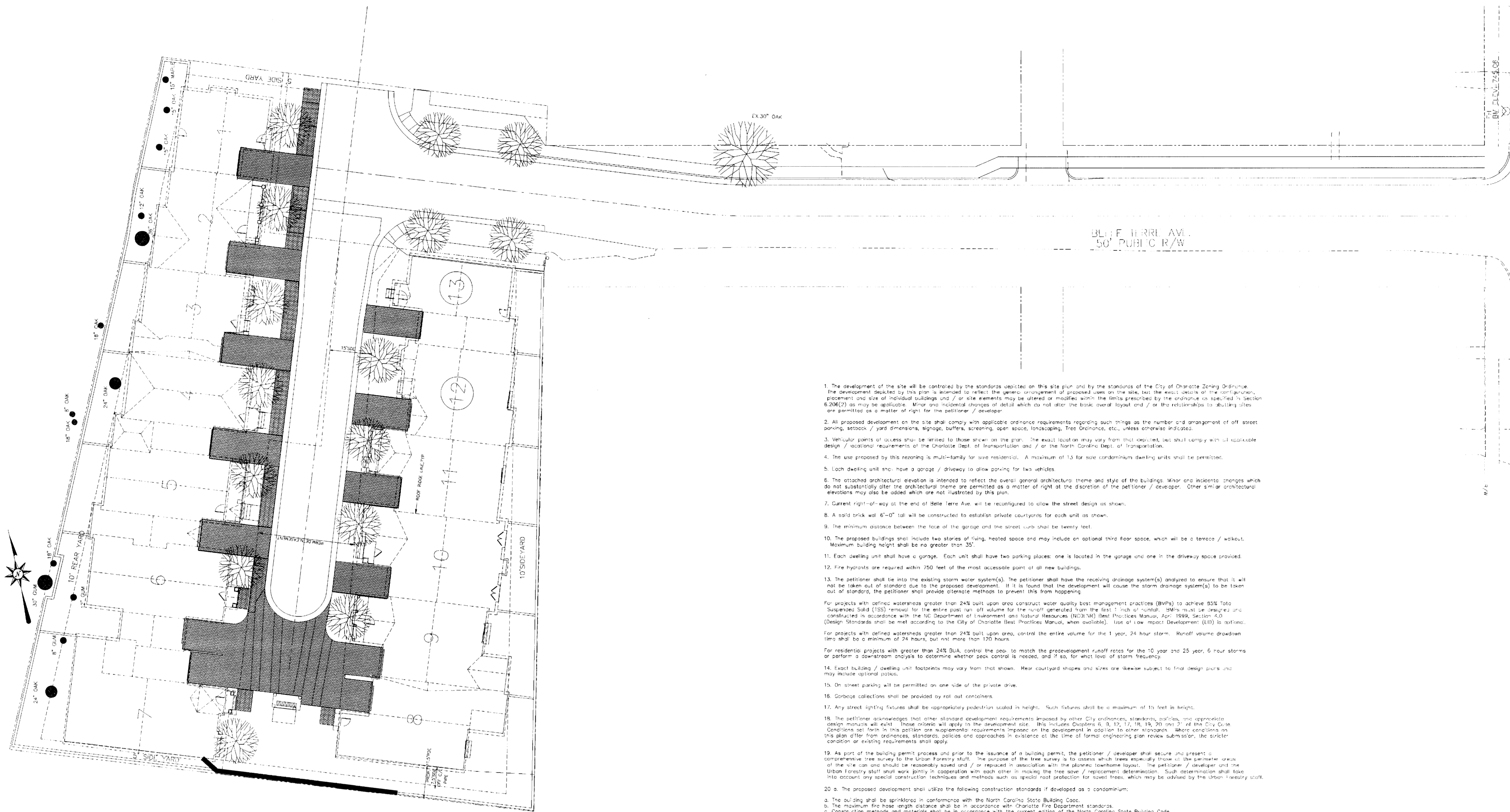
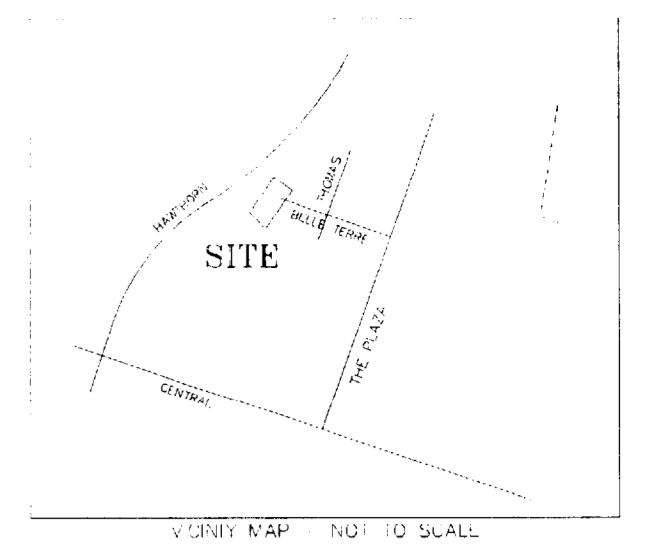


BELLE TERRE AVENUE CHARLOTTE, NORTH CAROLINA



1. The development of the site will be controlled by the standards specified on this site plan and by the standards of the City of Charlotte Zoning Ordinance. The development shown on this plan is intended to reflect the general arrangement of proposed uses on the site, but the exact location of the buildings, placement and size of individual buildings and/or site elements may be altered or modified within the limits prescribed by the ordinance as specified in Section 6.206(2) as may be applicable. Minor and incidental changes of detail which do not alter the basic overall layout and/or the relationship to existing sites are permitted as a matter of right for the petitioner / developer.
2. All proposed development on the site shall comply with applicable ordinance requirements regarding such things as the number and arrangement of off-street parking, setbacks, yard dimensions, signage, buffers, screening, open space, landscaping, tree ordinances, etc., unless otherwise indicated.
3. The location of parking spaces shall be related to those shown on the plan. The exact location may vary from that depicted, but shall comply with all applicable design / location requirements of the Charlotte Board of Transportation and/or the North Carolina Dept. of Transportation.
4. The use proposed by this rezoning is multi-family for non-residential. A maximum of 13 for-site condominium parking units shall be permitted.
5. Each dwelling unit shall have a garage / driveway to allow parking for two vehicles.
6. The attached architectural elevation is intended to reflect the overall general architectural theme and style of the buildings. Minor and incidental changes which do not substantially alter the architectural theme are permitted as a matter of right at the discretion of the petitioner / developer. Other minor architectural elevations may also be added which are not illustrated by this plan.
7. Current right-of-way at the end of Belle Terre Ave. will be reconfigured to allow the street design as shown.
8. A solid brick wall 6'-0" tall will be constructed to establish private courtyards for each unit as shown.
9. The minimum distance between the face of the garage and the street curb shall be twenty feet.
10. The proposed buildings shall include two stories of living, heated space and may include an optional third floor space, which will be a terrace / walkout. Maximum building heights shall be no greater than 33'.
11. Each dwelling unit shall have a garage. Each unit shall have two parking places: one is located in the garage and one in the driveway space provided.
12. Fire hydrants are required within 750 feet of the most accessible point of all new buildings.
13. The petitioner shall tie into the existing storm water system(s). The petitioner shall have the existing drainage system(s) analyzed to ensure that it will not be taken out of service due to the proposed development. If it is found that the development will cause the storm drainage system(s) to be taken out of service, the petitioner shall provide alternate methods to prevent this from happening.
14. For projects with defined watershed greater than 245 sq. ft. shall have a storm water quality best management practices (BMPs) to achieve 80% Total Suspended Solids (TSS) removal for the entire post-run off volume for the runoff generated from the last 1" inch of rainfall. BMPs must be designed and constructed in accordance with the N.C. Department of Environment and Natural Resources (N.C. Dept. of Environment and Natural Resources), Section 613 (Design Standards) shall be met according to the City of Charlotte Best Practices Manual, when available. Use of low impact Development (LID) is optional.
15. For projects with defined watershed greater than 245 sq. ft. shall have a storm water quality best management practices (BMPs) to achieve 80% Total Suspended Solids (TSS) removal for the entire post-run off volume for the runoff generated from the last 1" inch of rainfall. BMPs must be designed and constructed in accordance with the N.C. Department of Environment and Natural Resources (N.C. Dept. of Environment and Natural Resources), Section 613 (Design Standards) shall be met according to the City of Charlotte Best Practices Manual, when available. Use of low impact Development (LID) is optional.
16. For projects with defined watershed greater than 245 sq. ft. shall have a storm water quality best management practices (BMPs) to achieve 80% Total Suspended Solids (TSS) removal for the entire post-run off volume for the runoff generated from the last 1" inch of rainfall. BMPs must be designed and constructed in accordance with the N.C. Department of Environment and Natural Resources (N.C. Dept. of Environment and Natural Resources), Section 613 (Design Standards) shall be met according to the City of Charlotte Best Practices Manual, when available. Use of low impact Development (LID) is optional.
17. For projects with defined watershed greater than 245 sq. ft. shall have a storm water quality best management practices (BMPs) to achieve 80% Total Suspended Solids (TSS) removal for the entire post-run off volume for the runoff generated from the last 1" inch of rainfall. BMPs must be designed and constructed in accordance with the N.C. Department of Environment and Natural Resources (N.C. Dept. of Environment and Natural Resources), Section 613 (Design Standards) shall be met according to the City of Charlotte Best Practices Manual, when available. Use of low impact Development (LID) is optional.
18. On-street parking shall be permitted on one side of the private drive.
19. Any street lighting fixtures shall be appropriately pedestrian scaled in height. Such fixtures shall be a maximum of 10 feet in height.
20. The petitioner acknowledges that other standard development requirements imposed by other City ordinances, state laws, and/or other applicable codes, rules, regulations, and/or ordinances shall apply. These include but are not limited to: the N.C. Department of Environment and Natural Resources (N.C. Dept. of Environment and Natural Resources), Section 613 (Design Standards) shall be met according to the City of Charlotte Best Practices Manual, when available. Use of low impact Development (LID) is optional.
21. As part of the building permit process and prior to the issuance of a building permit, the petitioner / developer shall secure and present a comprehensive tree survey to the Urban Forestry staff. The purpose of the tree survey is to identify which trees are equal to or greater than the minimum size of all the trees on the site which shall be preserved and/or protected. The petitioner / developer and the Urban Forestry staff shall work jointly in cooperation with each other in making the tree survey / report. Determination of which trees to preserve shall be based on the report, any special construction techniques and methods such as special root protection for special trees, which may be advised by the Urban Forestry staff.
22. a. The proposed development shall utilize the following construction standards if developed as a condominium:
 i. The building shall be sprinklered in conformance with the North Carolina State Building Code.
 ii. The minimum fire alarm distance shall be in accordance with Charlotte Fire Department standards.
 iii. Construction methods and materials shall be in accordance with the current edition of the North Carolina State Building Code.
 b. The proposed development shall utilize the following construction standards if developed as low-rise townhouses:
 i. The building shall be built in conformance with the North Carolina State Building Code and the building shall not be sprinklered.
 ii. Maximum fire alarm distance shall be in accordance with Charlotte Fire Department standards.
 iii. Construction methods and materials shall be in accordance with the current edition of the North Carolina State Building Code.
23. The petitioner / developer will construct new curb, gutter and street improvements along one side (the northern side) of Belle Terre Avenue from the existing site boundary to the intersection of Thomas Avenue. These improvements, which are not recorded in the historical and/or outside the boundary of the rezoning site, will be constructed in accordance with typical City of Charlotte standards and requested for the design and construction of such improvements. Furthermore, these improvements will be constructed as part of the construction of the proposed townhome development and will be completed per the approval of the City of Charlotte prior to the issuance of the first Certificate of Occupancy associated with the proposed development.

COVER SHEET WITH CD NOTES

GO DEVELOPMENT PLAN

C1.1 SITE PLAN

C1.2 BELLE TERRE PLAN AND PRO-ILL

C2.2 GRADING, DRAINAGE AND EROSION CONTROL

C3.1 SITE UTILITIES

C4.1 SITE DETAILS

C4.2 SITE DETAILS

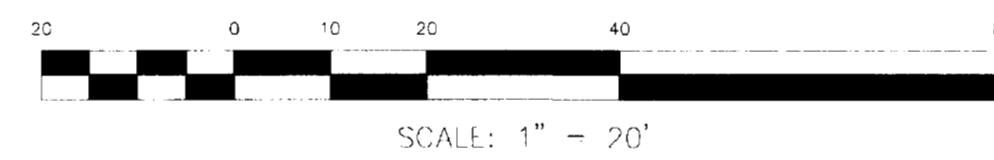
L1.1 LANDSCAPE PLAN

L1.2 LANDSCAPE NOTES AND DETAILS

**ATTACHED TO ADMINISTRATIVE
APPROVAL**

DATED: 5-17-2011 *SF*

BY: DEBRA D. CAMPBELL



DATE: May 17, 2011

TO: Mark Fowler
Zoning Supervisor

FROM: Debra Campbell
Planning Director

SUBJECT: Administrative Approval for Petition No. 2006-073 by Project Innovations, LLC

Attached are revised conditional notes for the above petition. The notes have been revised to address the Fire Department and Building code based on the type of building to be constructed. Since this change is minor and does not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving these plans. Please use these plans when evaluating requests for building permits and certificates of occupancy.

Note all other conditional notes and ordinance requirements still apply.