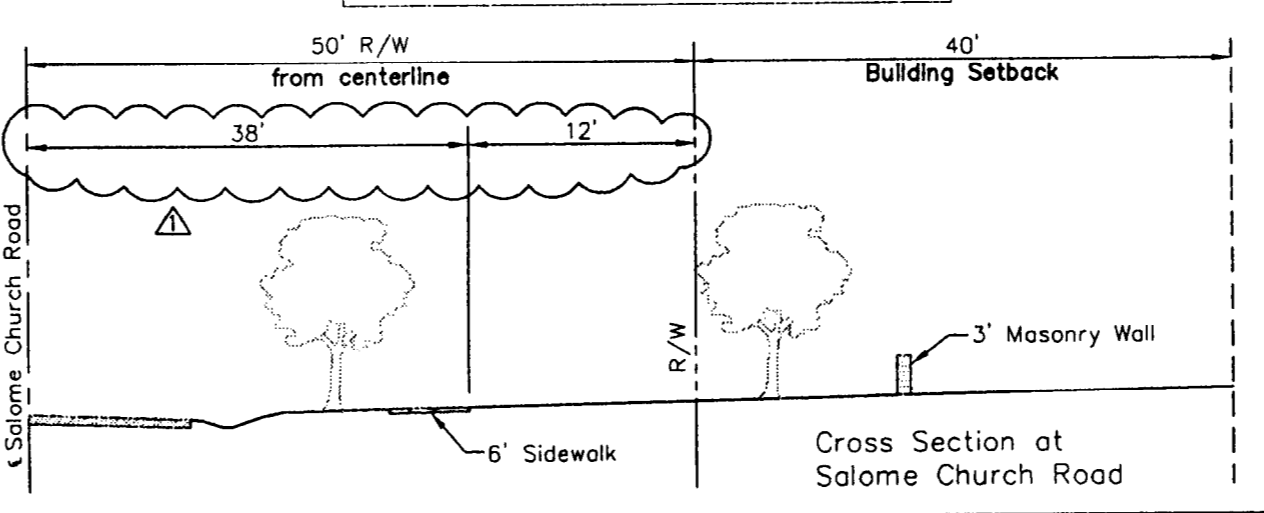
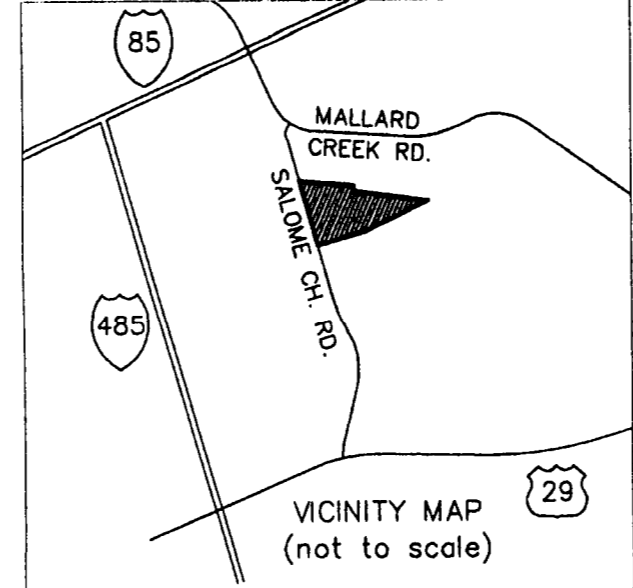


MAP NORTH REF.  
DB 8047 PG. 762-765  
JAN 11, 1995

**DEVELOPMENT DATA:**

Tax Parcel ID#: 029-551-06  
Proposed Use: 029-551-07  
Existing Zoning: R-3  
Proposed Zoning: INST (CO)  
Total Site Area: 26.638 Ac.  
Max. Total Building Area: 290,000 sq. ft.  
Phase 1 Building Area: 24,000 sq. ft. (12% of Total sf.)  
Phase 2 Building Area: 40,000 sq. ft. (20% of Total sf.)  
Phase 3 Building Area: 184,000 sq. ft. (92% of Total sf.)  
Max. Building Height: 40' or as allowed for zoning ordinance (120' Max.)  
Tree Save Area: 10% = 2.6 Ac.

**PARKING DATA:**  
Min. Off-street Parking Required: 1 space/4 seats  
Short-Term Bicycle Parking: 2% of Auto Parking  
Required Parking (Based on 3,000 Seats): 750 spaces  
Proposed Parking: 942 Spaces



**REZONING NOTES:**

**GENERAL PROVISIONS**  
1. Development of this site will be controlled by the standards depicted on this site plan and by the standards of the Charlotte Zoning Ordinance. The development depicted on this plan is intended to reflect the arrangement of proposed uses on the site, but the exact configuration, placement, and size of individual site elements may be altered or modified within the limits prescribed by the ordinance during the design development and construction process per Section 6.2 of the Zoning Ordinance.  
2. Existing house, located along northern property line shall comply with the buffer requirements. The house may remain as shown if a variance is granted to allow for a reduction of the required Class 'B' Buffer. Upon rezoning approval, the house will be used as the church office (church services will not be held within this building). The existing driveway to the house may remain until conditional occupancy is given for the Phase 1 Sanctuary. At such time, the existing driveway shall be removed and the buffer planted to Class 'B' standards.  
3. The proposed buildings and development will comply with all Ordinance requirements for signage, buffering, screening, and landscaping.  
4. The site shall comply with all requirements of the Charlotte Tree Ordinance.  
5. Building footprints and site layout shown on this plan are schematic in nature. Actual floor plans and footprints will be determined at the time of building plan submission.  
6. Ministry facilities may be used for other accessory church uses to support ministry functions, as allowed by Zoning Ordinance.  
7. The petitioner acknowledges that other standard development requirements imposed by other city ordinances, standards, policies, and appropriate design manuals will exist. Those criteria (for example, those that require buffers, regulate streets, sidewalks, trees, storm water, and site development, etc.) will apply to the development site. This includes chapters 6, 8, 12, 17, 18, 19, 20, and 21 of the city code. Conditions set forth in this petition are supplemental requirements imposed on the development in addition to other standards. Where conditions on this plan differ from ordinances, standards, policies, and approaches in existence at the time of formal engineering plan review submission, the stricter condition or existing requirements shall apply.  
8. Predominate building materials will be brick and stone with other materials; front facings of buildings will not be steel.

**ACCESS/TRANSPORTATION**  
1. The total number of ingress/egress points to and from this site shall be limited to two entrances onto Salome Church Road. The exact locations may vary from those depicted based upon final design and location requirements as required by CDDT and, where applicable, NCDOT.  
2. Left-turn lanes will be provided at all driveways to Salome Church Road prior to the certificate of occupancy for the phase 1 sanctuary.  
3. The developer will construct the following improvements based on the following phasing plan, as identified in the traffic study prepared for this rezoning:  
\* On or before 20% development  
\* On or before 50% development  
\* On or before 100% development  
4. A northbound right-turn lane on Salome Church Road at Mallard Creek Road  
5. An eastbound right-turn lane on Mallard Creek Road at Salome Church Road  
6. An eastbound left-turn lane on Mallard Creek Road at Salome Church Road  
7. "Development" shall be defined as the percentage of gross square footage of buildings relative to the maximum allowed under the conditional plan.  
8. These improvements will be submitted to CDDT and/or NCDOT as appropriate for review and approval concurrent with the applicable subdivision site plan or building permit for that particular phase. Each set of improvements will be complete prior to the issuance of corresponding certificates of occupancy; bonding such improvement in lieu of construction will not be allowed for the purposes of obtaining a certificate of occupancy.  
9. These improvements will be designed to NCDOT standards as found in their 2003 manual "A Policy on Street and Highway Connections to North Carolina Highways," with a minimum variable stroke length of 150 feet.

**LANDSCAPING**  
1. Landscaping and screening shall, at a minimum, satisfy the requirements established in the Ordinance for the INST District.  
2. Landscaping will be installed in stages in accordance with the Ordinance as the Site is developed.  
3. Trees shall be planted at 40-foot on center along Salome Church Road. Large maturing trees with a 2 inch minimum caliper are to be used, except where overhead power lines exist.

**BUFFER AREAS**  
1. As depicted on the rezoning plan, a Class 'B' buffer shall be established along the Site's northern and southern property lines. This buffer shall conform to the standards for a Class 'B' buffer per section 12.302 of the Ordinance. A privacy fence will be designed and constructed using materials (such as vinyl, cedar, or similar low maintenance material) that will complement or enhance the buildings constructed on the site.  
2. In the event that an adjacent parcel of land is either rezoned to a zoning district or devoted to a use that eliminates or reduces the buffer requirement on the Site, the buffer areas depicted on this plan may be reduced or eliminated accordingly.  
3. Existing vegetation may be used to meet tree buffer requirements. If existing vegetation is being used, supplemental plantings may be required, as negotiated with the site inspector during construction.  
4. The buffer areas shall remain as open space except to the extent necessary to accommodate grade changes and the installation and maintenance of a wall, fence, berm, landscaping, utility and/or drainage facilities and any grading associated therewith. Where areas of natural vegetation have been cleared to accommodate grade changes or the installation of the aforementioned items, the cleared, unimproved areas will be landscaped with trees and shrubs in accordance with the requirements of the Ordinance.

**SETBACKS**  
1. All buildings constructed on the Site shall satisfy or exceed the setback, rear yard and side yard dimensions established under the Ordinance for the INST District.

**PARKING**  
1. Off-street vehicular parking for the Site shall meet or exceed the minimum standards established by the Ordinance.  
2. The parking total indicated in the Development Data is an estimate. The final parking count may deviate from that indicated in the Development Data, provided that at the time of building permit submission the proposed parking meets or exceeds the Ordinance requirements.  
3. Bicycle parking shall be provided to meet or exceed the requirements established in the Ordinance.

**LIGHTING**  
1. All freestanding lighting and all exterior lighting will be copped so as to minimize the impacts from lights that may be visible from nearby properties. Freestanding lighting shall not exceed 20 feet in height. No wall 'puck' type lighting shall be used, but attached decorative lighting fixtures such as sconces may be used.  
2. Pedestrian scale lighting shall be installed along Salome Church Road as part of Phase 2 of this development.

**SEWAGE**  
1. Sewage will be permitted in accordance with applicable Zoning standards.

**SEWAGE**  
1. An internal system of sidewalk shall be provided to connect all buildings to the public sidewalk along Salome Church Road.  
2. An 8-foot planting strip and 6-foot sidewalk will be constructed along the entirety of the site's Salome Church Road frontage.

**STORM WATER**  
1. Storm water system for proposed site shall tie into existing systems. These existing systems shall be analyzed to ensure that they will not be taken out of standard due to the development. If it is found that this development causes the storm drainage systems to be taken out of standard, alternate methods to prevent this from occurring will be provided.  
2. Location, size, and type of any Stormwater Management Systems depicted on rezoning site plan is subject to review and approval with full development plan submitted and is not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual stormwater treatment requirements and actual site discharge points.  
3. Any jurisdictional wetlands or streams, if present, need to be protected or proper environmental permits obtained prior to their disturbance. For 401 permits contact DEHNR. For 404 permits contact the Army Corps of Engineers.

**STORM WATER QUALITY TREATMENT**  
1. For projects with defined watersheds greater than 24% built-upon area, construct water quality best management practices (BMP's) to achieve 80% Total Suspended Solid (TSS) removal for the entire post-development runoff volume for the runoff generated from the first 1-inch of rainfall. BMP's must be designed and constructed in accordance with the N.C. Department of Environment and Natural Resources (NCDENR) Best Management Practices Manual, April 1999, Section 4.0 (Design Standards shall be met according to the City of Charlotte Best Management Practices Manual, when available). Use of Low Impact Development (LID) techniques is optional.

**VOLUME AND PEAK CONTROL**  
1. For projects with defined watersheds greater than 24% built-upon area, control the entire volume for the 1-year, 24-hour storm. Runoff volume drawdown time shall be a minimum of 24 hours, but not more than 120 hours.  
2. For commercial projects with greater than 24% BUA, control the peak to match the predevelopment runoff rates for the 10-year, 6-hour storm perform a downstream flood analysis to determine whether additional peak control is needed and, if so, for what level of storm frequency, if a downstream analysis is not performed, control the peak for the 10-year and 25-year, 6-hour storms.  
3. For commercial projects with less than or equal to 24% BUA, but greater than one acre of disturbed area, control the peak to match the predevelopment runoff rates for the 2 and 10-year storms.

**STREAM BUFFERS**  
1. The S.W.I.M. Stream Buffer requirements apply described in the City of Charlotte-Zoning Ordinance, Chapter 12. In addition, intermittent and perennial streams within the project boundary shall be delineated by a certified professional using U.S. Army Corps of Engineers and N.C. Division of Water Quality methodology and shall be shown in the site plan submitted along with all buffer areas.  
2. All perennial and intermittent streams draining less than 50 acres shall have a minimum 30-foot vegetated buffer including a 10-foot zone adjacent to the bank. Disturbance of the buffer is allowed; however, any disturbed area must be re-vegetated and disturbance of the 10-foot zone adjacent to the bank shall require stream bank stabilization using bioengineering techniques as specified in the Design Manual.  
3. All streams draining greater than or equal to 50 acres and less than 300 acres shall have a 35-foot buffer with two (2) zones, including stream side and upland. Streams draining greater than or equal to 300 acres and less than 640 acres shall have a 50-foot buffer with three (3) zones, including stream side, managed use and upland.  
4. Streams draining greater than or equal to 640 acres shall have a 100-foot buffer, plus 50% of the area of the flood fringe beyond 100 feet. The buffer shall consist of three (3) zones, including stream side, managed use and upland.  
5. All buffers shall be measured from the top of the bank on both sides of the stream. The uses allowed in the different buffer zones as described in the S.W.I.M. Stream Buffer requirements in the Zoning Ordinance, Chapter 12, as well as the other provisions of the S.W.I.M. ordinance shall apply (except buffer widths).

**REZONING NOTES:**

**REZONING NOTES**  
Revised as part of Administrative Zoning Approval.  
These notes listed as part of the administrative approval shall supersede the original rezoning notes.

**GENERAL PROVISIONS**  
The driveway to the existing church office may remain as part of the Phase 1 site improvements. Under the Phase 2 improvements, the driveway shall be removed and landscaping buffer installed.

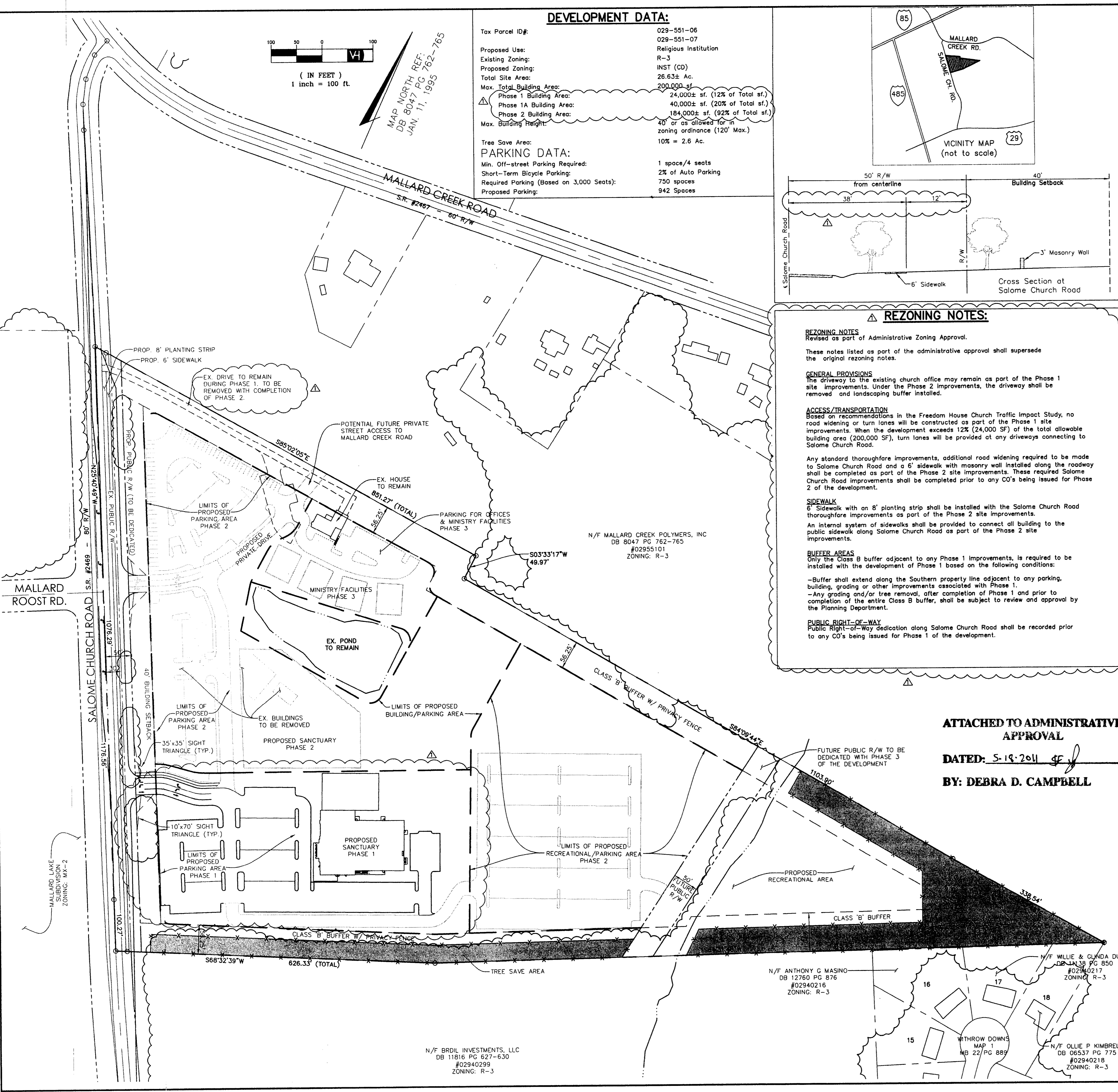
**ACCESS/TRANSPORTATION**  
Based on recommendations in the Freedom House Church Traffic Impact Study, no road widening or turn lanes will be constructed as part of the Phase 1 site improvements. When the development exceeds 12% (24,000 SF) of the total allowable building area (200,000 SF), turn lanes will be provided at all driveways connecting to Salome Church Road.  
Any standard thoroughfare improvements, additional road widening required to be made to Salome Church Road and a 6' sidewalk with masonry wall installed along the roadway shall be completed as part of the Phase 2 site improvements. These required Salome Church Road improvements shall be completed prior to any CO's being issued for Phase 2 of the development.

**SIDEWALK**  
6' Sidewalk with an 8' planting strip shall be installed with the Salome Church Road thoroughfare improvements as part of the Phase 2 site improvements.  
An internal system of sidewalks shall be provided to connect all building to the public sidewalk along Salome Church Road as part of the Phase 2 site improvements.

**BUFFER AREAS**  
Only the Class B buffer adjacent to any Phase 1 improvements, is required to be installed with the development of Phase 1 based on the following conditions:  
-Buffer shall extend along the Southern property line adjacent to any parking, building, grading or other improvements associated with Phase 1.  
-Any grading and/or tree removal, after completion of Phase 1 and prior to completion of the entire Class B buffer, shall be subject to review and approval by the Planning Department.

**PUBLIC RIGHT-OF-WAY**  
Public Right-of-Way dedication along Salome Church Road shall be recorded prior to any CO's being issued for Phase 1 of the development.

**ATTACHED TO ADMINISTRATIVE APPROVAL**  
**DATED: 5-19-2011**  
**BY: DEBRA D. CAMPBELL**



**Van Horn Hoover**  
& Associates, Inc.  
CIVIL ENGINEERING  
LAND USE PLANNING  
GPS/GIS CONSULTANTS  
P.O. BOX 621524  
CHARLOTTE, NC 28262  
(704) 454-7007  
www.VanHornHoover.com  
E-Mail: info@VanHornHoover.com

Professional Engineer Seal for Debra D. Campbell, No. 038662, State of North Carolina, dated 5-17-11.

PREPARED FOR:  
**FREEDOM HOUSE CHURCH**  
5806 PROSPERITY CHURCH ROAD  
SUITE A2-122  
CHARLOTTE, NC 28269

**SITE PLAN FOR FREEDOM HOUSE CHURCH**  
2732 SALOME CHURCH ROAD  
CHARLOTTE, NC 28262

**PHASE 1 REZONING PLAN**

REVISIONS		
MARK	DATE	DESCRIPTION
Δ	3-31-11	UPDATED PHASE 1 SITE IMPROVEMENTS AS PART OF ZONING ADMINISTRATION APPROVAL.

PLOTS/SCALE: 1:1	
DRAWN: RMG	CHECKED: DTB
DRAWING SCALE: 1"=100'	
DATE: 2/1/11	
JOB NUMBER: Z:\PROJECTS\03869\Rezoning\Rezoning-2-1-11.dwg	
SHEET NUMBER: 1/1	



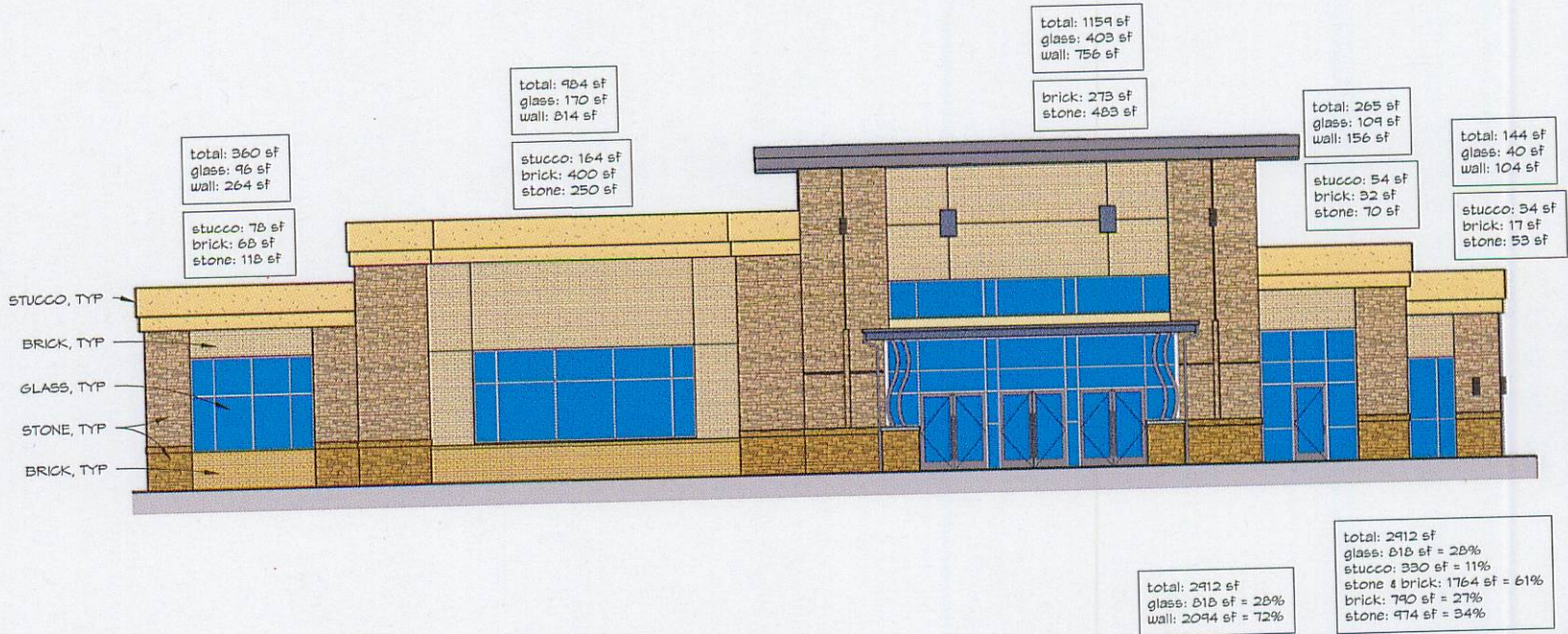
DATE: May 18, 2011  
TO: Mark Fowler, Zoning Supervisor  
FROM: Debra Campbell, Planning Director

**SUBJECT:** Administrative Approval for Petition No. 2007-004 by Freedom House Church  
Attached are revised site plan and elevations for the above petition. The site plan has been revised to show Phase 1 development and transportation improvements. The elevations have been reviewed to make sure they are meeting the intent of the rezoning. Since this change is minor and does not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving these plans. Please use these plans when evaluating requests for building permits and certificates of occupancy.  
**Note all other conditional notes and ordinance requirements still apply.**

ATTACHED TO ADMINISTRATIVE APPROVAL

DATED: 5-15-2011 SF

BY: DEBRA D. CAMPBELL



Front Elevation - Materials by Numbers  
FREEDOM HOUSE CHURCH

Charlotte, NC

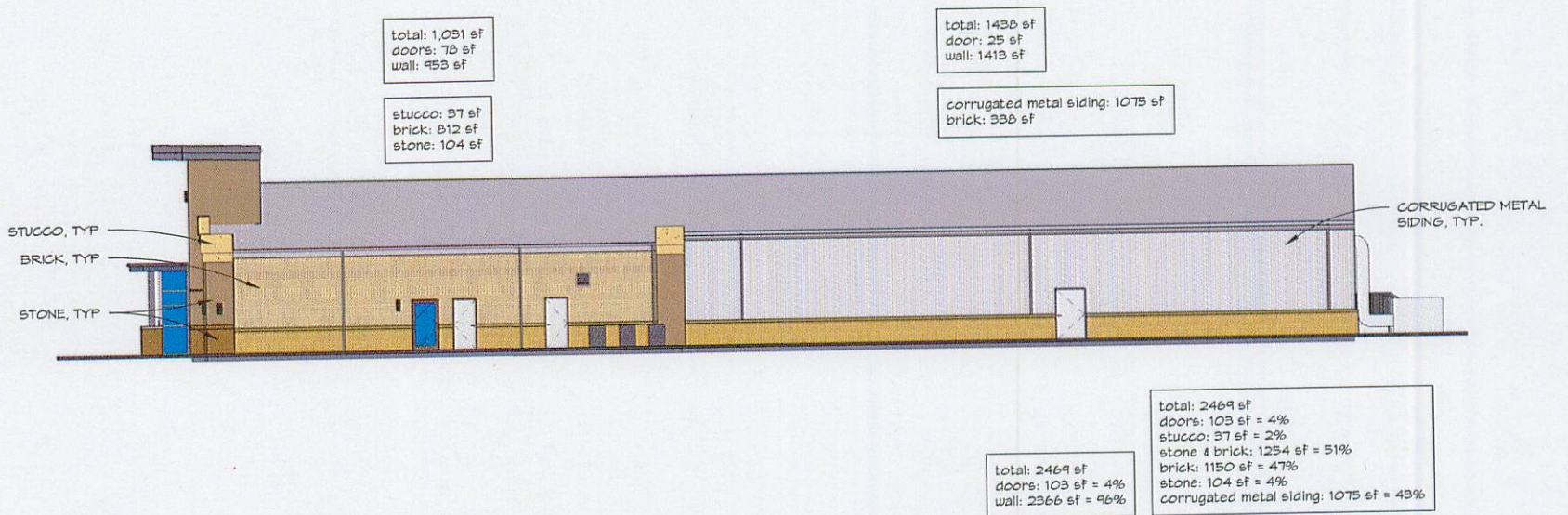
1640 Powers Ferry Road, Building One, Marietta, GA 30067 - tel 770.850.8494 - fax 770.850.8993

05/06/11  
110048.00

ATTACHED TO ADMINISTRATIVE APPROVAL

DATED: 5-18-2011 SF

BY: DEBRA D. CAMPBELL



Side Elevation - Materials by Numbers  
FREEDOM HOUSE CHURCH

Charlotte, NC

1640 Powers Ferry Road, Building One, Marietta, GA 30067 - tel 770.850.8494 - fax 770.850.8993

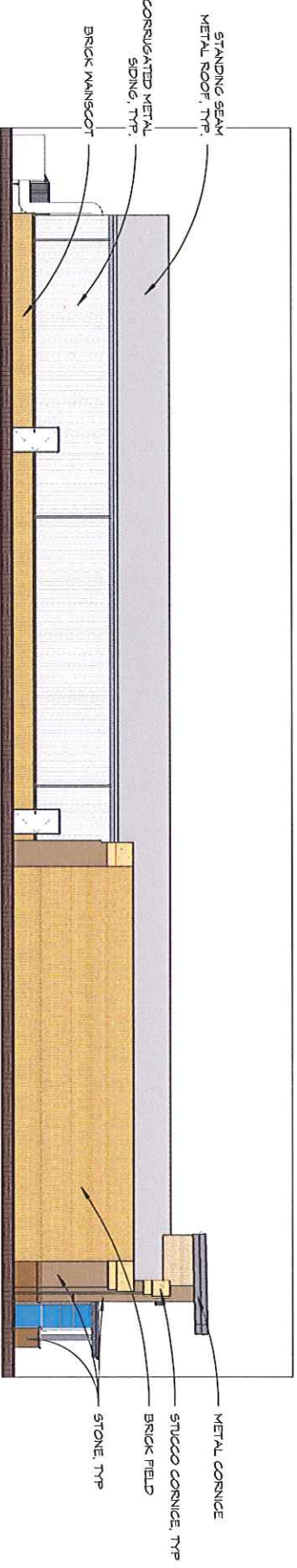
05/09/11  
110048.00

Left Side Elevation

ADMINISTRATIVE  
APPROVAL

DATE: 5-15-2011 \$P

BY: DEBRA D. C. WOODRUFF



1/16" = 1'-0"

05/23/11

Side Elevation - Materials  
FREEDOM HOUSE CHURCH

Charlotte, NC

1640 Powers Ferry Road, Building One, Marietta, GA 30067 - tel 770.850.8494 - fax 770.850.8993

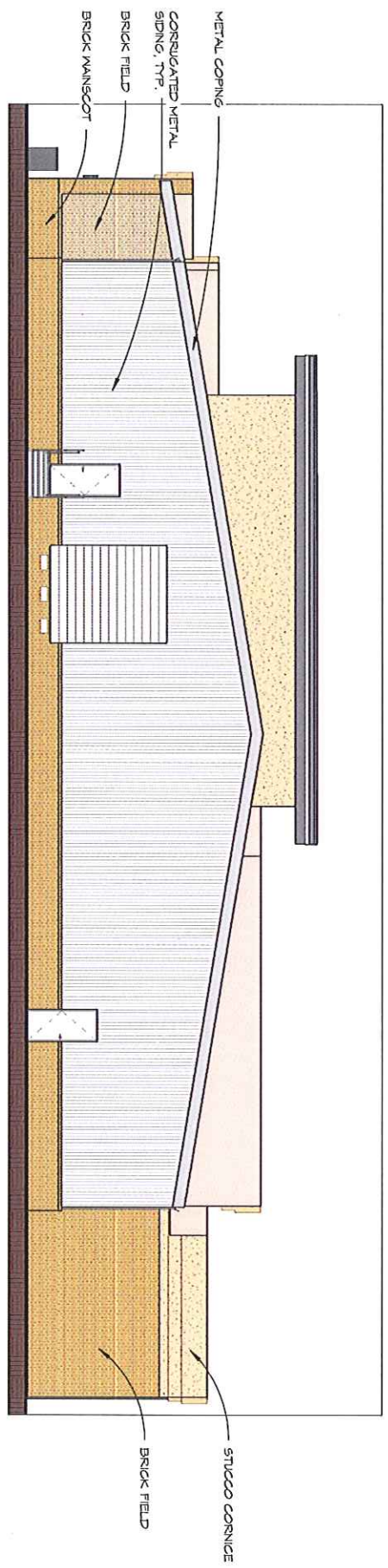


Rear Elevation

**ATTACHED TO ADMINISTRATIVE  
APPROVAL**

**DATED: 5-15-2011 \$F**

**BY: DEBRA D. CAMPBELL**



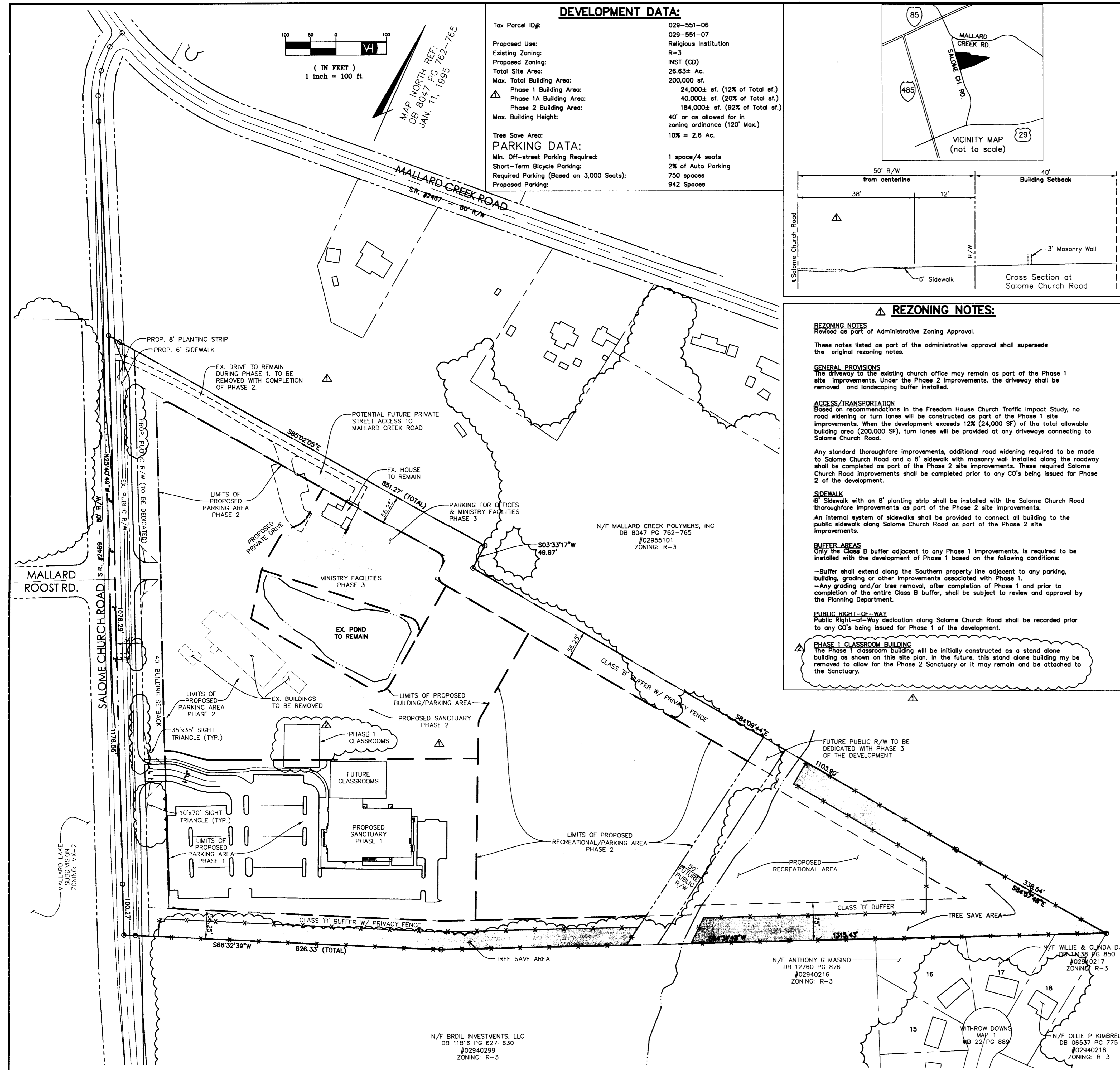
Rear Elevation - Materials  
**FREEDOM HOUSE CHURCH**

Charlotte, NC

1640 Powers Ferry Road, Building One, Marietta, GA 30067 - tel 770.850.8494 - fax 770.850.8993

05/23/11

3/32" = 1'-0"

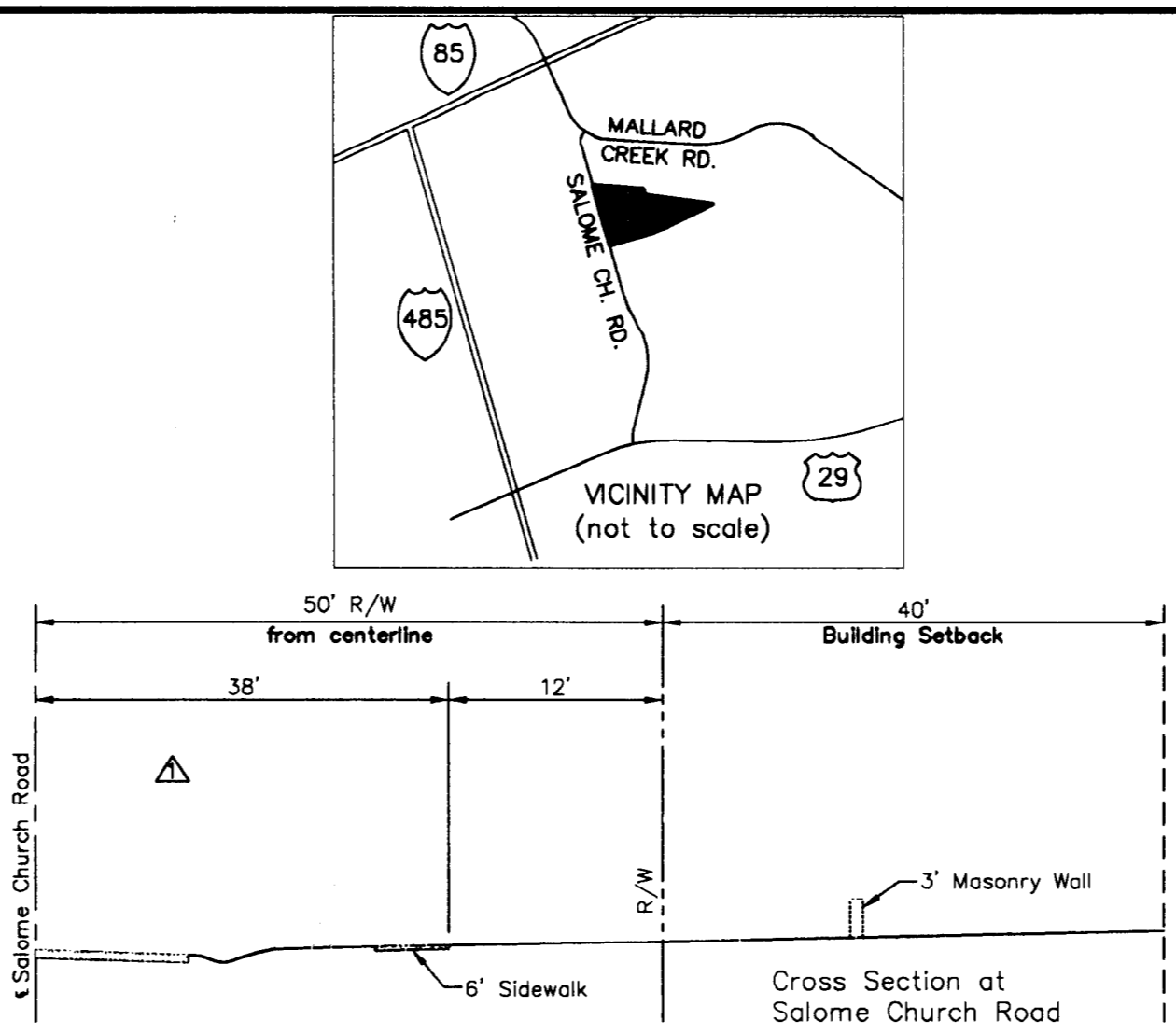


**DEVELOPMENT DATA:**

Tax Parcel ID#:	029-551-06
Proposed Use:	029-551-07 Religious Institution
Existing Zoning:	R-3
Proposed Zoning:	INST (CO)
Total Site Area:	26.63± Ac.
Phase 1 Building Area:	24,000± sf. (12% of Total sf.)
Phase 2 Building Area:	40,000± sf. (20% of Total sf.)
Phase 3 Building Area:	184,000± sf. (92% of Total sf.)
Max. Building Height:	40' or as allowed for in zoning ordinance (120' Max.)
Tree Save Area:	10% = 2.6 Ac.

**PARKING DATA:**

Min. Off-street Parking Required:	1 space/4 seats
Short-Term Bicycle Parking:	2% of Auto Parking
Required Parking (Based on 3,000 Seats):	750 spaces
Proposed Parking:	942 Spaces



**REZONING NOTES:**

Revised as part of Administrative Zoning Approval.

These notes listed as part of the administrative approval shall supersede the original rezoning notes.

**GENERAL PROVISIONS**

The driveway to the existing church office may remain as part of the Phase 1 site improvements. Under the Phase 2 improvements, the driveway shall be removed and landscaping buffer installed.

**ACCESS/TRANSPORTATION**

Based on recommendations in the Freedom House Church Traffic Impact Study, no road widening or turn lanes will be constructed as part of the Phase 1 site improvements. When the development exceeds 12% (24,000 SF) of the total allowable building area (200,000 SF), turn lanes will be provided at any driveways connecting to Salome Church Road.

Any standard thoroughfare improvements, additional road widening required to be made to Salome Church Road and a 6' sidewalk with masonry wall installed along the roadway shall be completed as part of the Phase 2 site improvements. These required Salome Church Road improvements shall be completed prior to any CO's being issued for Phase 2 of the development.

**SIDEWALK**

6' Sidewalk on 8' planting strip shall be installed with the Salome Church Road thoroughfare improvements as part of the Phase 2 site improvements.

An internal system of sidewalks shall be provided to connect all building to the public sidewalk along Salome Church Road as part of the Phase 2 site improvements.

**BUFFER AREAS**

Only the Class B buffer adjacent to any Phase 1 improvements, is required to be installed with the development of Phase 1 based on the following conditions:

- Buffer shall extend along the Southern property line adjacent to any parking, building, grading or other improvements associated with Phase 1.
- Any grading and/or tree removal, after completion of Phase 1 and prior to completion of the entire Class B buffer, shall be subject to review and approval by the Planning Department.

**PUBLIC RIGHT-OF-WAY**

Public Right-of-Way dedication along Salome Church Road shall be recorded prior to any CO's being issued for Phase 1 of the development.

**PHASE 1 CLASSROOM BUILDING**

The Phase 1 classroom building will be initially constructed as a stand alone building as shown on this site plan. In the future, this stand alone building may be removed to allow for the Phase 2 Sanctuary or it may remain and be attached to the Sanctuary.

**REZONING NOTES:**

**GENERAL PROVISIONS**

- Development of this site will be controlled by the standards depicted on this site plan and by the standards of the Charlotte Zoning Ordinance. The development depicted on this plan is intended to reflect the arrangement of proposed uses on the site, but the exact configuration, placement, and size of individual site elements may be altered or modified within the limits prescribed by the ordinance during the design development and construction process per Section 6.2 of the Zoning Ordinance.
- Existing house, located along northern property line shall comply with the buffer requirements. The house may remain as shown if a variance is granted to allow for a reduction of the required Class B Buffer. Upon rezoning approval, the house will be used as the church office (church services will not be held within this building). The existing driveway to the house may remain until conditional occupancy is given for the Phase 1 Sanctuary. At such time, the existing driveway shall be removed and the buffer planted to Class B standards.
- The proposed buildings and development will comply with all Ordinance requirements for signage, buffering, screening, and landscaping.
- The site shall comply with all requirements of the Charlotte Tree Ordinance.
- Building footprints and site layout shown on this plan are schematic in nature. Actual floor plans and footprints will be determined at the time of building plan submission.
- Ministry facilities may be used for other accessory church uses to support ministry functions, as allowed by Zoning Ordinance.
- The petitioner acknowledges that other standard development requirements imposed by other city ordinances, standards, policies, and appropriate design manuals will exist. Those criteria (for example, those that require buffers, require streets, sidewalks, trees, storm water, and site development, etc.) will apply to the development site. This includes chapters 6, 8, 12, 17, 18, 19, 20, and 21 of the city code. Conditions set forth in this petition are supplemental requirements imposed on the development in addition to other standards. Where conditions on this plan differ from ordinances, standards, policies, and approaches in existence at the time of formal engineering plan review submission, the stricter condition or existing requirements shall apply.
- Predominate building materials will be brick and stone with other materials; front facings of buildings will not be steel.

**ACCESS/TRANSPORTATION**

- The total number of ingress/egress points to and from this site shall be limited to two entrances onto Salome Church Road. The exact locations may vary from those depicted based upon final design and location requirements as regulated by CDOT and where applicable, NCDOT.
- Left-turn lanes will be provided at all driveways to Salome Church Road prior to the certificate of occupancy for the phase 1 sanctuary.
- The developer will construct the following improvements based on the following phasing plan, as identified in the traffic study prepared for this rezoning:
  - On or before 20% development:
    - A northbound right-turn lane on Salome Church Road into Driveway 2
    - A on or before 55% development:
      - A northbound right-turn lane on Salome Church Road at Mallard Creek Road
      - An eastbound left-turn lane on Mallard Creek Road at Salome Church Road
      - An eastbound right-turn lane on Mallard Creek Road at Salome Church Road
- These improvements will be submitted to CDOT and/or NCDOT as appropriate for review and approval concurrent with the application for building permits for that particular phase. Each set of improvements will be complete prior to the issuance of corresponding certificates of occupancy, bonding such improvement in lieu of construction will not be allowed for the purpose of obtaining a certificate of occupancy.
- These improvements will be designed to NCDOT standards as found in their 2003 manual "A Policy on Street and Highway Connections to North Carolina Highways," with a minimum variable storage length of 150 feet.

**LANDSCAPING**

- Landscaping and screening shall, at a minimum, satisfy the requirements established in the Ordinance for the INST District.
- Landscaping will be installed in stages in accordance with the Ordinance as the Site is developed.
- Trees shall be planted at 40 feet on center along Salome Church Road. Large maturing trees with a 2 inch minimum caliper are to be used, except where overhead power lines exist.

**BUFFER AREAS**

- As depicted on the rezoning plan, a Class B buffer shall be established along the Site's northern and southern property lines. This buffer shall conform to the standards for a Class B buffer per section 12.302 of the Ordinance. A privacy fence will be designed and constructed using materials (such as vinyl, cedar, or similar low maintenance material) that will complement or enhance the buildings constructed on the site.
- In the event that an adjacent parcel of land is either rezoned to a zoning district or devoted to a use that eliminates or reduces the buffer requirement on the Site, the buffer area depicted on this plan may be reduced or eliminated accordingly.
- Existing vegetation may be used to meet tree buffer requirements. If existing vegetation is being used, supplemental plantings may be required, as negotiated with the site inspector during construction.
- The buffer areas shall remain as open space except to the extent necessary to accommodate grade changes and the installation and maintenance of a wall, fence, berm, landscaping, utility and/or drainage facilities and any grading associated therewith, where existing trees and natural vegetation have been cleared to accommodate grade changes or the installation of the aforementioned items, the cleared, unimproved areas will be landscaped with trees and shrubs in accordance with the requirements of the Ordinance.

**SETBACKS**

- All buildings constructed on the Site shall satisfy or exceed the setback, rear yard and side yard dimensions established under the Ordinance for the INST District.

**PARKING**

- Off-street vehicular parking for the Site shall meet or exceed the minimum standards established by the Ordinance.
- The parking total indicated in the Development Data is an estimate. The final parking count may deviate from that indicated in the Development Data, provided that at the time of building permit submitted the proposed parking meets or exceeds the Ordinance requirements.
- Bicycle parking shall be provided to meet or exceed the requirements established in the Ordinance.

**LIGHTING**

- All freestanding lighting and all exterior lighting will be copped so as to minimize the impacts from lights that may be visible from nearby properties. Freestanding lighting shall not exceed 20 feet in height. No wall post lighting shall be used, but attached exterior lighting fixtures are permitted.
- Pedestrian scale lighting shall be installed along Salome Church Road as part of this development.

**SIGNAGE**

- Signage will be permitted in accordance with applicable Zoning standards.

**SIDEWALK**

- An internal system of sidewalk shall be provided to connect all buildings to the public sidewalk along Salome Church Road.
- A 6-foot planting strip and 6-foot sidewalk shall be constructed along the entirety of the site's Salome Church Road frontage.

**STORM WATER**

- Storm water system for proposed site shall tie into existing systems. These existing systems shall be analyzed to ensure that they will not be taken out of standard due to the development. If it is found that this development causes the storm drainage systems to be taken out of standard, alternate methods to prevent this from occurring will be provided.
- Location, size, and type of any Stormwater Management Systems depicted on rezoning site plan is subject to review and approval with full development plan submitted and is not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual stormwater treatment requirements and natural site discharge points.
- Any jurisdictional wetlands or streams, if present, need to be protected or proper environmental permits obtained prior to their disturbance. For 401 permits contact CDNR. For 404 permits contact the Army Corps of Engineers.

**STORM WATER QUALITY TREATMENT**

- For projects with defined watersheds greater than 24% built-upon area, construct water quality best management practices (BMPs) to achieve 85% Total Suspended Solid (TSS) removal for the entire post-development runoff volume for the runoff generated from the first 1-inch of rainfall. BMP's must be designed and constructed in accordance with the N.C. Department of Environment and Natural Resources (NCDENR) Best Management Practices Manual, April 1999, Section 4.0 (Design Standards shall be met according to the City of Charlotte Best Management Practices Manual, when available). Use of Low Impact Development (LID) techniques is optional.

**VOLUME AND PEAK CONTROL**

- For projects with defined watersheds greater than 24% built-upon area, control the entire volume for the 1-year, 24-hour storm. Runoff volume reduction time shall be a minimum of 24 hours, but not more than 120 hours.
- For commercial projects with greater than 24% BUA, control the peak to match the predevelopment runoff rates for the 10-yr, 6-hr storm perform a downstream flood analysis to determine whether additional peak control is needed and if so, for what level of storm frequency. If a downstream analysis is not performed, control the peak for the 10-yr and 25-yr, 6-hour storms.
- For commercial projects with less than or equal to 24% BUA, but greater than one acre of disturbed area, control the peak to match the predevelopment runoff rates for the 2 and 10-yr, 6-hr storm.

**STREAM BUFFERS**

- The S.W.I.M. Stream Buffer requirements apply described in the City of Charlotte-Zoning Ordinance, Chapter 12. In addition, intermittent and perennial streams within the project boundary shall be delineated by a certified professional using U.S. Army Corps of Engineers and N.C. Division of Water Quality methodology and shall be shown in the site plan submitted along with buffer areas.
- All perennial and intermittent streams draining less than 50 acres shall have a minimum 30-foot vegetated buffer including a 10-foot zone adjacent to the bank. Disturbance of the buffer is allowed; however, any disturbed area must be re-vegetated and disturbance of the 10-foot zone adjacent to the bank shall require stream bank stabilization using bioengineering techniques as specified in the Design Manual.
- All streams draining greater than or equal to 50 acres and less than 300 acres shall have a 35-foot buffer with two (2) zones, including stream side and upland. Streams draining greater than or equal to 300 acres and less than 640 acres shall have a 50-foot buffer with three (3) zones, including stream side, managed use and upland.
- Streams draining greater than or equal to 640 acres shall have a 100-foot buffer, plus 50% of the area of the flood fringe beyond 100 feet. This buffer shall consist of three (3) zones, including stream side, managed use and upland.
- All buffers shall be measured from the top of the bank on both sides of the stream. The uses allowed in the different buffer zones as described in the S.W.I.M. Stream Buffer requirements in the Zoning Ordinance, Chapter 12, as well as the other provisions of the S.W.I.M. ordinance shall apply (except buffer widths).

**Van Horn Hoover & Associates, Inc.**

CIVIL ENGINEERING  
LAND USE PLANNING  
GPS/GIS CONSULTANTS

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www.VanHornHoover.com  
E-Mail: Info@VanHornHoover.com

**ATTACHED TO ADMINISTRATIVE APPROVAL**

DATED: 2-23-2012 *scj*

BY: DEBRA D. CAMPBELL

PREPARED FOR:  
**FREEDOM HOUSE CHURCH**  
5806 PROSPERITY CHURCH ROAD  
SUITE A2-122  
CHARLOTTE, NC 28269

**SITE PLAN FOR FREEDOM HOUSE CHURCH**

2732 SALOME CHURCH ROAD  
CHARLOTTE, NC 28262

**PHASE 1 REZONING PLAN**

REVISIONS	
MARK	DESCRIPTION
3-31-11	UPDATED PHASE 1 SITE IMPROVEMENTS AS PART OF ZONING ADMINISTRATION APPROVAL
1-16-12	REVISED CLASSROOM BUILDING TO BE DETACHED FROM PHASE 1 SANCTUARY.

PLOTS/SCALE: 1:1

DRAWN: RMG CHECKED: DTB

DRAWING SCALE: 1" = 100'

DATE: 2/7/11

JOB NUMBER: 2:\PROJECTS\3369\Rezoning\Rezoning-2-1-11.dwg

SHEET NUMBER: 1/1

**CHARLOTTE**

DATE: February 23, 2012

TO: Mark Fowler  
Zoning Supervisor

FROM: Debra Campbell  
Planning Director

**SUBJECT:** Administrative Approval for Petition No. 2007-004 by Freedom House Church

Attached is a revised site plan for the petition listed above. The site plan has been revised to show a classroom building in the location of the Phase II Sanctuary. Since this change is minor and does not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving these plans. Please use these plans when evaluating requests for building permits and certificates of occupancy.

Note all other conditional notes and ordinance requirements still apply.

**ADMINISTRATIVE AMENDMENT NOTES:**

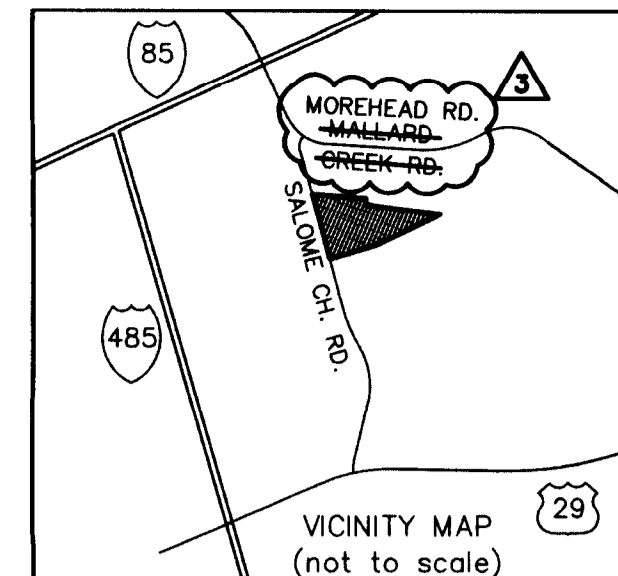
- OWNER TO PROVIDE RECORDED ACCESS EASEMENTS TO PIN 02955101 AND 02940299 PRIOR TO ISSUANCE OF C.O. FOR SANCTUARY ADDITION (PHASE 2).
- 50' FUTURE PUBLIC RIGHT-OF-WAY TO BE DEDICATED TO CITY OF CHARLOTTE PRIOR TO ISSUANCE OF C.O. FOR SANCTUARY ADDITION (PHASE 2).
- CHURCH USE IS ANTICIPATED TO CONSIST OF PRIMARILY SUNDAY/WEEKEND USE AND DOES NOT INTEND TO PROVIDE WEEKDAY SCHOOL OR DAYCARE USE. IF FUTURE WEEKDAY SCHOOL OR DAYCARE USE IS ADDED TO CHURCH PROGRAM AND PLANS TO SERVE 100+ STUDENTS THEN RIGHT TURN LANE AT DRIVEWAY #2 MAY BE INSTALLED PRIOR TO IMPLEMENTATION.
- PLANTING STRIP SHALL BE 8' MINIMUM. EXACT LOCATION OF SIDEWALK TO BE DETERMINED DURING CONSTRUCTION DOCUMENT PERMITTING.

**DEVELOPMENT DATA:**

Tax Parcel ID#:	029-551-06
Proposed Use:	Religious Institution
Existing Zoning:	R-3
Proposed Zoning:	INST (CD)
Total Site Area:	26.63± Ac.
Max. Total Building Area:	200,000 sq. ft.
Phase 1 Building Area:	24,000± sq. ft. (12% of Total site)
Phase 2 Building Area:	40,000± sq. ft. (20% of Total site)
Phase 3 Building Area:	200,000± sq. ft. (100% of Total site)
Max. Building Height:	40' or as allowed for in zoning ordinance (120' Max.)
Tree Save Area:	10% = 2.6 Ac.

**PARKING DATA:**

Min. Off-street Parking Required:	1 space/4 seats
Short-Term Bicycle Parking:	2% of Auto Parking
Required Parking (Based on 3,000 Seats):	750 spaces
Proposed Parking:	942 Spaces



**REZONING NOTES:**

- GENERAL PROVISIONS**
- Development of this site will be controlled by the standards depicted on this site plan and by the standards of the Charlotte Zoning Ordinance. The development depicted on this plan is intended to reflect the arrangement of proposed uses on the site, but the exact configuration, placement, and size of individual site elements may be altered or modified within the limits established by the ordinance during the design development and construction phases per Section 6.2 of the Zoning Ordinance.
  - Existing house, located along northern property line shall comply with the buffer requirements. The house may remain as shown if a variance is granted to allow for a reduction of the required Class 'B' Buffer. Upon rezoning approval, the house will be used as the church office (church services will not be held within this building). The existing driveway to the house may remain until conditional occupancy is given for the Phase 1 Sanctuary. At such time, the existing driveway shall be removed and the buffer planted to Class 'B' standards.
  - The proposed buildings and development will comply with all Ordinance requirements for signage, buffering, screening, and landscaping.
  - The site shall comply with all requirements of the Charlotte Tree Ordinance.
  - Building footprints and site layout shown on this plan are schematic in nature. Actual floor plans and footprints will be determined at the time of building plan submittal.
  - Ministry facilities may be used for other accessory church uses to support ministry functions, as allowed by Zoning Ordinance.
  - The petitioner acknowledges that other standard development requirements imposed by other city ordinances, standards, policies, and appropriate design manuals will exist. Those criteria (for example, those that require buffers, regulate streets, sidewalks, trees, storm water, and site development, etc.) will apply to the development site. This includes chapters 6, 9, 12, 17, 18, 19, 20, and 21 of the city code. Conditions set forth in this petition are supplemental requirements imposed on the development in addition to other standards. Where conditions on this plan differ from ordinances, standards, policies, and approaches in existence at the time of formal engineering plan review submission, the stricter condition or existing requirements shall apply.
  - Premature building materials will be brick and stone with other materials; front facings of buildings will not be steel.

**ACCESS/TRANSPORTATION**

- The total number of express/egress points to and from this site shall be limited to two entrances onto Salome Church Road. The exact locations may vary from those depicted based upon final design and location requirements as regulated by NCDOT and, when applicable, the MCDOT.
- Left-turn lanes will be provided at all driveways to Salome Church Road prior to the certificate of occupancy for the Phase 1 Sanctuary.
- The developer will construct the following improvements based on the following phasing plan, as identified in the traffic study prepared for this rezoning:
  - On or before 2026 development
  - On or before 2028 development
  - On or before 2032 development
- A northbound right-turn lane on Salome Church Road into Driveway 2
- A northbound right-turn lane on Salome Church Road at Mallard Creek Road
- A left-turn lane on Salome Church Road at Salome Church Road
- An eastbound right-turn lane on Mallard Creek Road at Salome Church Road
- An eastbound left-turn lane on Mallard Creek Road at Salome Church Road
- "Development" shall be defined as the percentage of gross square footage of buildings relative to the maximum allowed under this conditional plan.
- These improvements will be submitted to CDOT and/or NCDOT as appropriate for review and approval concurrent with the applicable subdivision plan, site plan, or building permit for that particular phase. Each set of improvements will be complete prior to the issuance of corresponding certificates of occupancy, bonding such improvement in lieu of construction will not be allowed for the purposes of obtaining a certificate of occupancy.
- These improvements will be designed to NCDOT standards as found in their 2000 manual "A Policy on Street and Highway Connections to North Carolina Highways," with a minimum variable storage length of 150 feet.

**LANDSCAPING**

- Landscaping and screening shall, at a minimum, satisfy the requirements established in the Ordinance for the INST District.
- Landscaping will be installed in stages in accordance with the Ordinance as the Site is developed.
- Trees shall be planted at 40 feet on center along Salome Church Road. Large maturing trees with a 2 inch minimum caliper are to be used, except where overhead power lines exist.

**BUFFER AREAS**

- As depicted on the rezoning plan, a Class 'B' buffer shall be established along the Site's northern and southern property lines. This buffer shall conform to the standards for a Class 'B' buffer per Section 12.302 of the Ordinance. A privacy fence will be designed and constructed using materials (such as vinyl, cedar, or similar low maintenance material) that will complement the building's exterior materials.
- In the event that an adjacent parcel of land is either rezoned to a zoning district or devoted to a use that eliminates or reduces the buffer requirement on the Site, the buffer areas depicted on this plan may be reduced or eliminated accordingly.
- Existing vegetation may be used to meet tree buffer requirements. If existing vegetation is being used, supplemental plantings may be required, as negotiated with the site inspector during construction.
- The buffer areas shall remain as open space except to the extent necessary to accommodate grade changes and the installation and maintenance of a wall, fence, berm, landscaping, utility and/or drainage facilities and any grading associated therewith. Where existing trees and natural vegetation have been cleared to accommodate grade changes or the installation of the aforementioned items, the cleared, unimproved areas shall be landscaped with trees and shrubs in accordance with the requirements of the Ordinance.

**SETBACKS**

- All buildings constructed on the Site shall satisfy or exceed the setback, rear yard and side yard dimensions established under the Ordinance for the INST District.

**PARKING**

- Off-street vehicular parking for the Site shall meet or exceed the minimum standards established by the Ordinance.
- The parking total indicated in the Development Data is an estimate. The final parking count may deviate from that indicated in the Development Data, provided that at the time of building permit submittal the proposed parking meets or exceeds the Ordinance requirements.
- Bicycle parking shall be provided to meet or exceed the requirements established in the Ordinance.

**LIGHTING**

- All freestanding lighting and all exterior lighting will be capped so as to minimize the impacts from lights that may be visible from nearby properties. Freestanding lighting shall not exceed 20 feet in height. No wall 'pocket' type lighting shall be used, but attached decorative lighting fixtures such as sconces may be used.
- Pedestrian scale lighting shall be installed along Salome Church Road as part of Phase 2 of this development.

**SIGNAGE**

- Signage will be permitted in accordance with applicable Zoning standards.

**SIDEWALKS**

- An internal system of sidewalk shall be provided to connect all buildings to the public sidewalk along Salome Church Road.
- An 8-foot-wide planting strip and 6-foot sidewalk will be constructed along the entirety of the site's Salome Church Road frontage.

**STORM WATER**

- Storm water system for proposed site shall tie into existing systems. These existing systems shall be analyzed to ensure that they will not be taken out of standard, alternate methods to prevent this from occurring will be provided.
- Location, size, and type of any Stormwater Management Systems depicted on rezoning site plan is subject to review and approval with full development plan submittal and is not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual stormwater treatment requirements and natural site discharge points.
- Any jurisdictional wetlands or streams, if present, need to be protected or proper environmental permits obtained prior to their disturbance. For 401 permits contact OBNR. For 404 permits contact the Army Corps of Engineers.

**STORM WATER QUALITY TREATMENT**

- For projects with defined watersheds greater than 24% built-up area, construct water quality best management practices (BMPs) to achieve 85% Total Suspended Solids (TSS) removal for the entire post-development runoff volume for the runoff generated from the first 1-inch of rainfall. BMPs must be designed and constructed in accordance with the N.C. Department of Environment and Natural Resources (NCDENR) Best Management Practices Manual, April 1999, Section 4.0 (Design Standards shall be met according to the City of Charlotte Best Management Practices Manual, when available). Use of Low Impact Development (LID) techniques is optional.

**VOLUME AND PEAK CONTROL**

- For projects with defined watersheds greater than 24% built-up area, control the entire volume for the 1-year, 24-hour storm. Runoff volume drawdown time shall be a minimum of 24 hours, but not more than 120 hours.
- For commercial projects with greater than 24% BUA, control the peak to match the predevelopment runoff rates for the 10-yr, 6-hr storm perform a downstream flood analysis to determine whether additional peak control is needed and if so, for what level of storm frequency. If a downstream analysis is not performed, control the peak for the 10-yr and 25-yr, 6-hour storms.
- For commercial projects with less than or equal to 24% BUA, but greater than one acre of disturbed area, control the peak to match the predevelopment runoff rates for the 2 and 10-yr, 6-hr storm.

**STREAM BUFFERS**

- The S.W.M. Stream Buffer requirements apply described in the City of Charlotte-Zoning Ordinance, Chapter 12. In addition, intermittent and perennial streams within the project boundary shall be delineated by a certified professional using U.S. Army Corps of Engineers and N.C. Division of Water Quality methodology and shall be shown in the site plan submitted along with all buffer areas.
- All perennial and intermittent streams draining less than 50 acres shall have a minimum 30-foot vegetated buffer including a 10-foot zone adjacent to the bank. Disturbance of the buffer is allowed; however, any disturbed area must be re-vegetated and disturbance of the 10-foot zone adjacent to the bank shall require stream bank stabilization using bioengineering techniques as specified in the Design Manual.
- All streams draining greater than or equal to 50 acres and less than 300 acres shall have a 35-foot buffer with two (2) zones, including stream side and upland. Streams draining greater than or equal to 300 acres and less than 640 acres shall have a 50-foot buffer with three (3) zones, including stream side, managed use and upland.
- Streams draining greater than or equal to 640 acres shall have a 100-foot buffer, plus 50% of the area of the flood fringe beyond 100 feet. This buffer shall consist of three (3) zones, including stream side, managed use and upland.
- All buffers shall be measured from the top of the bank on both sides of the stream. The uses allowed in the different buffer zones as described in the S.W.M. Stream Buffer requirements in the Zoning Ordinance, Chapter 12, as well as the other provisions of the S.W.M. ordinance shall apply (except buffer width).

**REZONING NOTES:**

Revised as part of Administrative Zoning Approval. These notes listed as part of the administrative approval shall supersede the original rezoning notes.

**GENERAL PROVISIONS**  
The driveway to the existing church office may remain as part of the Phase 1 site improvements. Under the Phase 2 improvements, the driveway shall be removed and landscaping buffer installed.

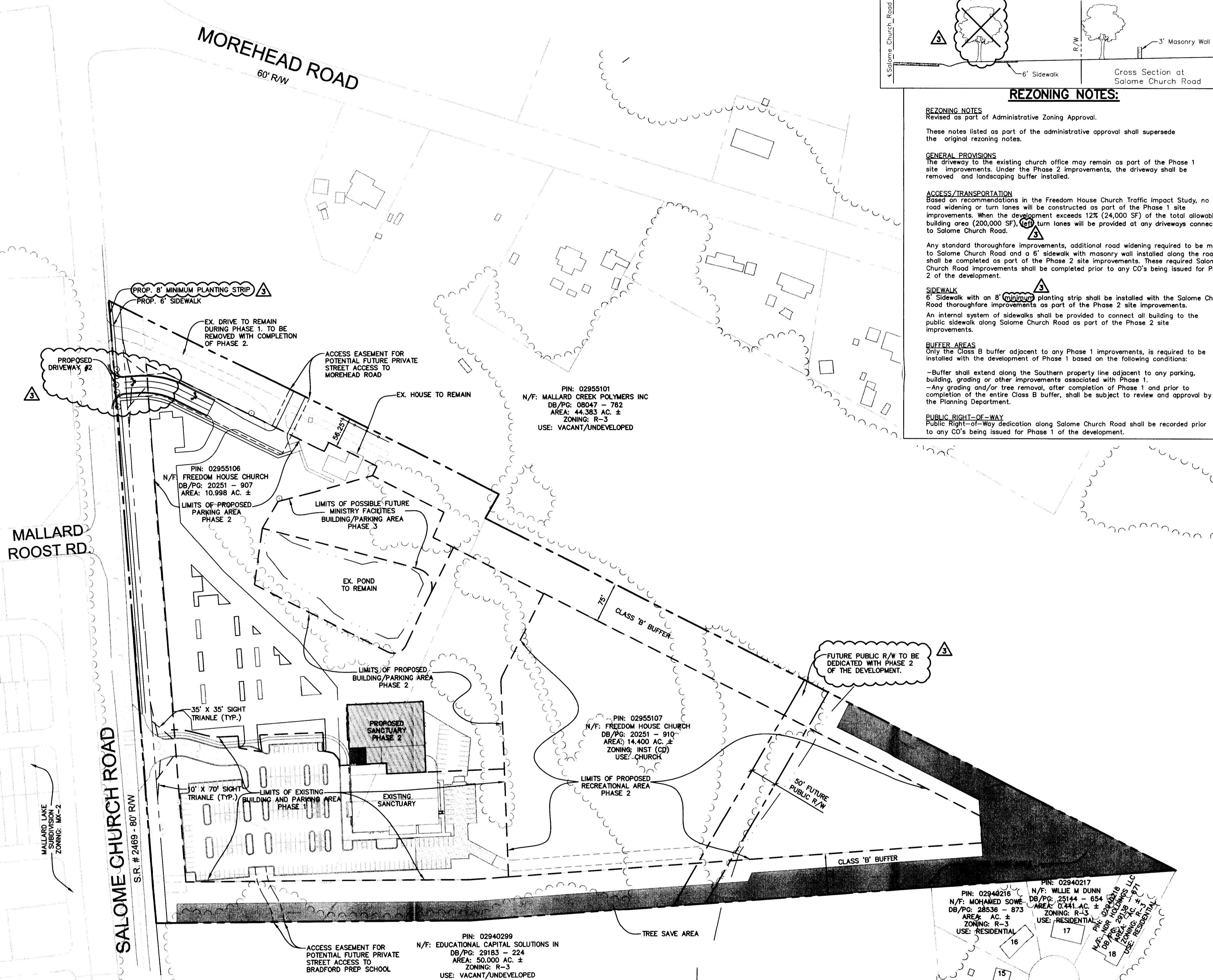
**ACCESS/TRANSPORTATION**  
Based on recommendations in the Freedom House Church Traffic Impact Study, no road widening or turn lanes will be constructed as part of the Phase 1 site improvements. When the development exceeds 12% (24,000 SF) of the total allowable building area (200,000 SF), left-turn lanes will be provided at any driveways connecting to Salome Church Road.

**Any standard thoroughfare improvements, additional road widening required to be made to Salome Church Road and a 6' sidewalk with masonry wall installed along the roadway shall be completed as part of the Phase 2 site improvements. These required Salome Church Road improvements shall be completed prior to any CO's being issued for Phase 2 of the development.**

**SIDEWALK**  
6' Sidewalk with an 8' minimum planting strip shall be installed with the Salome Church Road thoroughfare improvements as part of the Phase 2 site improvements. An internal system of sidewalks shall be provided to connect all building to the public sidewalk along Salome Church Road as part of the Phase 2 site improvements.

**BUFFER AREAS**  
Only the Class B buffer adjacent to any Phase 1 improvements, is required to be installed with the development of Phase 1 based on the following conditions:  
-Buffer shall extend along the Southern property line adjacent to any parking, building, grading or other improvements associated with Phase 1.  
-Any grading and/or tree removal, after completion of Phase 1 and prior to completion of the entire Class B buffer, shall be subject to review and approval by the Planning Department.

**PUBLIC RIGHT-OF-WAY**  
Public Right-of-Way dedication along Salome Church Road shall be recorded prior to any CO's being issued for Phase 1 of the development.



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**ATTACHED TO ADMINISTRATIVE APPROVAL**

**SOLUTIONS GROUP**  
APPLIED SOLUTIONS GROUP  
Charlotte, North Carolina

**FREEDOM HOUSE CHURCH**  
2732 Salome Church Road  
Charlotte  
NC 28262

**REZONING PLAN RZ 2007-004 ADMINISTRATIVE AMENDMENT**

Project No. 4345.00  
Issued 08/28/14

Revised 11/20/14 ADMINISTRATIVE AMENDMENT TO RZ 2007-004 LAST AMENDED 01/16/14 REVISIONS 1 AND 2 ARE PART OF PREVIOUSLY APPROVED PLAN.

ATTACHED TO ADMINISTRATIVE APPROVAL

DATED: 12-18-14  
APPROVED BY: [Signature]

SCALE: 100  
0 100 100

RZ-001

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**Charlotte-Mecklenburg Planning Department**

DATE: December 18, 2014

TO: Mark Fowler  
Zoning Supervisor

FROM: Ed McKinney  
Interim, Planning Director

SUBJECT: Administrative Approval for Petition No. 2007-004 Freedom House Church

Attached is the revised site plan for the proposed driveway along Salome Church Road and clarification of phases. Since this change does not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

Reasons for Staff's support of the request:  
• The site plan and elevations complies with the conditional notes and still meets the intent of the plan approved by the City Council.

Note: All other Zoning, Subdivision, Tree Ordinances and conditional requirements still apply.

Signage was note reviewed as part of this request.