

**Key/Legend:**

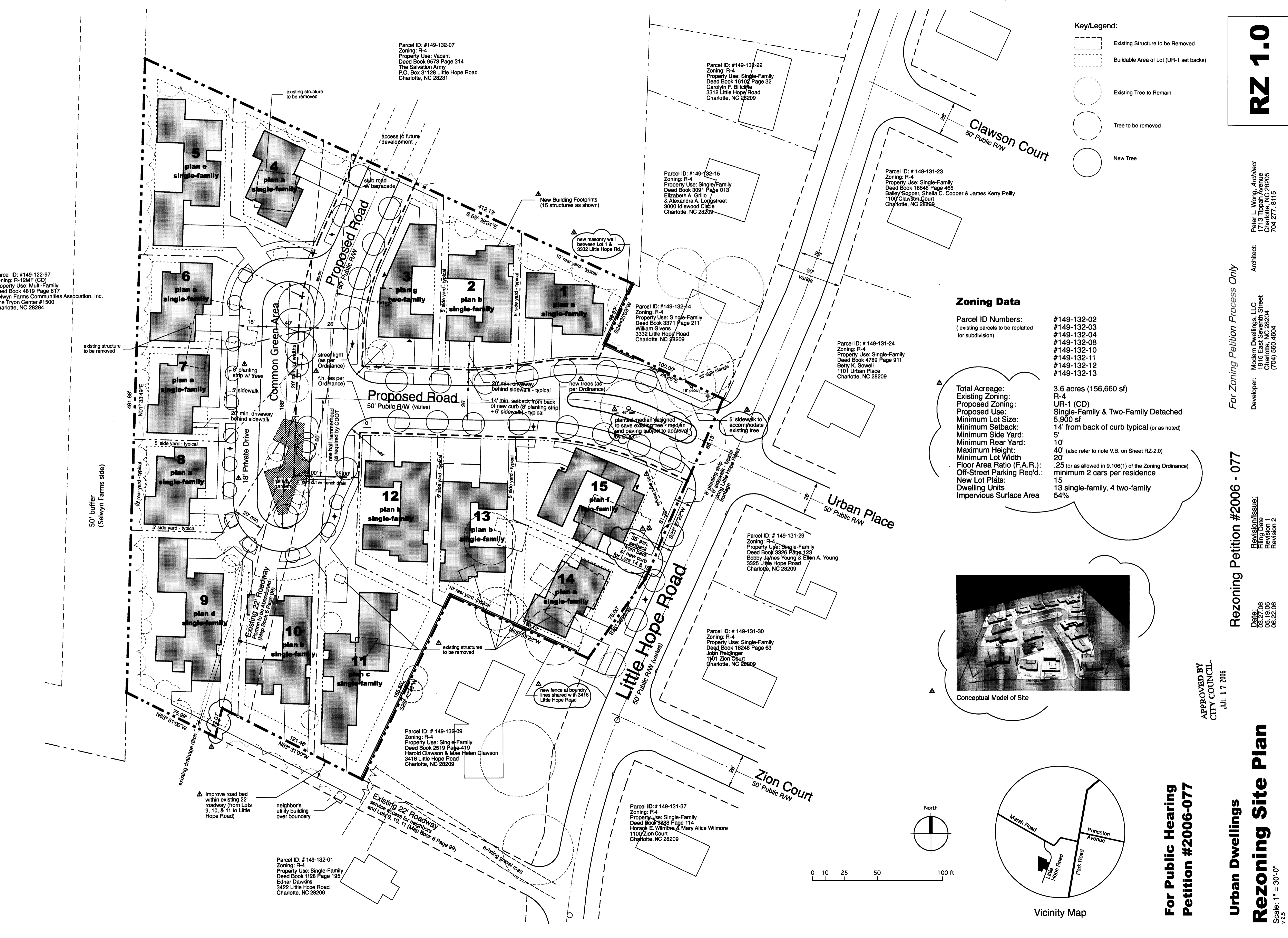
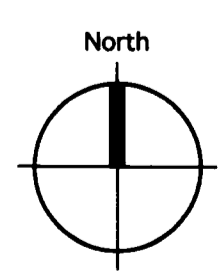
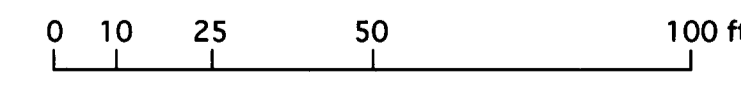
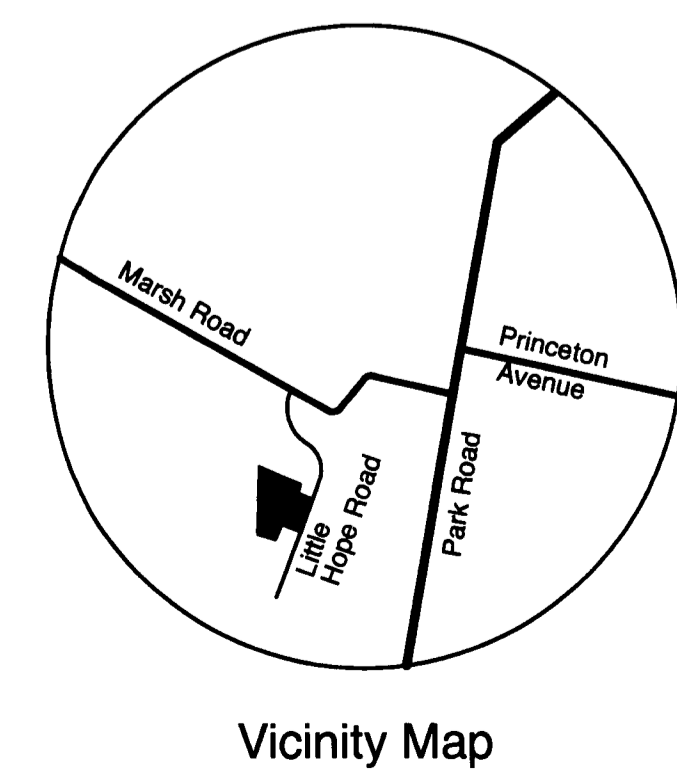
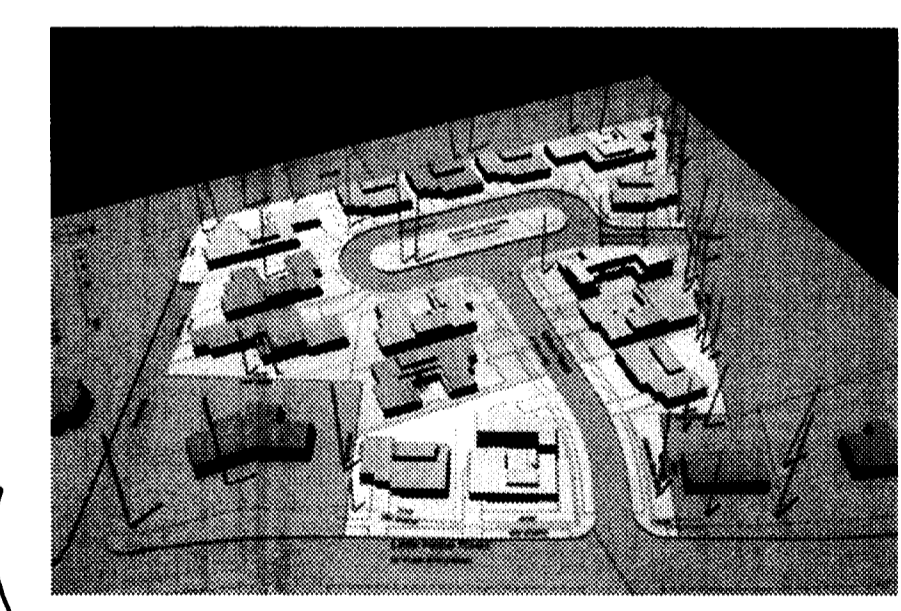
- Existing Structure to be Removed
- Buildable Area of Lot (UR-1 set backs)
- Existing Tree to Remain
- Tree to be removed
- New Tree

**Zoning Data**

Parcel ID Numbers:  
(existing parcels to be replatted for subdivision)

#149-132-02	#149-132-03	#149-132-04	#149-132-08	#149-132-10	#149-132-11	#149-132-12	#149-132-13
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Total Acreage: 3.6 acres (156,660 sf)  
 Existing Zoning: R-4  
 Proposed Zoning: UR-1 (CD)  
 Proposed Use: Single-Family & Two-Family Detached  
 Minimum Lot Size: 5,900 sf  
 Minimum Setback: 14' from back of curb typical (or as noted)  
 Minimum Side Yard: 5'  
 Minimum Rear Yard: 10'  
 Maximum Height: 40' (also refer to note V.B. on Sheet RZ-2.0)  
 Minimum Lot Width: 20'  
 Floor Area Ratio (F.A.R.): .25 (or as allowed in 9.106(1) of the Zoning Ordinance)  
 Off-Street Parking Req'd.: minimum 2 cars per residence  
 New Lot Plats: 15  
 Dwelling Units: 13 single-family, 4 two-family  
 Impervious Surface Area: 54%



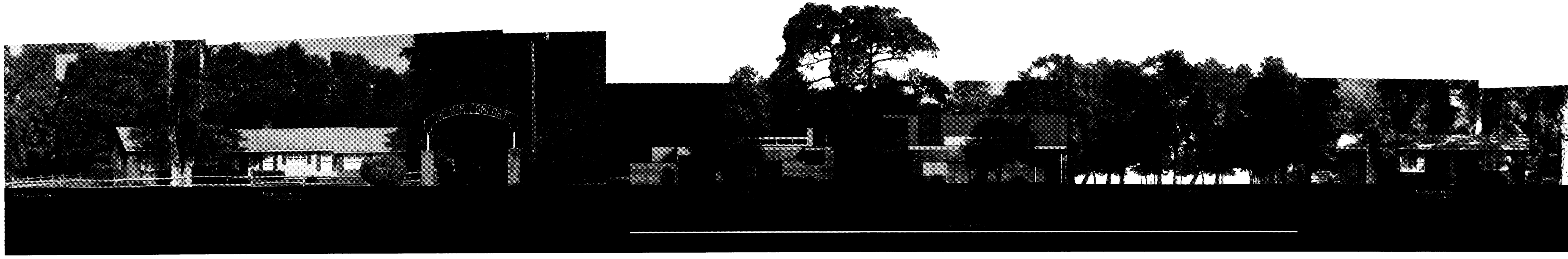
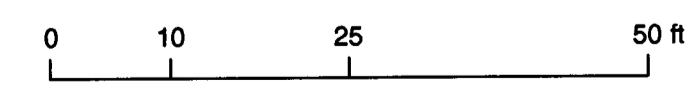
**For Public Hearing  
Petition #2006-077**

**Urban Dwellings  
Street Elevations**

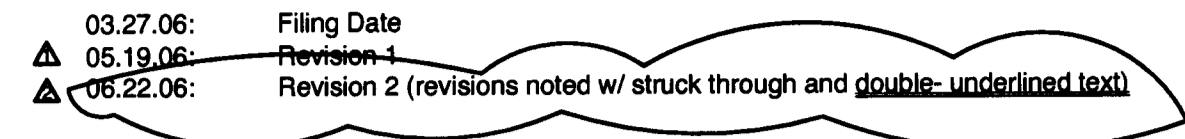
Scale: 1/16" = 1'-0"  
v.2.5

**Little Hope Road Street Elevations  
viewing West**

**Street Elevations @ New Proposed Street  
viewing South**



DEVELOPMENT STANDARDS



I. GENERAL COMMITMENT:

These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by Modern Dwellings, LLC to accommodate the development of an approximately 3.6 acre parcel of land located on Little Hope Road at its intersection with Urban Place, which parcel of land is more particularly depicted on the Rezoning Plan (hereinafter referred to as the "Site").

The development of the Site will be governed by the Rezoning Plan, these Development Standards and the standards established under the City of Charlotte Zoning Ordinance (the "Ordinance") for the UR-1 zoning district unless more stringent standards are established by these Development Standards or this Rezoning Plan.

II. PERMITTED USES:

The Site may be devoted only to the following uses:

A maximum of 13 for sale single family detached dwelling units, and a maximum of 4 for sale duplex dwelling units, as well as any incidental or accessory use in connection therewith which is permitted by right or under prescribed conditions in the UR-1 zoning district. The duplex dwelling units shall may be located only on Lots 3 and 15.

Notwithstanding the foregoing, Petitioner reserves the right to construct single family detached dwelling units on Lots 3 and 15 in lieu of duplex dwelling units, in which event the maximum number of dwelling units permitted on the Site shall be 15.

III. AREA AND YARD REQUIREMENTS:

- A. Minimum Lot Area: 6,500 5,900 square feet
B. Minimum Side Yard: 5 feet
C. Minimum Setback: Lots 1-13: 14 feet from back of proposed curb; Lots 14 & 15: 25 35 feet from back of proposed curb along Little Hope Road right-of way
D. Minimum Rear Yard: 10 feet
E. Minimum Lot Width: 20 feet

IV. TREE ORDINANCE/TREE SAVE AREAS:

- A. The Site shall comply with the requirements of the City of Charlotte Tree Ordinance.
B. At least Approximately 54% of the Site will be impervious area. Accordingly, a minimum of 10 percent of the Site shall be devoted to tree save areas. Tree save areas may be located on individual lots.
C. As depicted on the Rezoning Plan, Petitioner shall install a median in the new public street near the entrance into the Site in an effort to preserve an existing 48 inch oak tree.

V. ARCHITECTURAL COMMITMENTS:

- A. The maximum height of any dwelling unit constructed on the Site shall be 40 feet.
B. Notwithstanding subparagraph A above, a second story on the single family detached dwelling unit to be constructed on lot 14 must be located a minimum of 15 feet from the front facade of the dwelling unit. A residential duplex building is planned to be constructed on lot 15, and the dwelling unit to be located adjacent to Little Hope Road may not exceed one story in height, provided, however, that the dwelling unit to be located to the rear of the dwelling unit adjacent to Little Hope Road may exceed one story in height. In the event that a single family detached dwelling unit is constructed on lot 15 instead of the planned residential duplex building, a second story on the single family detached dwelling unit must be located a minimum of 15 feet from the front facade of the dwelling unit.
C. All garages shall be setback a minimum of 20 feet from the back of sidewalk.
D. Attached are schematic architectural elevations of the proposed dwelling units to be constructed on the Site that are intended to depict the general conceptual architectural style, character and elements of the proposed dwelling units. Accordingly, any dwelling unit constructed on the Site must be substantially similar in appearance to the attached schematic architectural elevations in terms of its architectural style, character and elements. Changes and alterations which do not materially change the overall conceptual architectural style and character are permitted based upon final design/construction drawings.

E. The primary exterior building materials for the dwelling units to be constructed on the Site shall be masonry (brick, concrete masonry units), stucco (cementitious and synthetic), concrete, cement fiber board, wood, metal, glass, single-ply roofing: EPDM (ethylene propylene diene monomer), TPO (thermoplastic polyolefin) or similar materials, and metal roofing. The use of vinyl as an exterior building material shall be prohibited.

E. That portion of the first floor of the single family detached dwelling unit to be constructed on lot 14 that faces or fronts Little Hope Road shall have a primarily brick facade. That portion of the front duplex dwelling unit to be constructed on lot 15 adjacent to Little Hope Road that faces or fronts Little Hope Road shall have a primarily brick facade. In the event that a single family detached dwelling unit is constructed on Lot 15 in lieu of the residential duplex building, then that portion of the first floor of the single family detached dwelling unit that faces or fronts Little Hope Road shall have a primarily brick facade. The brick shall be compatible with the surrounding homes, however, the brick shall not be required to be identical in terms of color, size or texture.

G. Prior to the issuance of a certificate of occupancy for the first dwelling unit constructed on the Site, Petitioner shall construct a 6 foot tall brick wall along that portion of the Site's common boundary line with Tax Parcel No. 149-132-14 that is more particularly depicted on the Rezoning Site Plan.

H. At a minimum, Petitioner shall install privacy or screening fences along those portions of the Site's external boundary lines that are more particularly depicted on the Rezoning Plan. Petitioner may install privacy or screening fences along other portions of the Site's external boundary lines or along internal property lines at its discretion. Chain link fences may not be installed along any portion of the Site's external boundary lines.

VI. LIGHTING:

- A. All freestanding lighting fixtures installed within the Site shall be uniform in design, and the maximum height of any such lighting fixture, including its base, may not exceed 15 feet.
B. All freestanding light fixtures (except street lights along any public or private street) shall be capped and the illumination downwardly directed so that direct illumination does not extend past any property line of the Site. Consideration will be given to the impact of lighting both within and without the perimeter of the Site. Items for consideration will include intensity, cut-off angles, color, energy efficiency and shielding of sources of light, the intent being to eliminate glare towards adjacent properties.

VII. OFF-STREET PARKING:

A minimum of 2 off-street parking spaces per dwelling unit shall be provided on the Site.

VIII. SIGNS:

All signs placed on the Site will be erected in accordance with the requirements of the Ordinance.

IX. VEHICULAR ACCESS/STREETS:

- A. Vehicular access to the Site shall be as generally depicted on the Rezoning Plan. The placement and configuration of the access point are subject to any minor modifications required to accommodate final site plans and designs and to any adjustments required for approval by the Charlotte Department of Transportation.
B. The Site shall be served by 2 public streets and 1 private street as depicted on the Rezoning Plan.
C. A stub street shall be provided to the parcel of land located on the Site's northern boundary line as depicted on the Rezoning Plan.

X. STORM WATER

Petitioner shall construct water quality best management practices ("BMPs") to achieve 85 percent total suspended solid removal for the entire post development runoff volume for the runoff generated from the first 1-inch of rainfall. BMPs shall be designed and constructed in accordance with the N.C. Department of Environment and Natural Resources (NCDENR) Best Management Practices Manual, April 1999, Section 4.0 (Design Standards shall be met according to the City of Charlotte Best Management Practices Manual, when available). Use of low impact development techniques is optional.

XI. SIDEWALKS/CURB AND GUTTER:

- A. Petitioner shall install an 8 foot planting strip and a 6 foot sidewalk along the Site's frontage on Little Hope Road as depicted on the Rezoning Plan.
B. Petitioner shall install an 8 foot planting strip and a 6 foot sidewalk along both sides of the new public streets to be constructed within the Site as depicted on the Rezoning Plan.

- C. Petitioner shall install an 8 foot planting strip and a 5 foot sidewalk along one side of the internal private street as depicted on the Rezoning Plan.
D. Street trees shall be planted within the planting strips in accordance with the requirements of the Ordinance.
E. Petitioner shall install curb and gutter along the Site's frontage on Little Hope Road.

XII. HOMEOWNERS ASSOCIATION

The private street and the common areas of the Site shall be maintained by a to be formed homeowners association.

XIII. RIGHT OF WAY ABANDONMENT:

The Petitioner intends to request the abandonment of that portion of the 22 foot roadway that bisects the Site in a north-south direction.

XIV. AMENDMENTS TO THE REZONING PLAN:

Future amendments to the Rezoning Plan and these Development Standards may be applied for by the then Owner or Owners of the Site in accordance with the provisions of Chapter 6 of the Ordinance.

XV. BINDING EFFECT OF THE REZONING PETITION:

If this Rezoning Petition is approved, all conditions applicable to development of the Site imposed under this Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Petitioner and the current and subsequent owners of the Site and their respective successors in interest and assigns. Throughout these Development Standards, the terms, "Petitioner" and "owner" or "owners" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of Petitioner or the owner or owners of the Site from time to time who may be involved in any future development thereof.

For Public Hearing
Petition #2006-077

Urban Dwellings

Development Standards

Rezoning Petition #2006 - 077

For Zoning Petition Process Only

Date: 03.27.06
05.19.06
06.22.06
Revision/Issue:
Filing Date
Revision 1
Revision 2

Developer: Modern Dwellings, LLC
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Architect: