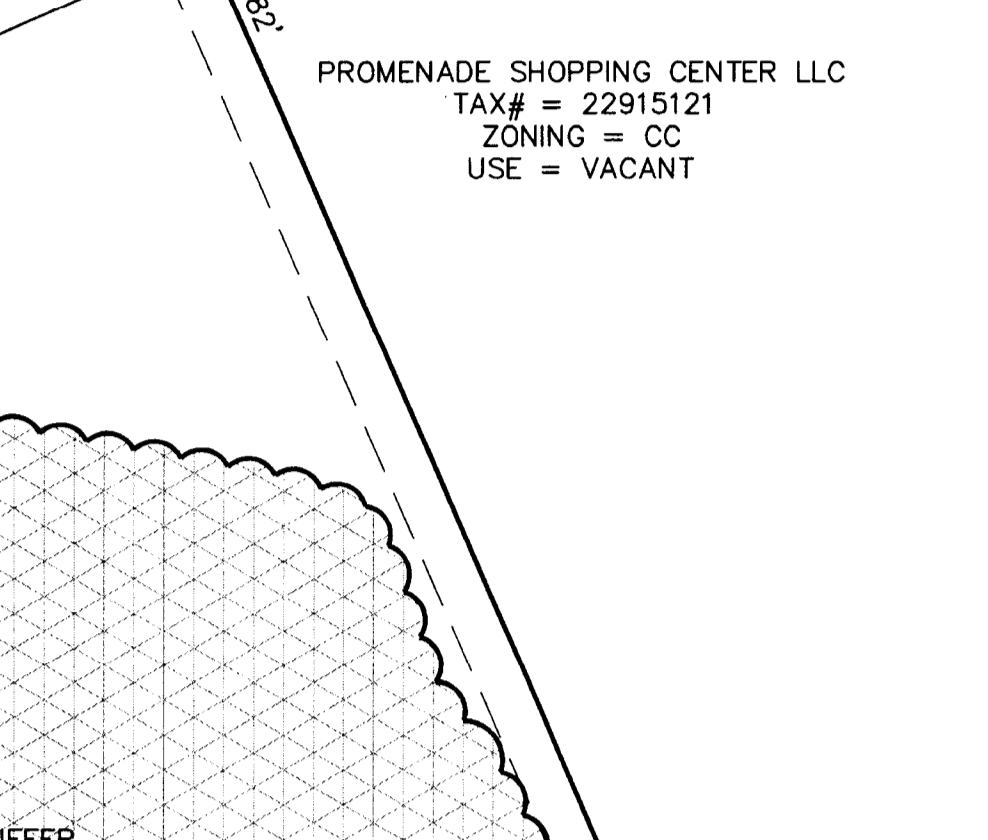
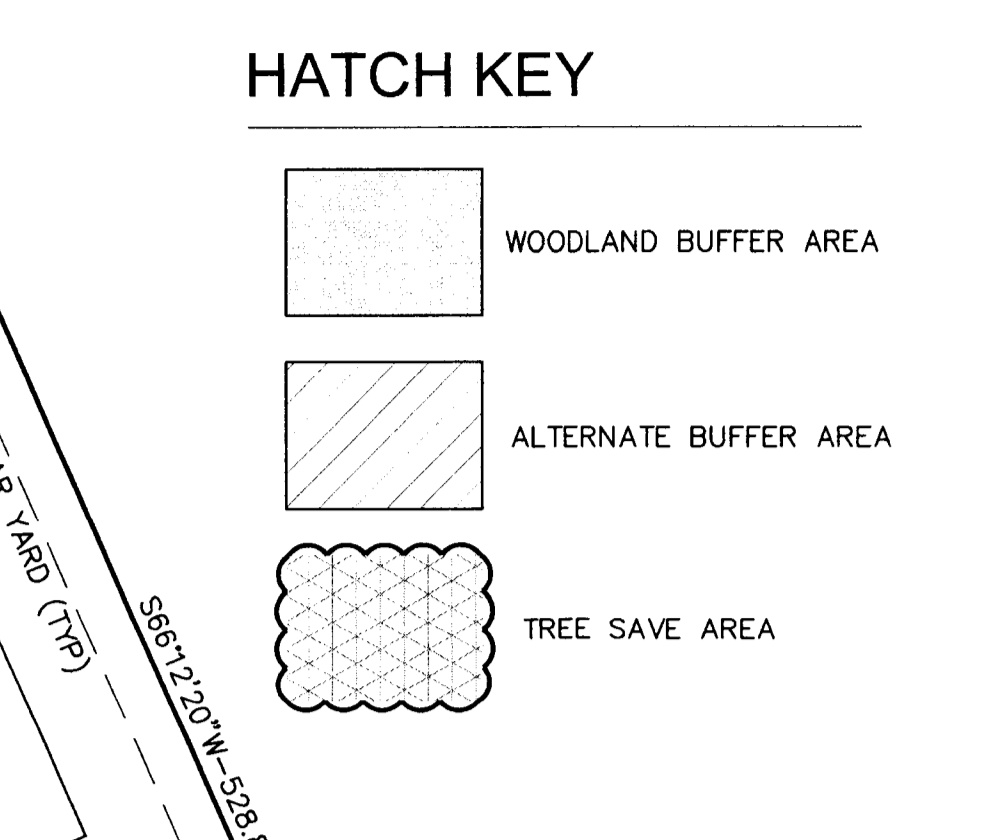
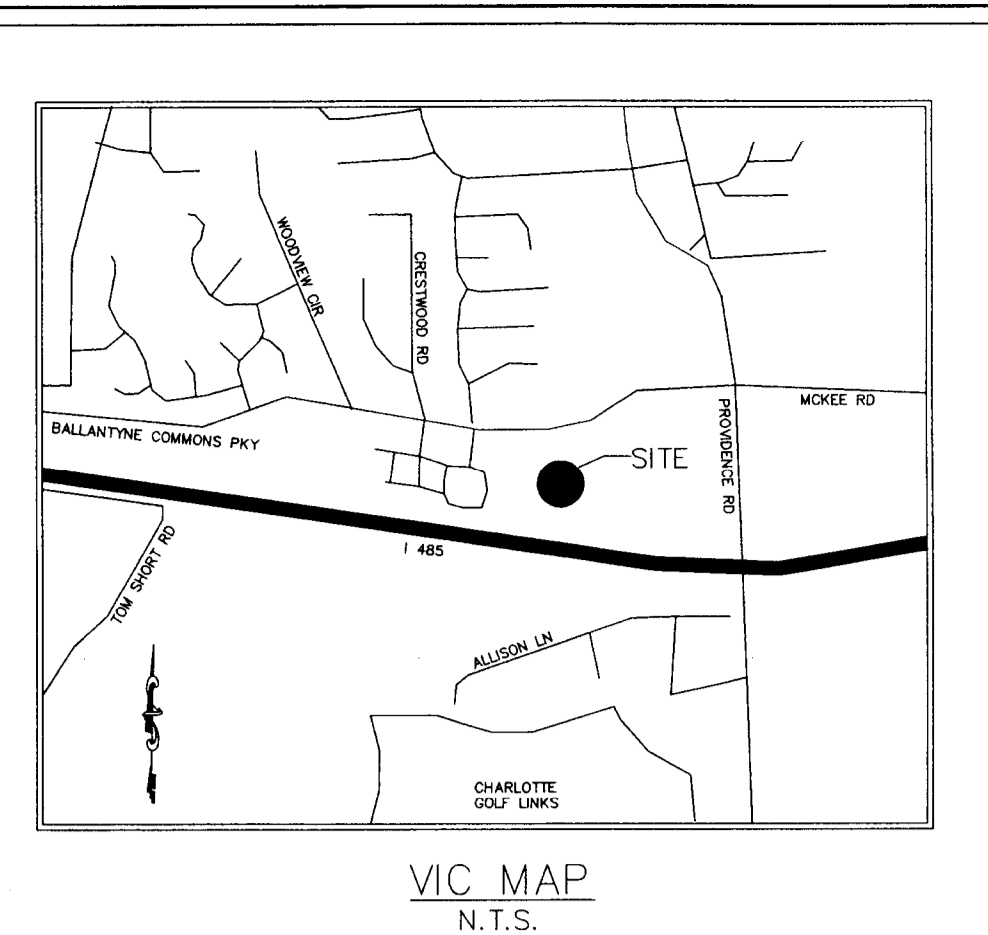


Table with 4 columns: No., Date, Description, and Date. Contains revision notes for the site plan.

STEWART logo and contact information for Development Management, Inc.

dmi logo and contact information for Development Management, Inc.

Ballantyne Commons Storage Conditional Rezoning Plan title block with project details.

Technical Data Sheet title block with date, scale, and sheet information.

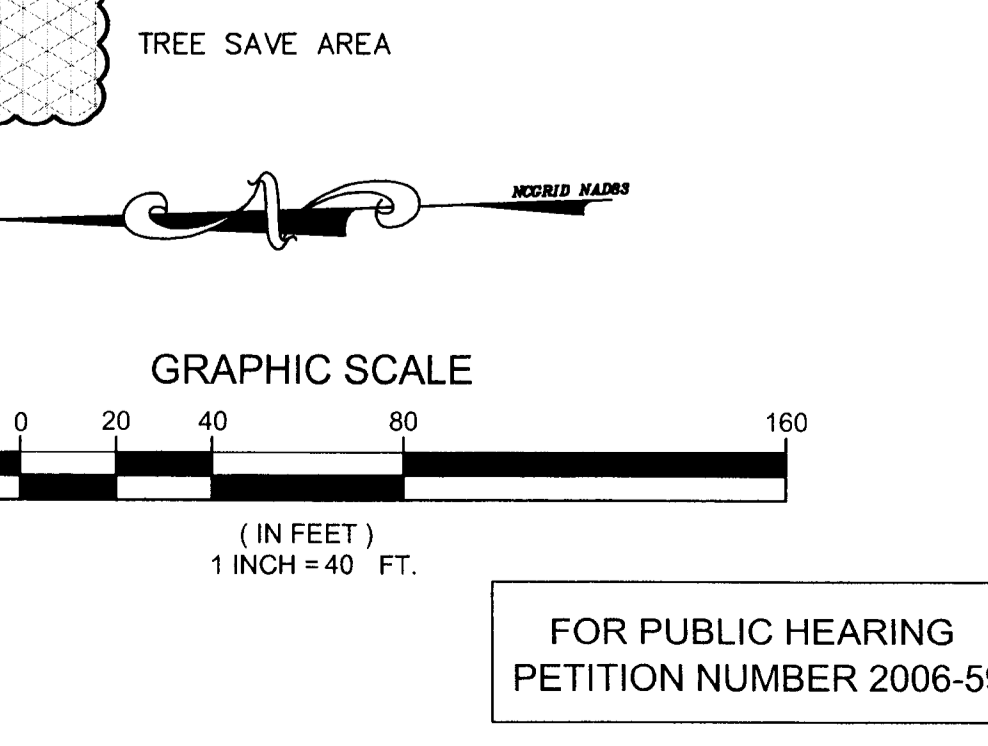
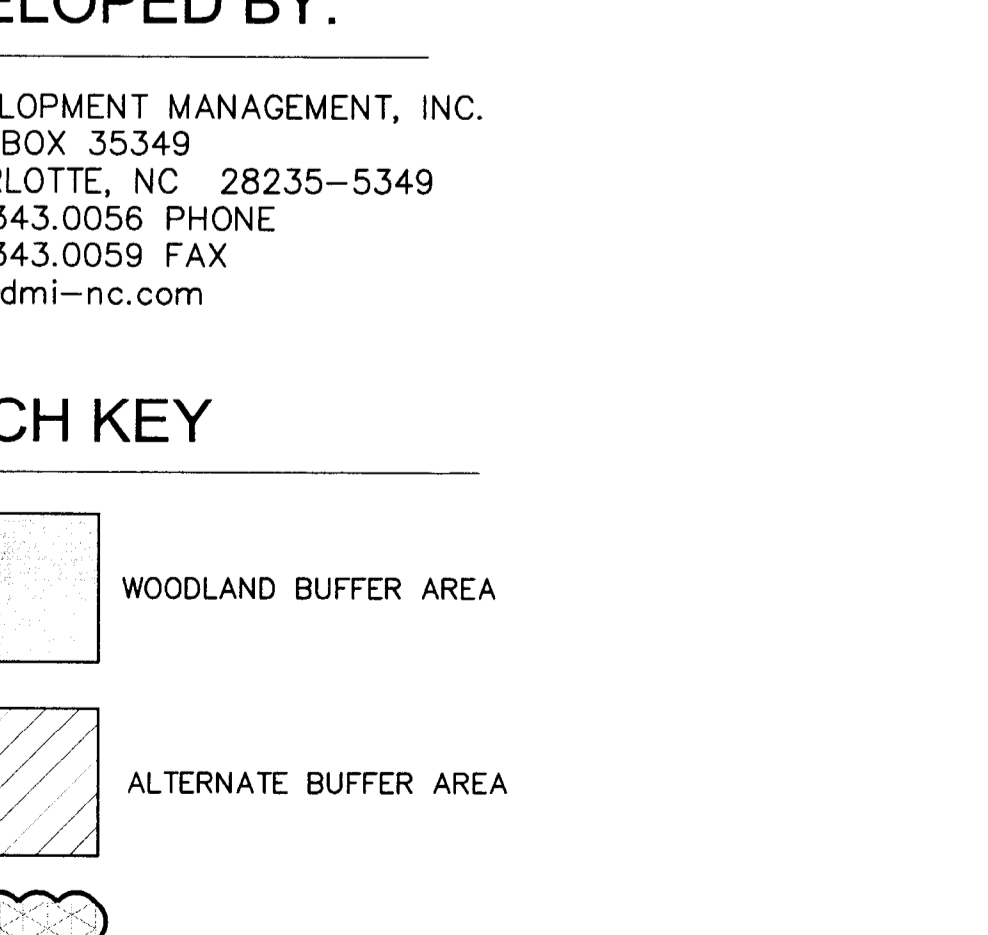
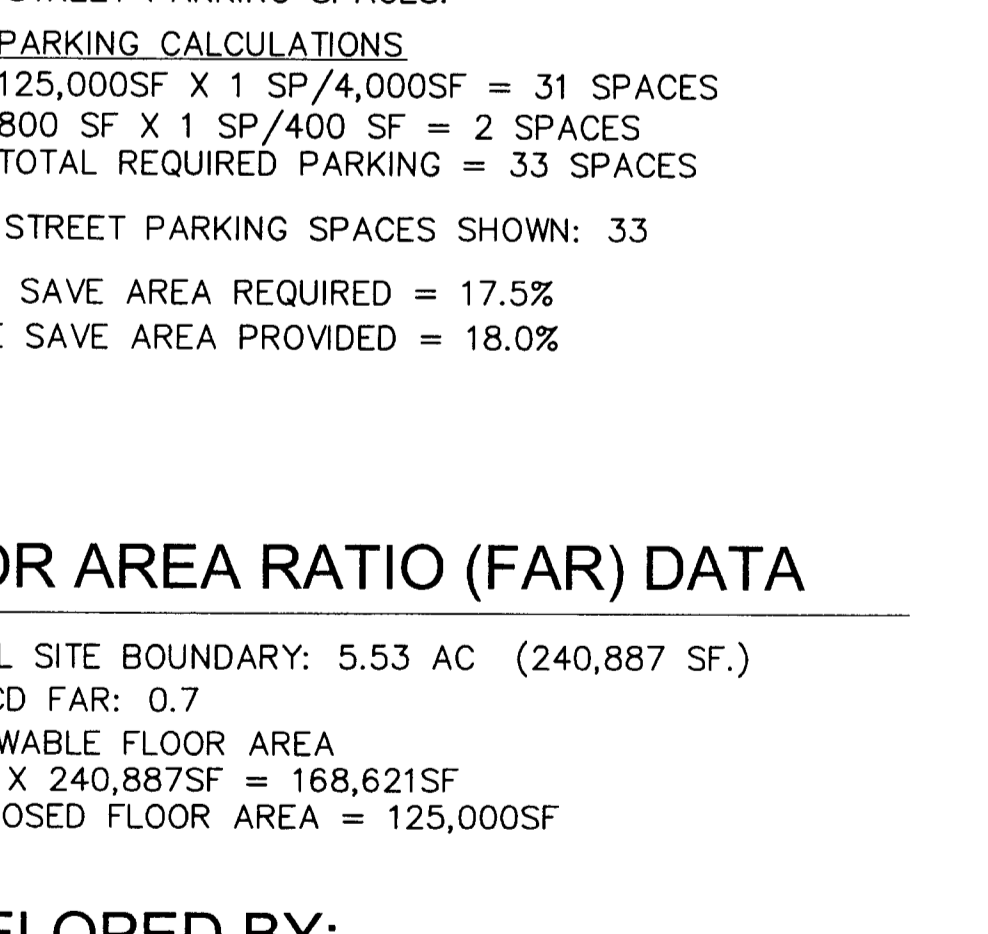
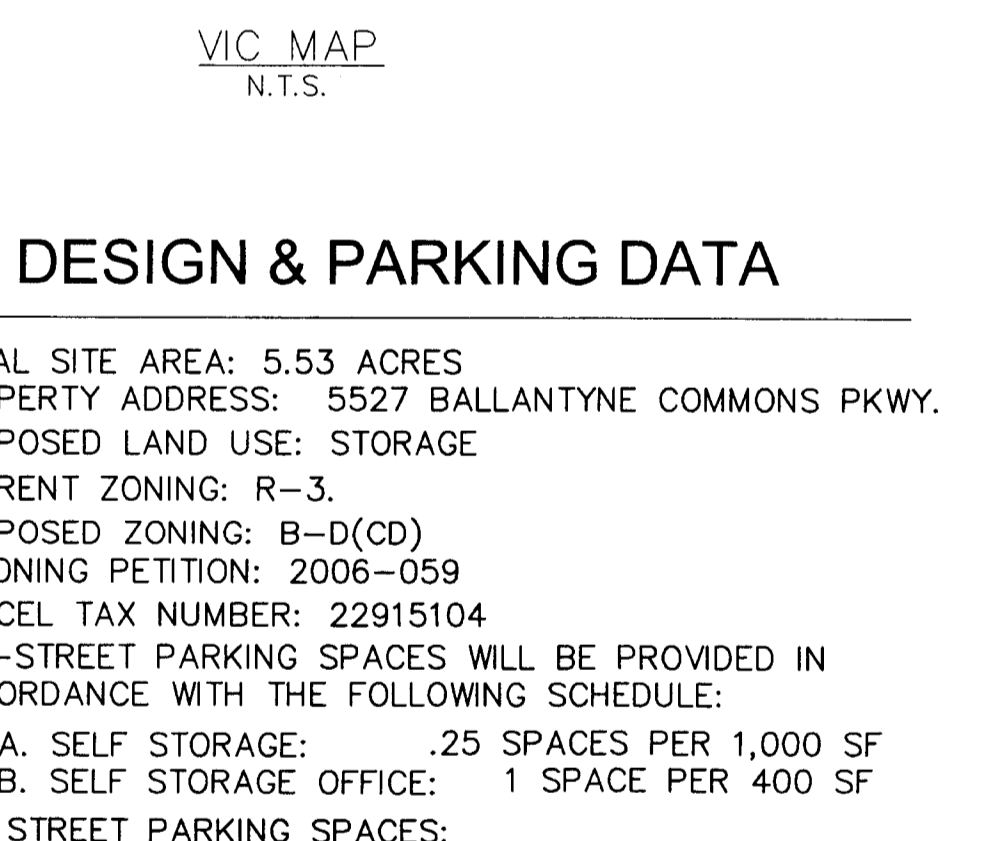
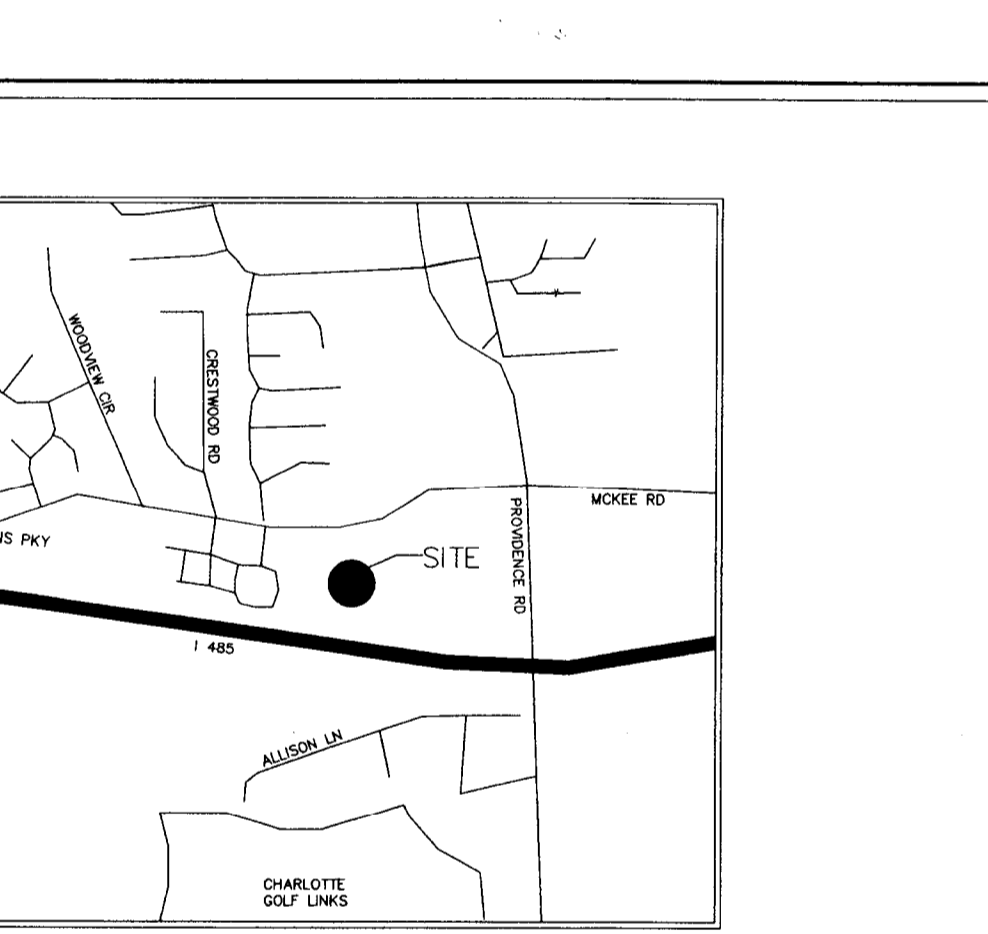
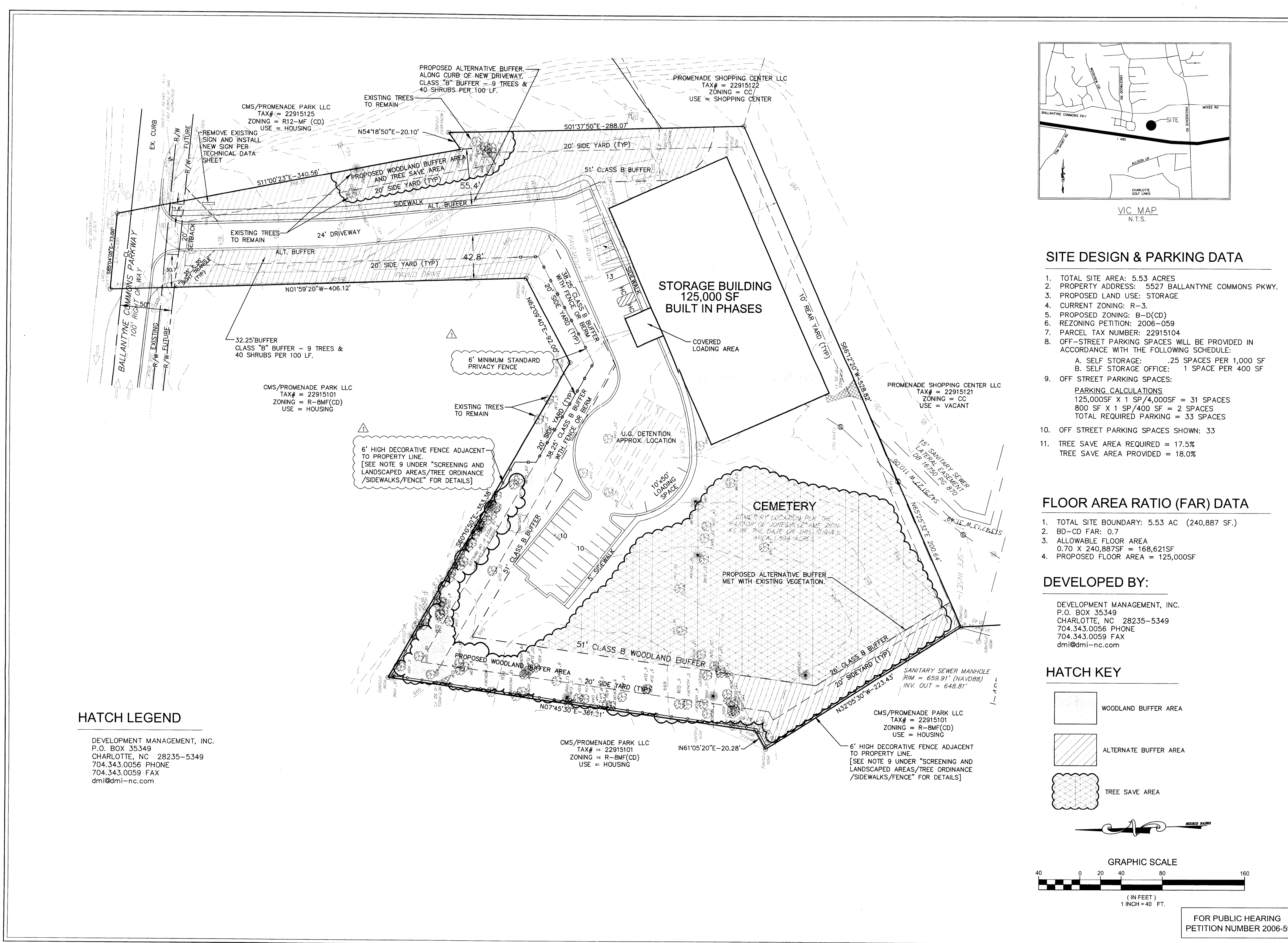


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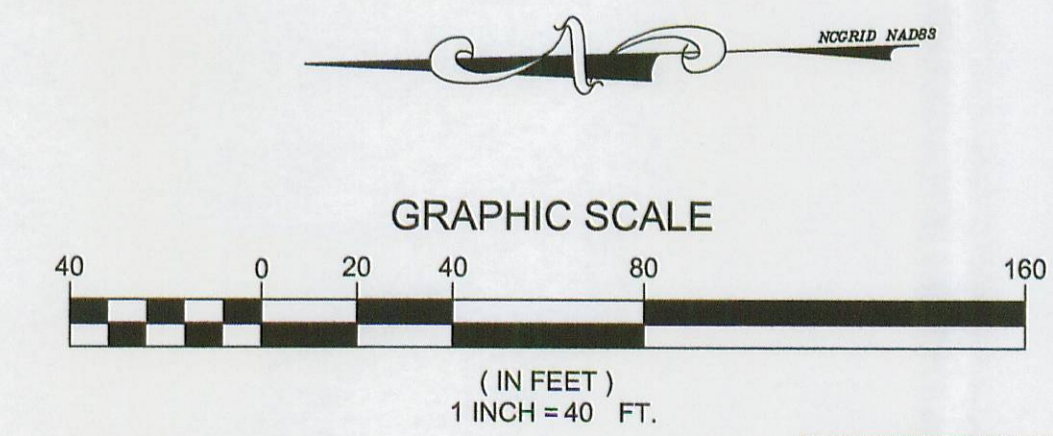
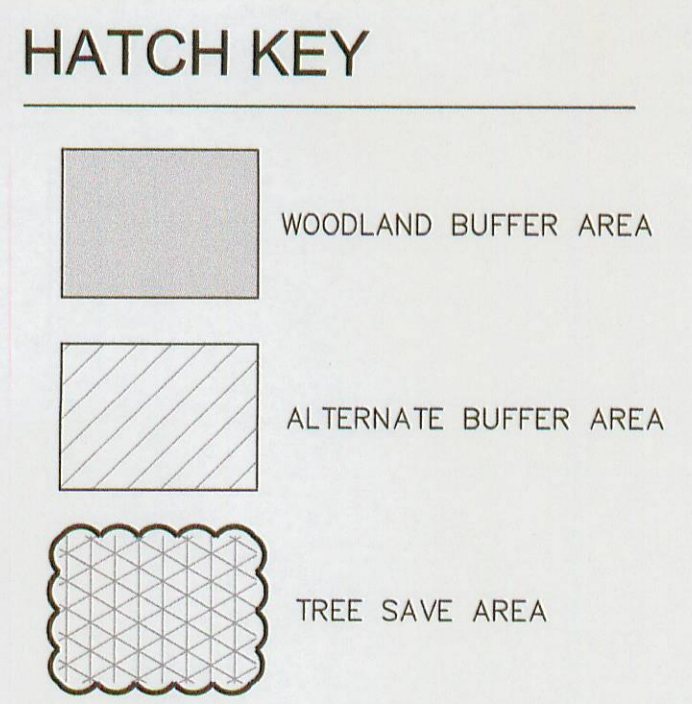
dmi logo and contact information for Development Management, Inc.

Ballantyne Commons Storage Conditional Rezoning Plan title block with project details.

Schematic Plan title block with date, scale, and sheet information.



| PLANTING LEGEND & SCHEDULE | | | | |
|----------------------------|---|--------------------|----------|------------------------|
| SYMBOL | BOTANICAL NAME | COMMON NAME | QUANTITY | SIZE |
| | PRUNUS SERRULATA 'KWANZAN' | KWANZAN CHERRY | PER PLAN | 10' HT. |
| | QUERCUS PHELLOS | WILLOW OAK | PER PLAN | 2.5" MIN. B&B, 12' HT. |
| | ACER RUBRUM | RED MAPLE | PER PLAN | 2.5" MIN. B&B, 12' HT. |
| | CYPRESSOCYPARIS LEYLANDII | LEYLAND CYPRESS | PER PLAN | 2.5" MIN. B&B, 12' HT. |
| | RHODODENDRON INDICA 'CORAL BELLS' TREE | CORAL BELLS AZALEA | PER PLAN | 36" MIN. HT. |
| | PRUNUS X. YEDOENSIS | YOSHINO CHERRY | PER PLAN | 2.5" MIN. B&B, 10' HT. |
| | LIGUSTRUM JAPONICUM | WAX LEAF LIGUSTRUM | PER PLAN | 36" MIN. HT. |
| | SHRUBS RAPHIOLEPSIS UMBELLATA 'INDIAN PRINCESS' | INDIAN HAWTHORN | PER PLAN | 36" MIN. HT. |
| | ILLEX X ATTENUATA 'FOSTERI' | FOSTER HOLLY | PER PLAN | 2.5" MIN. B&B, 12' HT. |
| | ABELIA X GRANDIFLORA | GLOSSY ABELIA | PER PLAN | 36" MIN. HT. |



FOR PUBLIC HEARING
PETITION NUMBER 2006-59

| NO. | DATE | DESCRIPTION |
|-----|----------|--|
| 1 | 03-21-07 | REVISED SCREEN FENCES & CEMETARY EASEMENT NOTE |

200 S. COLLEGE ST
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 CHARLOTTE, NC 28202
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STEWART

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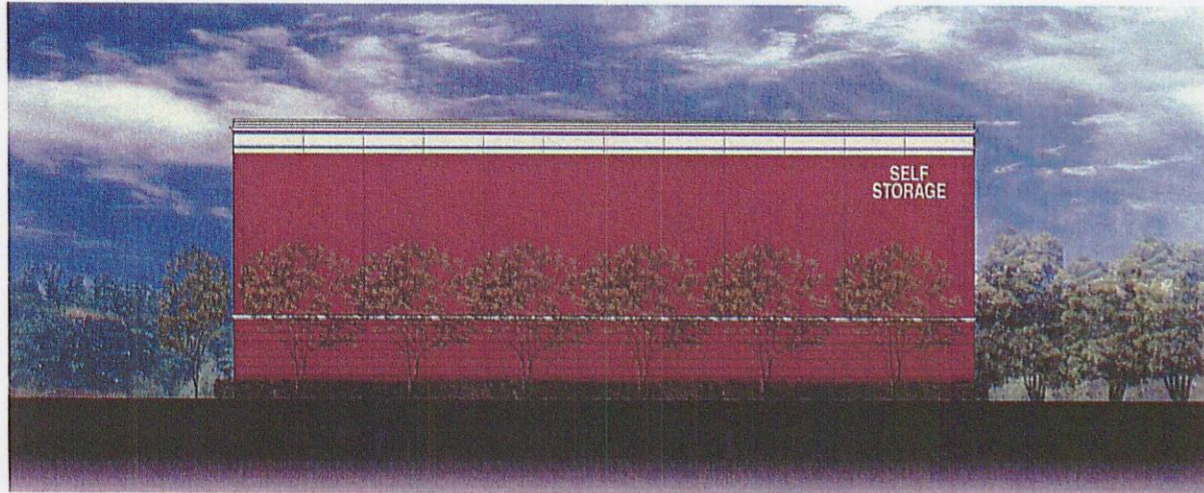
dmi

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BALLANTYNE COMMONS
 STORAGE
 CONDITIONAL REZONING PLAN
 BALLANTYNE COMMONS PARKWAY
 CITY OF CHARLOTTE
 MECKLENBURG COUNTY, NORTH CAROLINA

LANDSCAPE PLAN
 DATE: 11-28-06
 SCALE: HORIZ: 1" = 40'
 JOB NO. X5019
 SHEET: **3 OF 3**

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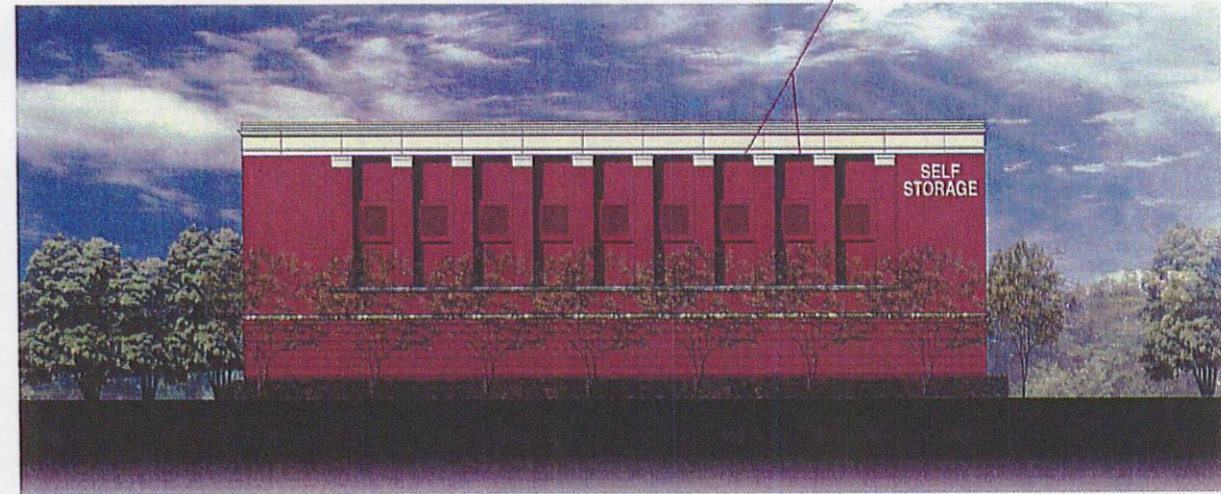
WEST ELEVATION

7 September 2006

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EAST ELEVATION

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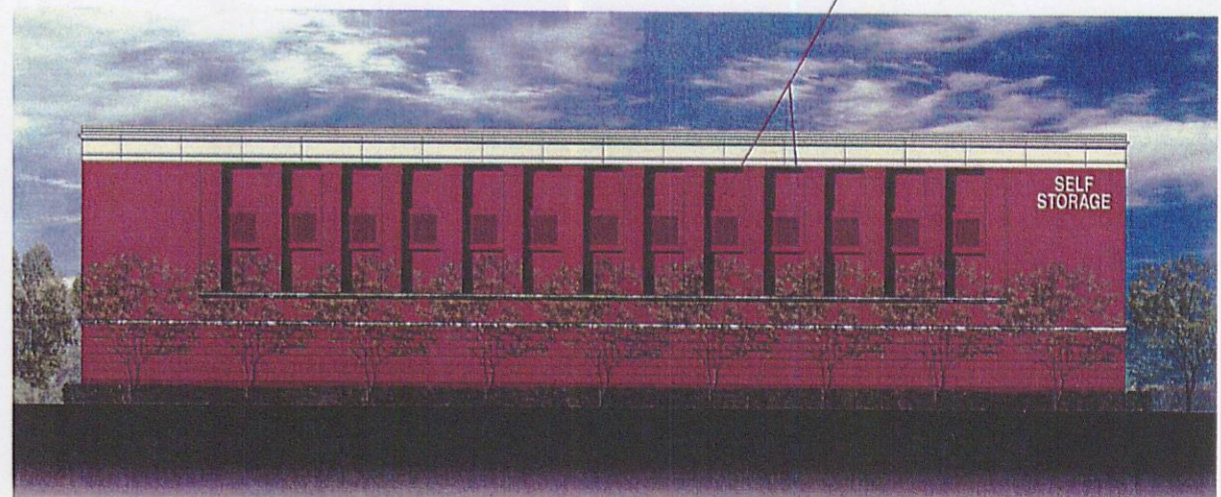
NORTH ELEVATION

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SOUTH ELEVATION

7 September 2006

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