



02 PROPOSED CHARACTER SKETCH

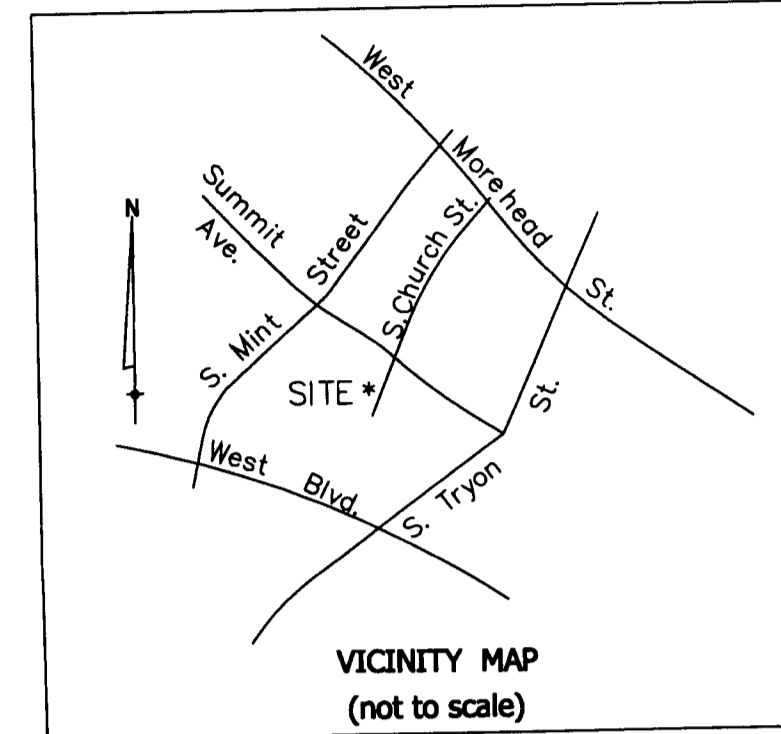
NOT TO SCALE

SITE PLAN NOTES

1. Development of the site will be controlled by the standards depicted on this site plan and by the standards of the Charlotte Zoning Ordinance. The development depicted on this plan is intended to reflect the arrangement of proposed buildings and uses on the site, but the exact configuration, placement, and size of individual site elements may be altered or modified within the limits prescribed by the ordinance or within the conditions identified below during the design development and construction phases.
2. Access to the site will be provided by driveway connections to Summit Avenue and to Church Street as generally depicted on this site plan.
3. The proposed use of the property will be for the redevelopment of the site to accommodate a small neighborhood center that may include retail, showroom, restaurant, office, residential, and other uses allowed in MUDD (OPTIONAL) Zoning. The buildings will be limited to 47 ft. in height. The Petitioner reserves the option for the free-standing buildings to be modified in size and orientation while keeping with the same architecture theme and allowable square footage.
4. Allowable materials for the project will include brick, stone or synthetic stone, Hardie Plank or wood siding, stucco or synthetic stucco, and glass. Awnings to be canvas or metal.
5. The plaza area depicted on the site plan will include seating & landscaping while the required bicycle parking may be located in or around this area.
6. All dumpsters will be screened with solid enclosures and gates. These areas are depicted on the site plan.
7. The proposed development will comply with all applicable Ordinance requirements for signage, screening, and landscaping. Building signage will meet section 9.506(2)(c) of the Zoning Ordinance.
8. All outdoor lighting shall be cut-off type lighting fixtures with the exception of lower, decorative lighting that may be installed along interior driveways, sidewalks, and parking areas. No "wall pak" lighting will be installed but architectural lighting on building facades will be permitted.
9. If any outdoor speakers are installed as part of the development, they will be directed away from any existing adjacent residential development and will not be allowed to be in use after midnight. In all cases the site will comply with the City's noise ordinance.
10. Parking will be provided which meets or exceeds the requirements of the Ordinance.
11. The Petitioner acknowledges that other standard development requirements imposed by other city ordinances, such as those that regulate streets, sidewalks, street trees, bicycle parking, and site development, may apply to the development of this site. These are not zoning regulations, are not administered by the Zoning Administrator, and are not separate zoning conditions imposed by this site plan. Unless specifically noted in the conditions for this site plan, these other standard development requirements will be applied to the development of this site as defined by those other city ordinances.
12. Throughout this Rezoning Petition, the terms "Owner", "Owners", "Petitioner" or "Petitioners," shall, with respect to the Site, be deemed to include the heirs, devisees, personal representatives, successors in interest and assignees of the owner or owners of the Site who may be involved in its development from time to time.
13. Proposed planting shown is conceptual only and will be subject to change and review of actual site conditions and Urban Forestry staff approval.
14. The petitioner shall work with Urban Forestry to determine the number and type of trees they will require during Landscape Plan review.
15. The petitioner will park according to MUDD standards.
16. A retaining wall will separate at-street grade from the proposed building and access envelopes. Access between grades will be provided at both ends of the site.
17. The seven building envelopes can be combined in any combination.
18. Development may be phased and the property may be subdivided.
19. The site may be all commercial, all residential or a mix of uses.

SITE DATA TABLE

TAX PARCEL NO.: 119-088-53, 54
 STREET ADDRESS: 1514, 1520, 1526 & 1532 S. Church Street
 SITE AREA: Approx. 1.89 Acres (81,022 SF)
 EXISTING ZONING: I-1
 PROPOSED ZONING: MUDD-O
 MAXIMUM PROPOSED BUILDING HEIGHT: 47'
 MAXIMUM PROPOSED BUILDING AREA: 67,800 sf
 PROPOSED BICYCLE PARKING: 6 Long Term, 6 Short Term



The petitioner acknowledges that the other standard development requirements imposed by other city ordinances, standards, policies, and appropriate design manuals will exist. Those criteria (for example, those that require buffers, regulate streets, sidewalks, trees, stormwater, and site development, etc.) will apply to the development site. This includes chapters 6, 9, 12, 17, 18, 19, 20, and 21 of the city code. Conditions set forth in this petition are supplemental requirements imposed on the development in addition to other standards. Where conditions on this plan differ from ordinances, standards, policies, and approaches in existence at the time of formal engineering plan review submission, the stricter condition or existing requirements shall apply.

Storm Water Quantity Control

The petitioner has previously designed and permitted a storm water management system that serves the developed site and connects to the existing storm water system. Any revisions to the site will be re-analyzed for compliance with City of Charlotte Storm Water detention policy.

Storm Quality Water Treatment

Because the petitioner has designed, permitted and constructed the storm water management system for the property, additional storm water quality treatment will not be possible for the densely developed site.

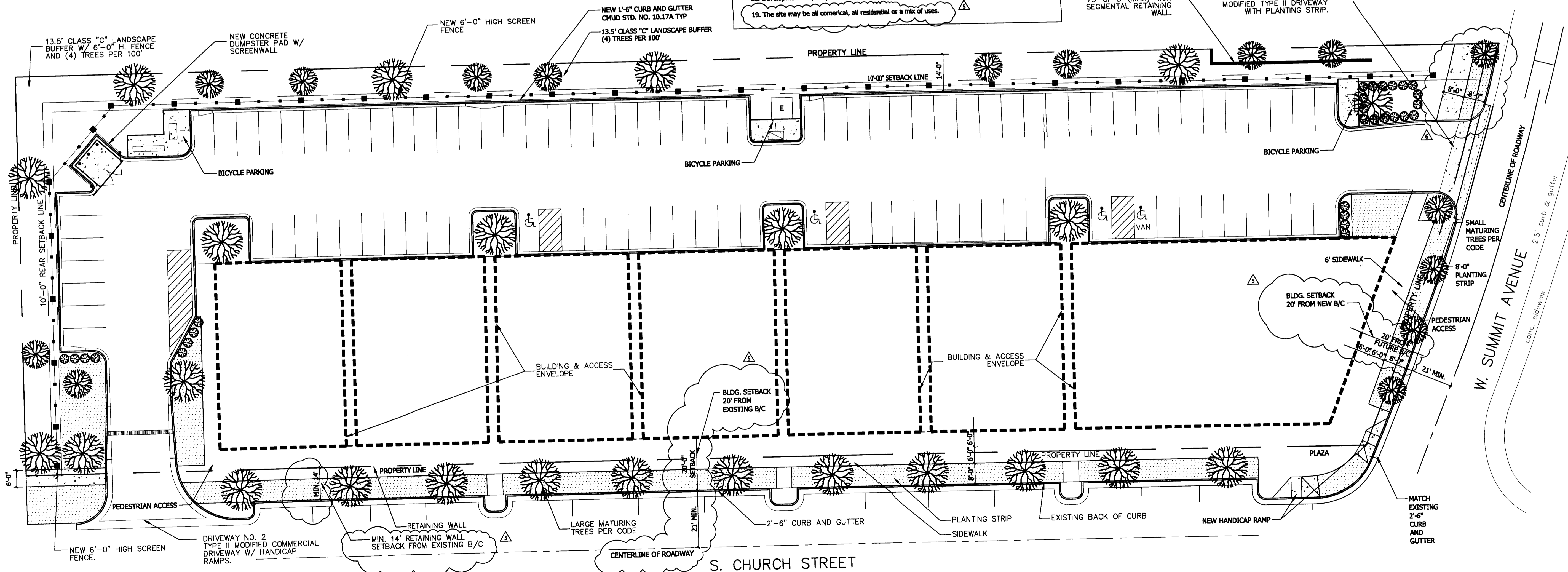
Volume and Peak Control

See comments above.

APPROVED BY
 CITY COUNCIL
 DEC 1 8 2006

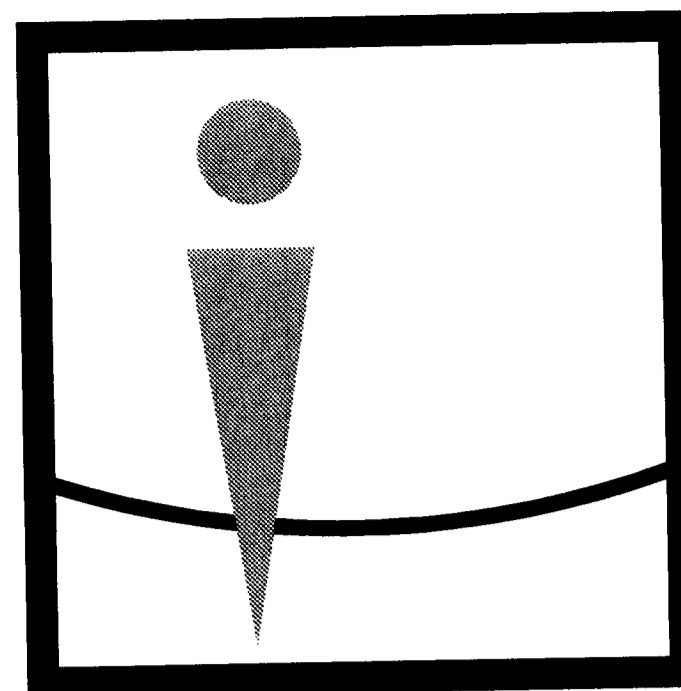
MUDD OPTIONAL NOTES

1. Various requirements of the South End Transit Plan will not be met and the option of an 8' sidewalk along the building facade facing Summit Ave will be provided as shown on the plan in lieu of the 8' required sidewalk.
2. Various requirements of the South End Transit Plan will not be met and the option of a minimum distance of 21' from the centerline of road to the back of curb will be permitted as shown on the plan.
3. Parking Area may be secured with a fence & gate system.



01 SITE PLAN

1" = 20'-0"



Overcash Demmitt
 Architects

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 charlotte north carolina 28203
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 fax • 7 0 4 . 3 3 2 . 0 1 1 7
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THE BOULEVARD COMPANY

SouthEnd
 ShowPlace

West Summit Ave. & S. Church St.
 Charlotte, North Carolina

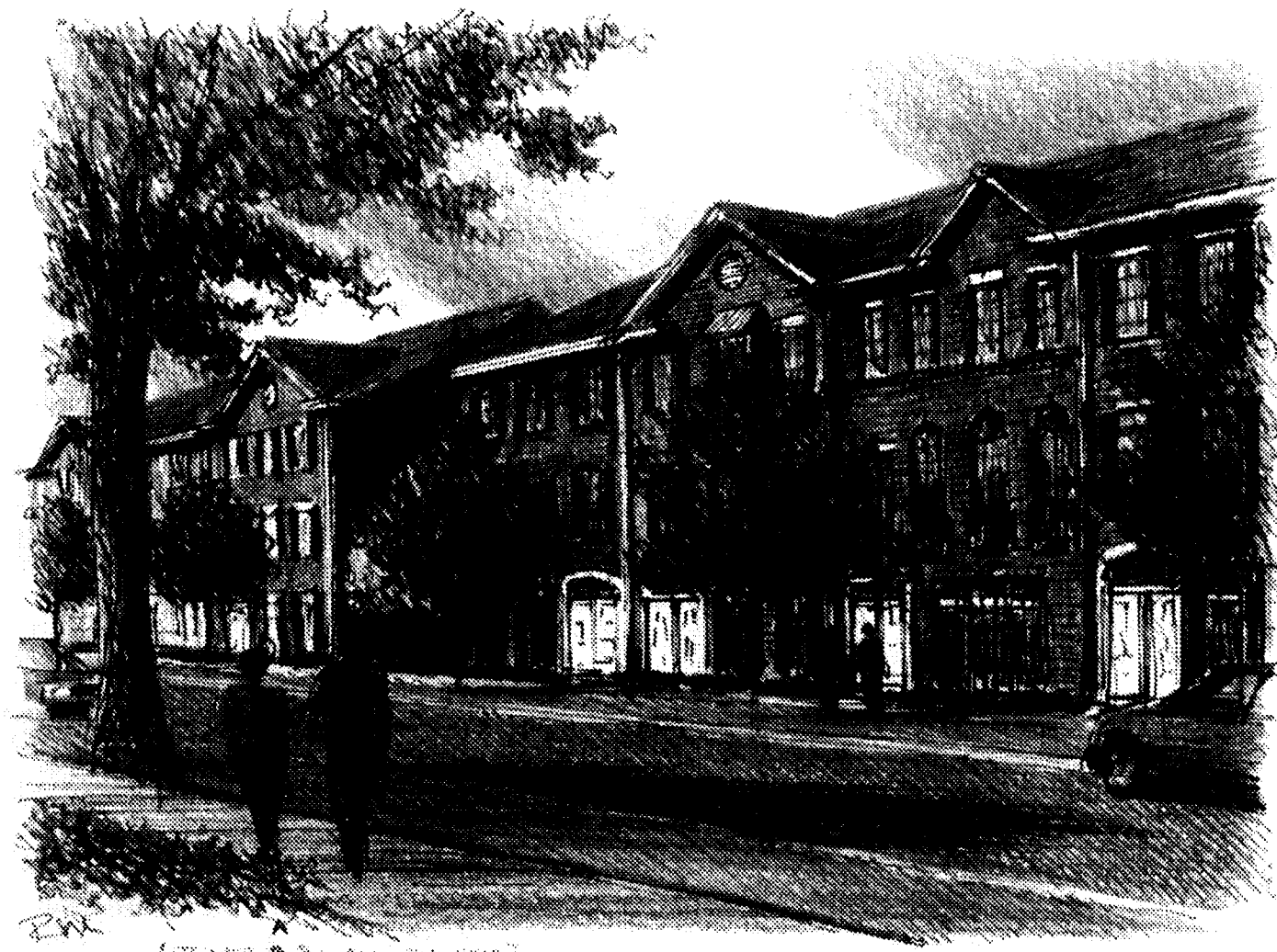
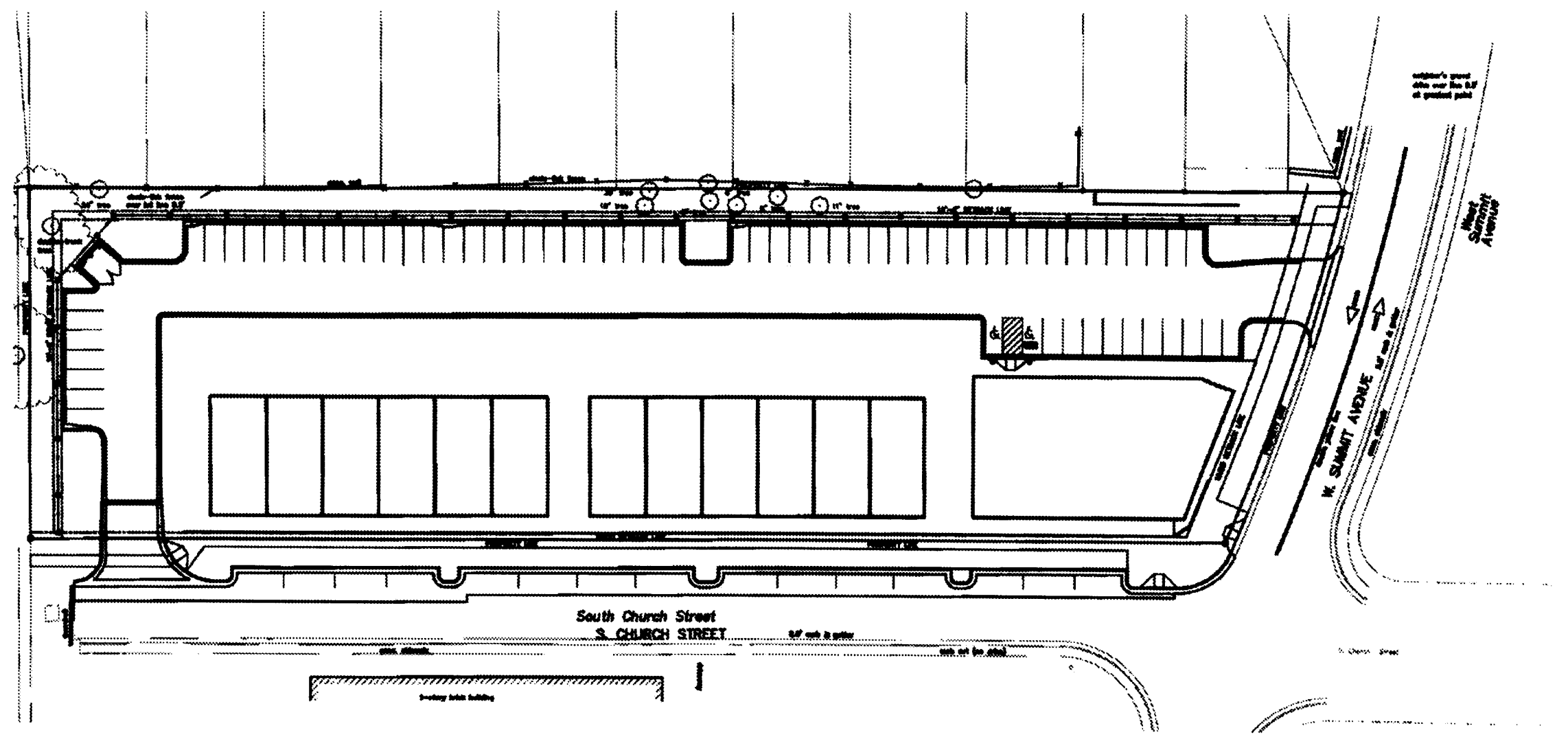
ISSUED	: MM/DD/YY
FOR REVIEW	: 06 - 12 - 06
REZONING SUBMITTAL	: 06 - 16 - 06
REZONING SUBMITTAL	: 07 - 14 - 06
REZONING SUBMITTAL	: 09 - 21 - 06
REZONING SUBMITTAL	: 09 - 25 - 06
REZONING SUBMITTAL	: 10 - 26 - 06
REZONING SUBMITTAL	: 10 - 31 - 06
REZONING SUBMITTAL	: 11 - 06 - 06

FOR PUBLIC HEARING
 PETITION NUMBER 2006-89

SITE PLAN
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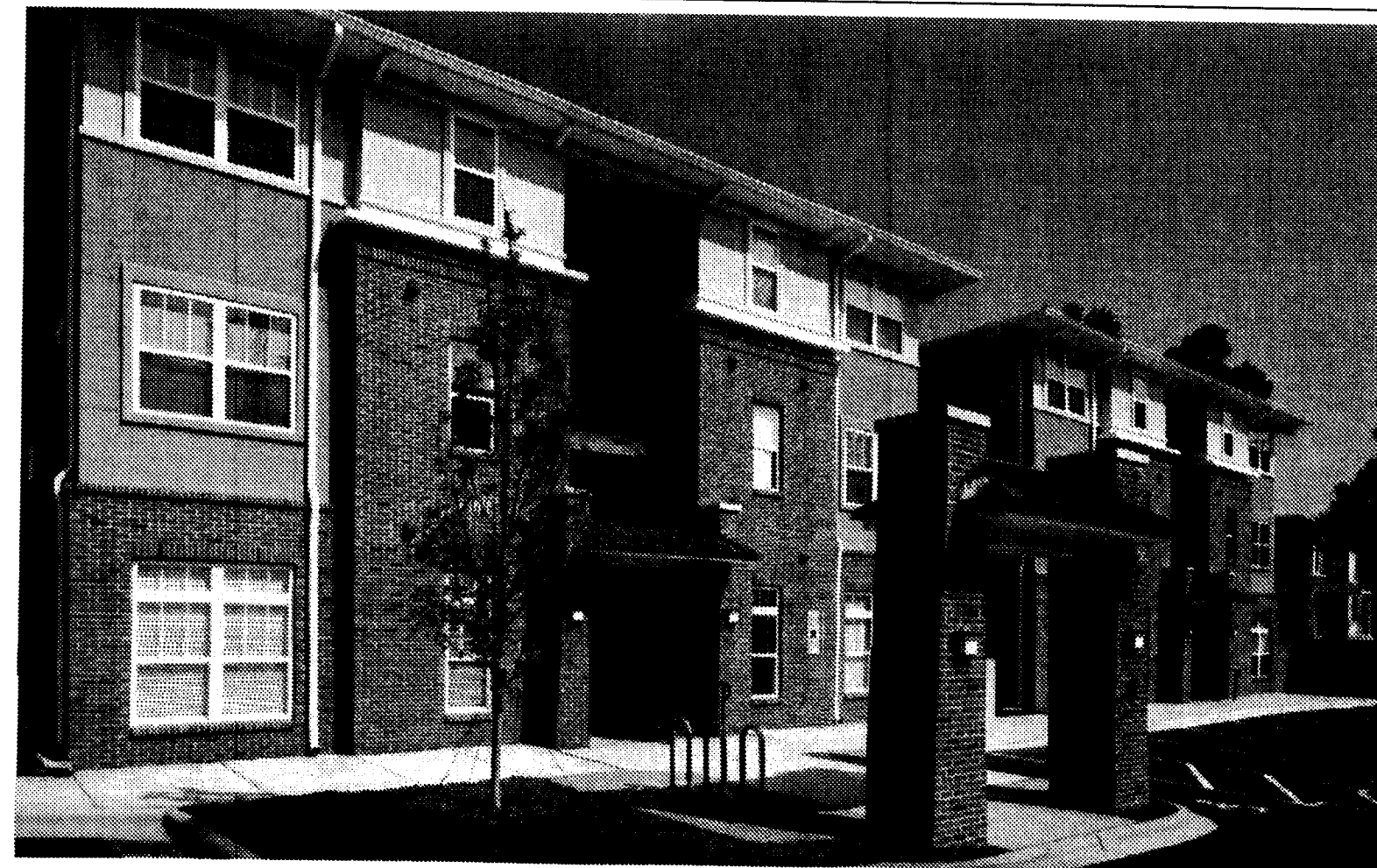
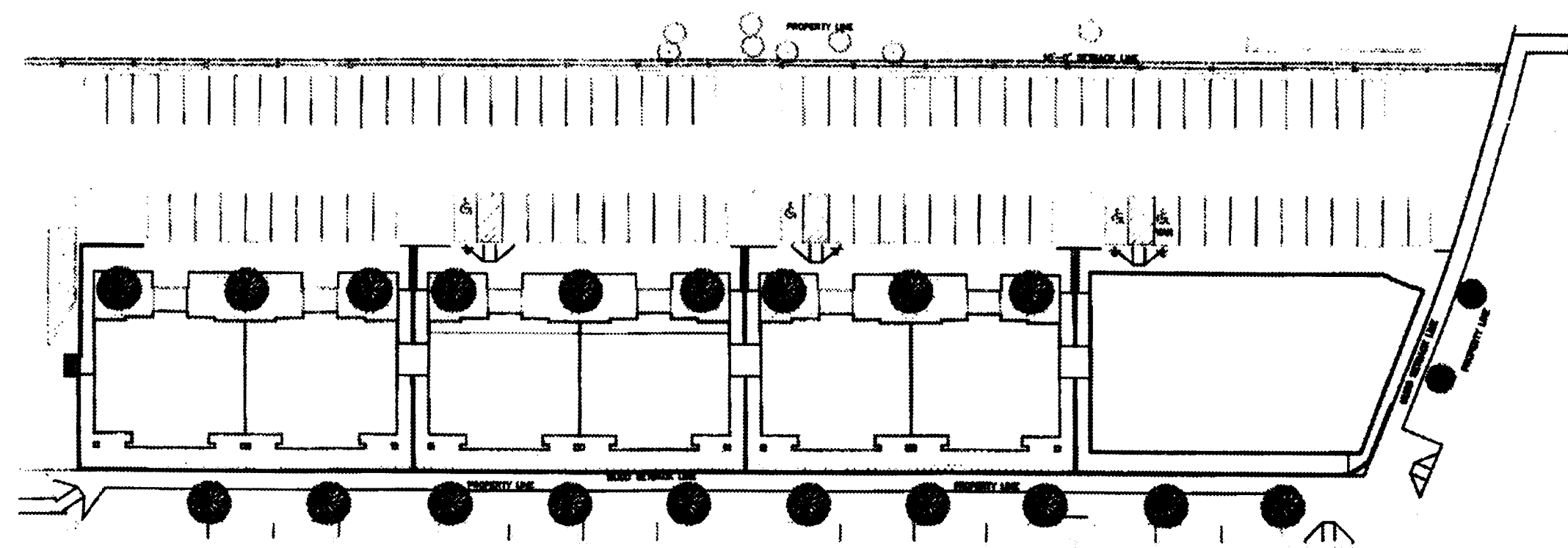
SP1.1

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 ODA No. 051967 CADD File:051967R_SP1.1.dwg



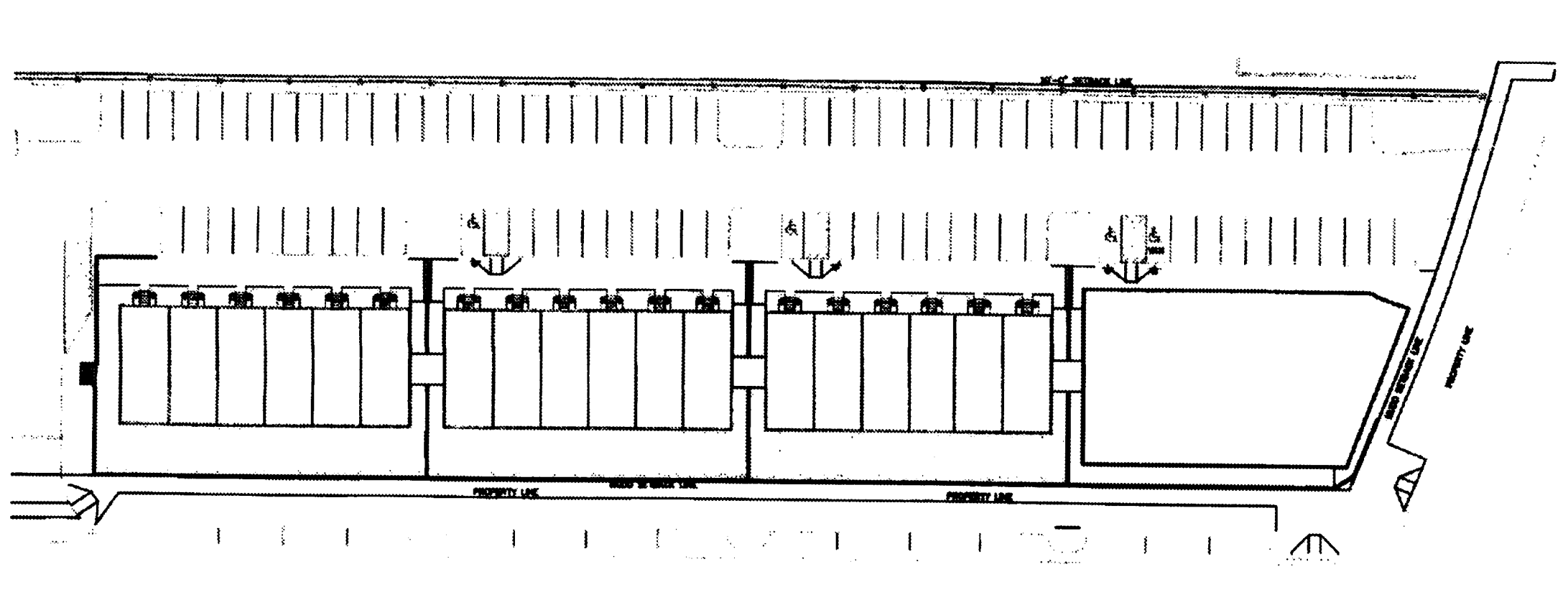
01 ALTERNATE SITE PLAN A AND ELEVATIONS

N.T.S.



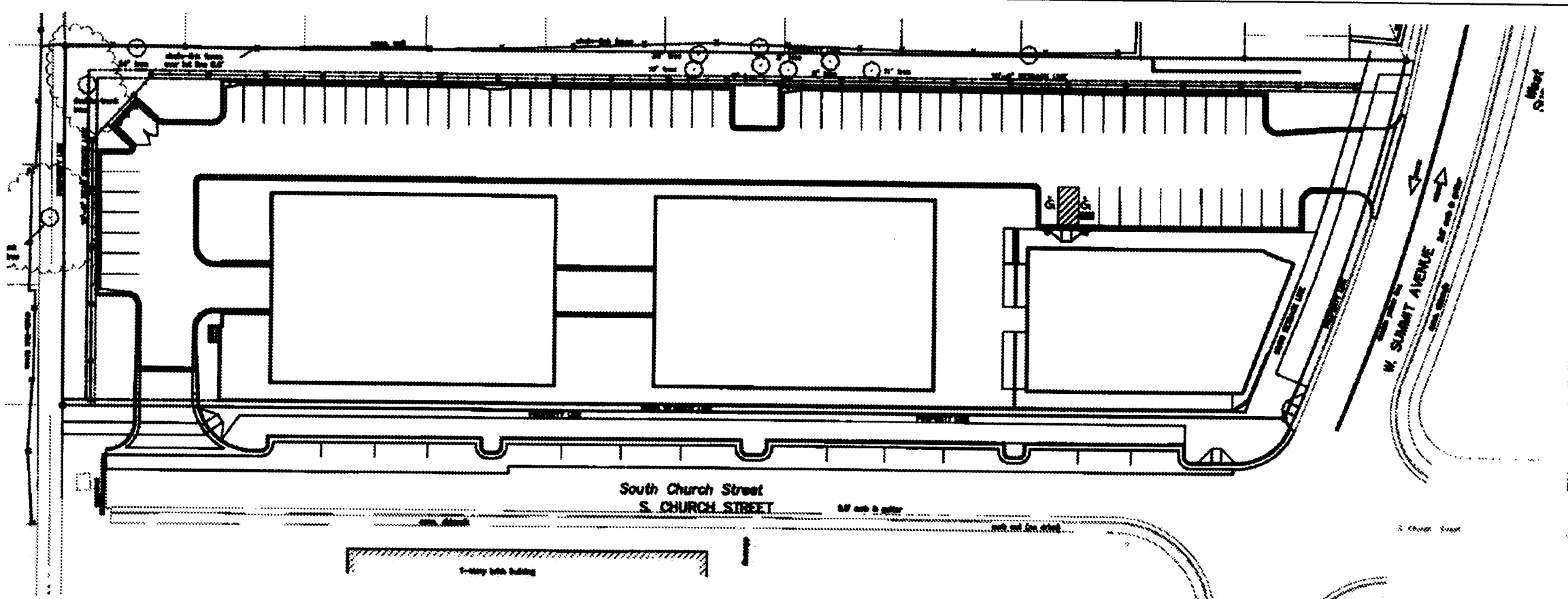
02 ALTERNATE SITE PLAN B AND ELEVATIONS

N.T.S.



03 ALTERNATE SITE PLAN C AND ELEVATIONS

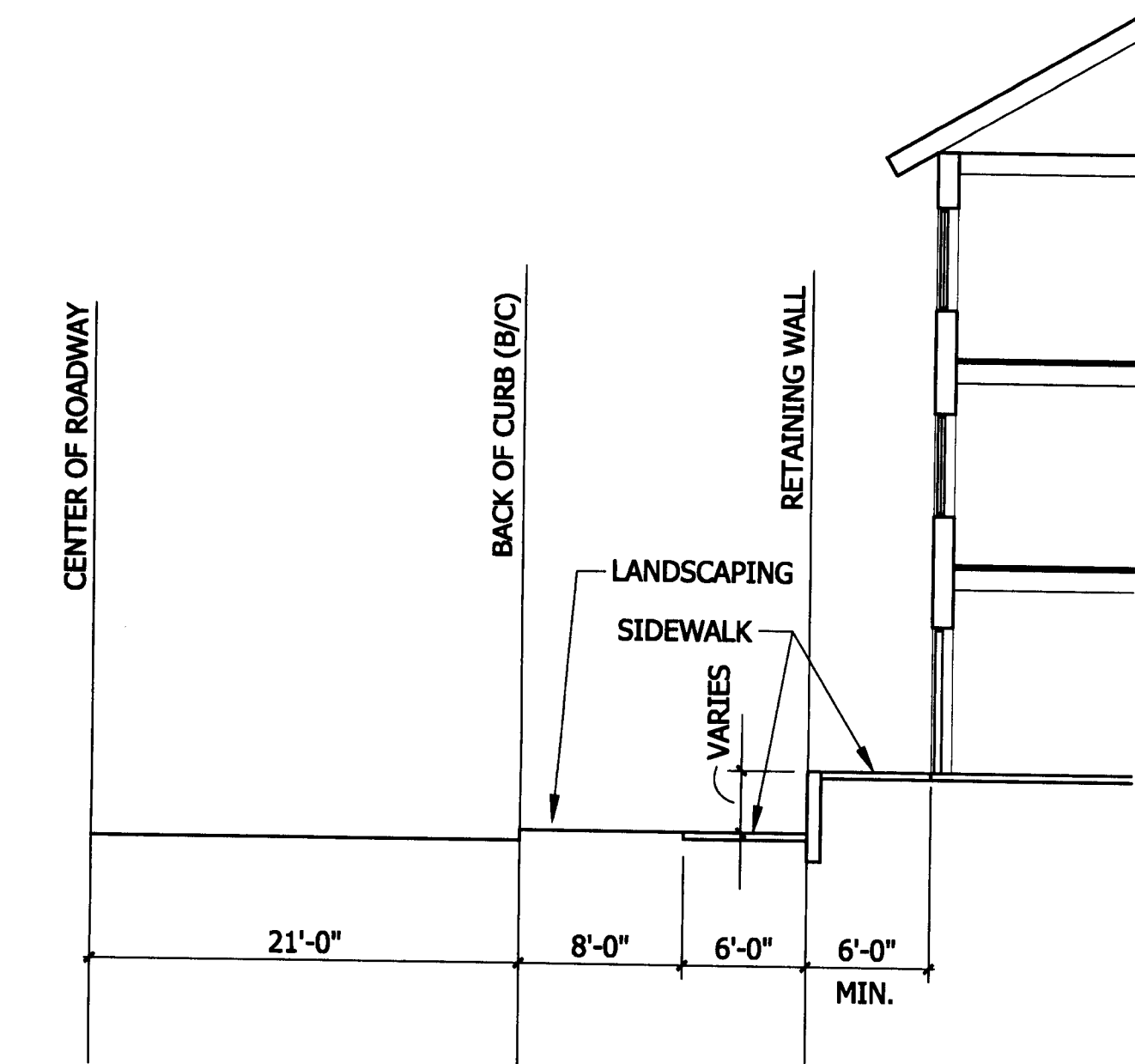
N.T.S.



04 ALTERNATE SITE PLAN D AND ELEVATIONS

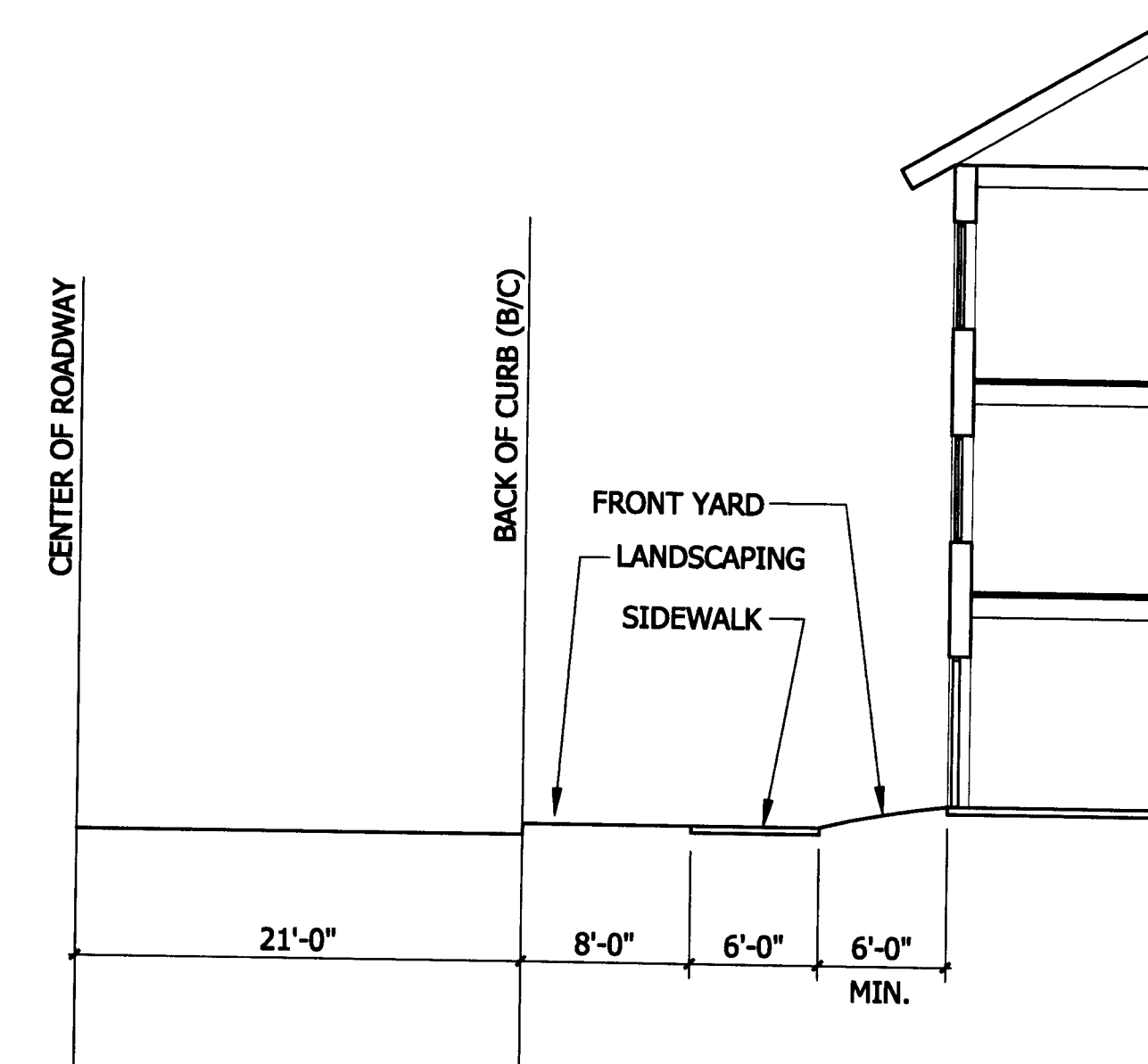
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ALTERNATE SIDEWALK TO BUILDING TRANSITIONS



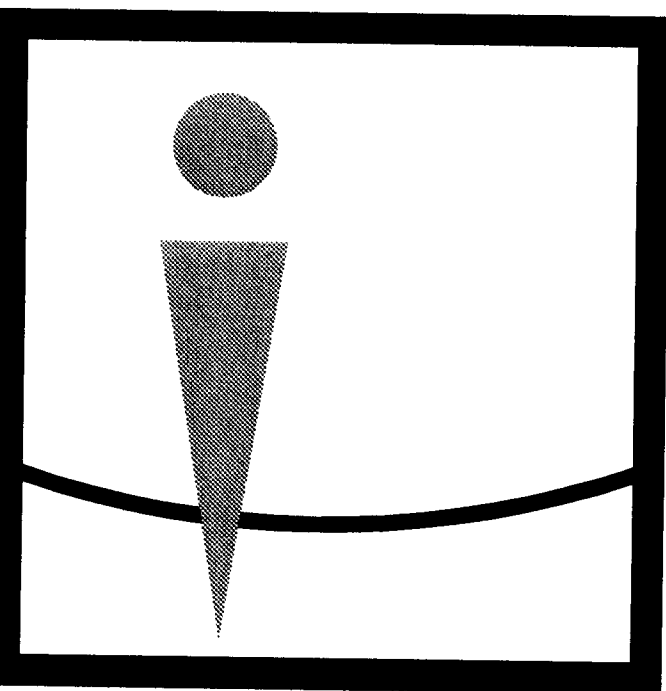
05 SECTION

N.T.S.



06 SECTION

N.T.S.



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THE BOULEVARD COMPANY

SouthEnd ShowPlace

West Summit Ave. & S. Church St.
Charlotte, North Carolina

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SP1.2