

**CHARLOTTE - MECKLENBURG**  
**PLANNING COMMISSION**

**INTER - OFFICE COMMUNICATION**

**DATE:** November 26, 2007

**TO:** Gary Huss  
Zoning Supervisor

**FROM:** Debra Campbell  
Planning Director

**SUBJECT:** Administrative Approval for Petition No. 2007-33, Blakeney Crossing.  
**Building elevations for BestBuy**

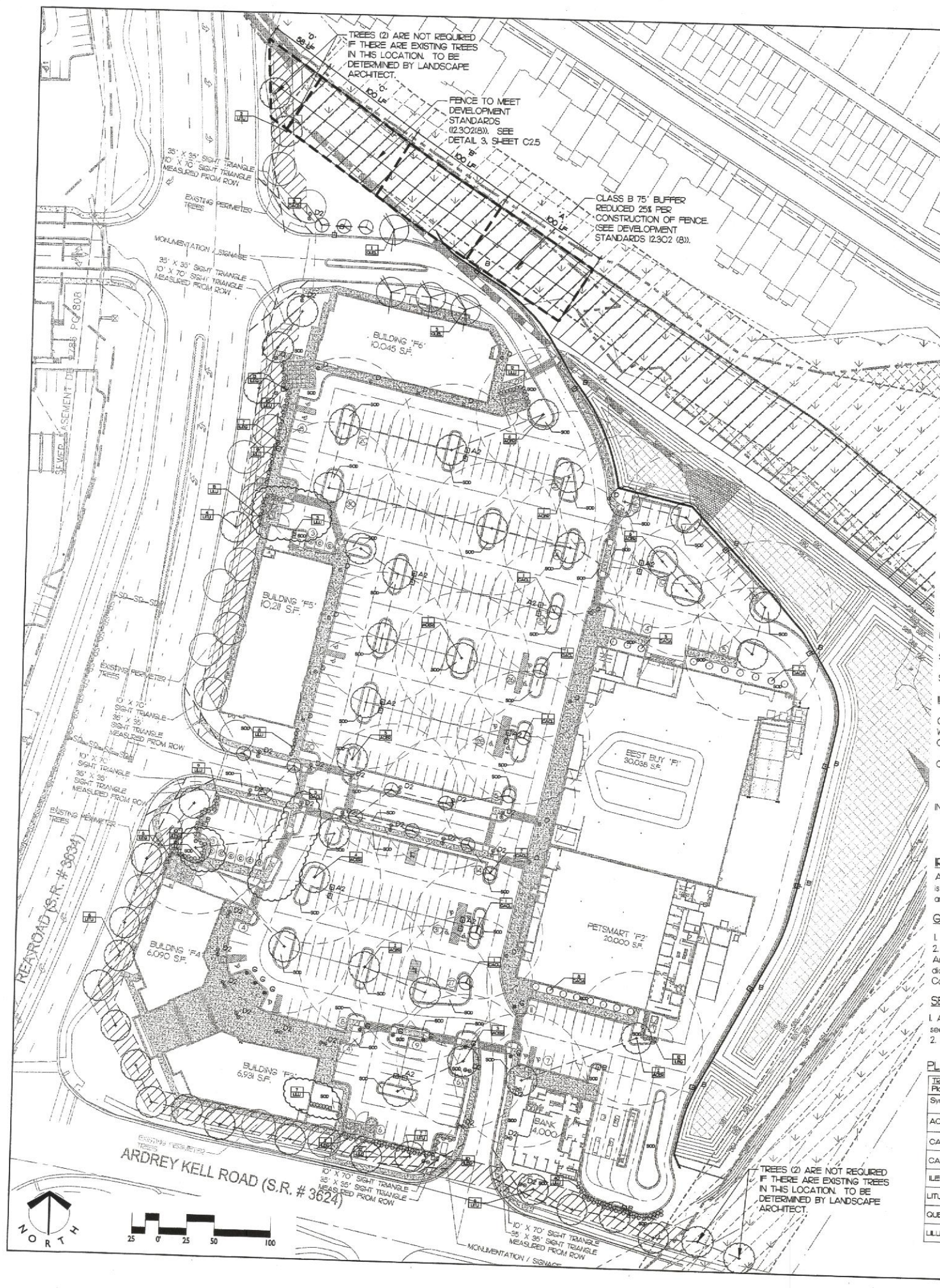
As required in the Conditional Plan for Blakeney Crossing the Staff of the Charlotte-Mecklenburg Planning Commission in conjunction with the Blakeney Crossing Architectural Review Board has reviewed the elevations for BestBuy and found that they meet the requirements as outlined in the Conditional Plan. Attached are specific elevations. Please use these specific elevations when evaluating requests for building permits and certificates of occupancy.

**This site must still meet all other requirements as outlined in the City of Charlotte Zoning Ordinance.**









# TREE ORDINANCE REQUIREMENT

- A. INTERNAL PLANTING**  
SEE PARKING AND LANDSCAPING REQUIREMENTS ON THIS SHEET
- B. TREE ORDINANCE NOTES**
1. Adjust tree planting locations to avoid underground utilities - plant 15'-20' off sewer & storm drainage lines, 10'-15' off gas, water, phone, & underground electrical lines.
  2. Attention landscaper: Notify Urban Forester of any sign, powerline, or other conflicts before planting new trees. CALL 336-4330 to meet on site prior to planting, topping or rounding over.
  3. Ordinance - required trees must be maintained in tree form & allowed to grow to their natural height / form, with a maximum of 3 stems or trunks. (No topping or rounding over)
- C. TREE PLANTING NOTES**
1. Minimum tree size at planting is 2-inch cal. for small maturing trees and 3-inch cal. for large maturing trees if single stem, all multi-stem plants must be tree form, maximum 3-5 stems, and minimum 8 feet tall.
  2. All staking and top of wire basket must be cut away and removed from root ball prior to backfilling planting pit. Remove top 1/2 of burlap from root ball.
  3. For new planting area, remove construction debris, remove compacted soil and add 24" new topsoil of uncompacted and amend the top 24" of existing soil to meet topsoil / planting mix standards for trees. Mix area 274 sq. ft. per tree.
  4. Large maturing trees may not be planted where overhead distribution or transmission lines exist.
  5. Call 336-4330 for an inspection of tree protection and/or tree planting areas, 7 to 20 days before the temporary or final Certificate of Occupancy is needed.
  6. Trees shall be planted in accordance with Charlotte - Mecklenburg Land Development Standards No. 40.02 and 40.03.
- D. TREE PROTECTION NOTES**
1. No soil disturbance or compaction, construction materials, traffic, burial pits, trenching, or other land disturbing activity allowed in the tree protection zone.
  2. Tree protection fence is to be located at least 1' per tree diameter away from the tree in setback or right-of-way.
  3. Tree protection barricades must exceed Tree Ordinance Standards (in City of Charlotte Tree Ordinance Guidelines Appendix Standard 40.04)
  4. Tree barricades must be installed before any demolition, clearing, grading, or construction and not removed until after final inspection by Urban Forester.
  5. Violations of tree protection requirements are subject to fines and/or immediate corrective action/mitigation. Exposed tree roots must be clearly cut with a sharp pruning tool, backfill asop to minimize exposure to air. Before grading construction begins, call 336-4330 for inspection of tree protection barricades by Urban Forester.
  6. Tree protection fence shall be "visi-barrier" high density polyethylene fabric, orange, four feet in height, by conwed or approved equal. Install per manufactures specifications where shown on plan. Tree protection fence shall be installed before any demolition or construction begins in the area and shall not be removed until construction is completed and as directed by the owner. maintain tree protection fence throughout construction.

## PARKING AND LANDSCAPING REQUIREMENTS:

Parking provided: 390  
Total impervious cover: 330,242 s.f.  
Landscape requirements:  
An equal to or at least 10% of the total impervious cover is required for parking lot landscape purposes.  
Area required: 33,024 s.f.  
Area provided: 37,792 s.f.  
100% of all parking spaces must be within 60' or less of a tree.  
390 spaces within 60' or less of a tree required  
390 spaces within 60' or less of a tree provided  
Screening of parking lots with more than 10 spaces, dumpsters, or trash handling areas, etc. is required from a street r/w or abutting lot (Section 12.302).  
--5 ft. min. width of planting strip (N/A if wall provided) required

## APPENDIX 9. CHAPTER 21 CITY TREE ORDINANCE CODE SUMMARY:

### PERIMETER TREE REQUIREMENTS:

LINEAR FEET OF ROAD FRONTAGE ALONG MAINTAINED RIGHT OF WAY INCLUDING DRIVEWAYS.

STREET: REA ROAD/ 958 FT. = 24 TREES REQUIRED/ 24 TREES PROVIDED

STREET: ARDREY KELL ROAD/ 573 FT. = 14 TREES REQUIRED/ 15 TREES PROVIDED

### INTERNAL TREE REQUIREMENTS:

ONE TREE PER 10,000 SQ. FT. OF IMPERVIOUS AREA. ALL PARKING SPACES MUST BE WITHIN 60 FT. OF THE TRUNK OF A TREE. MINIMUM LANDSCAPE AREA AS A PERCENTAGE OF ENTIRE SITE IS 5% FOR RENOVATED SITES AND 10% FOR NEW SITES.

CALCULATIONS: IMPERVIOUS AREA = 330,242 SQ. FT.  
LANDSCAPE AREA = 37,792 SQ. FT.  
TOTAL SITE AREA = 688,248 SQ. FT.

INTERNAL TREE REQUIREMENT: IMPERVIOUS AREA/10,000 = 33 TREES REQUIRED  
35 TREES PROVIDED

### IRRIGATION:

All landscape beds will be irrigated by landscape contractor. Stubs/sleeving under the roadways is the responsibility of the landscape contractor. No irrigation lines will be located within 3' of an existing or future curb and gutter.

### GENERAL PLANTING NOTES

1. No Light / Utility Poles to be Placed in Islands with Newly Planted Tree
2. Trees within the street right of way are protected by law. A permit is required from the City Arborist at (704)336-5753 prior to the removal of any right of way trees. All trees over 8" in diameter as measured 4.5' above ground and located within the setback are protected by law. Contact Land Development at (704)336-6692 for required permits.

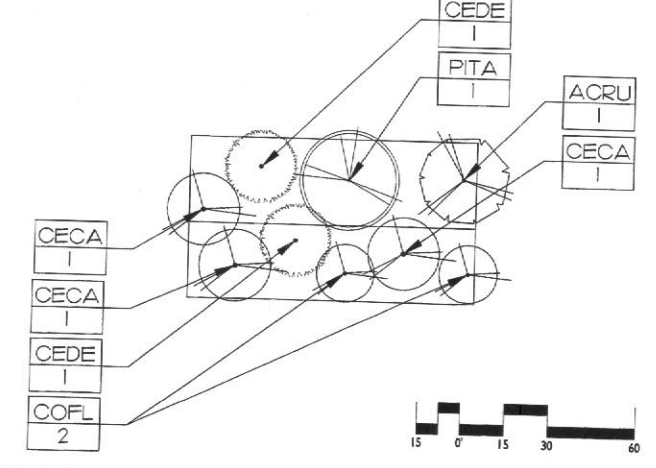
### SEEDING AND STRAW NOTE:

1. All areas shown on plan that are planted with shrubs or indicated and defined by beelines shall be seed and straw as specified in spec. book.
2. Landscape Contractor to verify all locations and quantities with Landscape Architect.

### PLANTING SCHEDULE:

	Total Qty.	Scientific Name Common Name	Cal.	Hgt.	Spd.	Cond.	Notes
ACER	29	Acer rubrum Red Maple	3"	14'-16" Min.	7'-8" Min.	B&B	Spacing As Shown / Full
CACA	18	Carpinus caroliniana "Columna" Columnar American Hornbeam	2"	6'-10" Min.	3'-6" Min.	B&B	Spacing As Shown / Full
CL	15	Carpinus caroliniana American Hornbeam	2.0"	8'-10" Min.	5'-6" Min.	B&B	Spacing As Shown / Full
G	69	Ilex glabra Inkberry	var.	30'-36"	24'-30"	5Gal.	Spacing As Shown / Full
L	25	Liriodendron tulipifera Tulip Poplar	3"	14'-16" Min.	7'-8" Min.	B&B	Spacing As Shown / Full
QUEL	4	Quercus laurifolia Laurel Oak	3"	12'-14" Min.	6-7 Min.	B&B	Spacing As Shown / Full
	141	Liquidambar styraciflua Glossy Privet	---	30'-36"	24'-30"	3Gal.	Spacing As Shown / Full

## TYPICAL BUFFER PLANTING (100' SECTION):



## REQUIREMENTS FOR CLASS B BUFFER WITH WALL (DEVELOPMENT STANDARDS 12.302(6-9)):

1. Shrubs are not required if a fence or wall is built (12.302(8e)).
2. Forty percent of the required trees within the buffer shall be large maturing trees.
3. All trees shall have a minimum caliper of 2 inches measured 6 inches above ground at the time of planting.
4. Shrubs and trees shall be on the approved plant list in Appendix I.
5. Twenty-five percent of all trees within the buffer shall be evergreen.

Section A:  
9 trees total (minimum of 4 trees to be large and maturing)  
4 trees evergreen  
No shrubs required per 12.302(8e).

Section B:  
9 trees total (minimum of 4 trees to be large and maturing)  
4 trees evergreen  
No shrubs required per 12.302(8e).

Section C:  
9 trees total (minimum of 4 trees to be large and maturing)  
4 trees evergreen  
No shrubs required per 12.302(8e).

Section D:  
6 trees total (minimum of 2 trees to be large and maturing)  
2 trees evergreen  
No shrubs required per 12.302(8e).

### BUFFER PLANTING SCHEDULE:

Symbol	Total Qty.	Scientific Name	Cal.	Hgt.	Spd.	Cond.	Notes
ACRU	3	Acer Rubrum	2"	12"	12"	4"	B&B straight leader spacing as shown
CECA	10	Cercis canadensis	2"	8"	8"	4"	B&B straight leader spacing as shown
CECE	7	Cercis canadensis	2"	12"	12"	4"	B&B straight leader spacing as shown
COFL	8	Cornus florida	2"	8"	8"	4"	B&B straight leader spacing as shown
PITA	4	Pinus taeda	2"	8"	8"	4"	B&B straight leader spacing as shown

**ATTACHED TO ADMINISTRATION**  
**APPROVAL**  
**DATED: March 12, 2008**  
**BY: DEBRA C. GARDNER**

**LandDesign**  
223 N Graham Street, Charlotte, NC 28202  
V: 704.331.0325 F: 704.332.3246  
www.LandDesign.com



**BLAKENEY CROSSING**  
**CHARLOTTE, NC**  
**CROSLAND INC.**  
**PLANTING PLAN**

DATE: OCT 17, 2007  
11/07/07 REVISION PER CITY COMMENTS  
01/08/08 REVISION PER CITY COMMENTS  
01/08/08 REVISION PER CITY COMMENTS  
02/08/08 REVISION PER CITY COMMENTS  
03/08/08 REVISION PER CITY COMMENTS  
SHEET #:  
**C8.1**



# CHARLOTTE, NORTH CAROLINA

ELEVATIONS



ELEVATION FROM REA ROAD



ELEVATION FROM ARDREY KEL



ELEVATION FROM INTERSECTION

ATTACHED TO ADMINISTRATIVE  
APPROVAL

DATED: *Thru 12/2008*

BY: DEBRA D. CAMPBELL

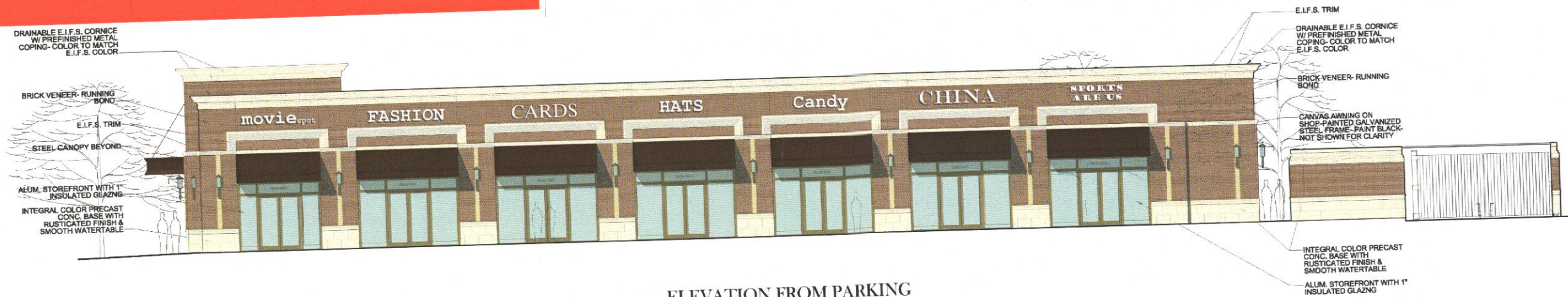
**one**mArchitecture  
architecture  
planning  
interiors

Architect



# CHARLOTTE, NORTH CAROLINA

ELEVATIONS



ELEVATION FROM PARKING



ELEVATION FROM NORTH



ELEVATION FROM SOUTH



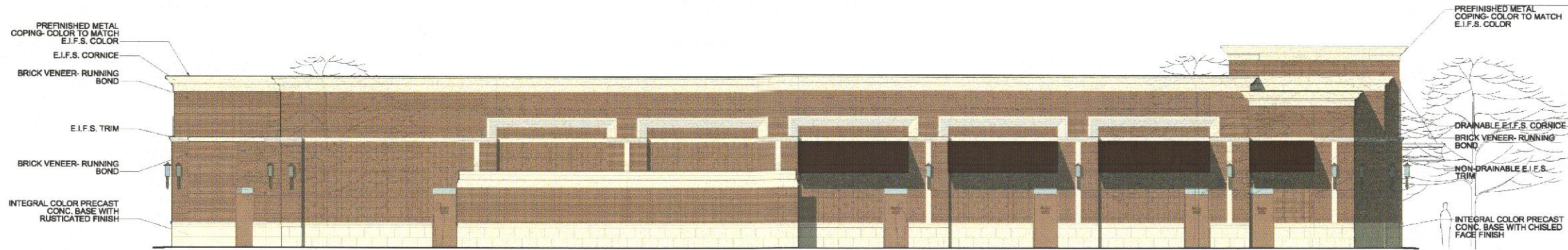
ELEVATION FROM REA ROAD

ATTACHED TO ADMINISTRATIVE  
APPROVAL

DATED: *Thurs 12/2/2008*

BY: DEBRA D. CAMPBELL





ELEVATION FROM NORTH



ELEVATION FROM REA ROAD



ELEVATION FROM EAST



ELEVATION FROM SOUTH

ATTACHED TO ADMINISTRATIVE APPROVAL

DATED: March 12, 2008

BY: DEBRA D. CAMPBELL

onemArchitecture  
architecture  
planning  
interiors

Architect

  
**Crosland**  
www.crosland.com  
704-523-0272

# Blakeney Crossing Building F6

4 MARCH 2008

## CHARLOTTE - MECKLENBURG PLANNING COMMISSION INTER - OFFICE COMMUNICATION

DATE: March 12, 2008

TO: Gary Huss  
Zoning Supervisor

FROM: Debra Campbell  
Planning Director

SUBJECT: Administrative Approval for Petition No. 2007-33, Blakeney Crossing.  
Site Layout, Landscape plan and building elevations for buildings F3, F4, F5, and F6

As required in the Conditional Plan for Blakeney Crossing the Staff of the Charlotte-Mecklenburg Planning Commission in conjunction with the Blakeney Crossing Architectural Review Board has reviewed the site layout, landscape plan and elevations for buildings F3, F4, F5, and F6 and found that they meet the requirements as outlined in the Conditional Plan. Attached are specific elevations site layout and landscape plans. Please use these specific plans when evaluating requests for building permits and certificates of occupancy.

This site must still meet all other requirements as outlined in the City of Charlotte Zoning Ordinance.



**CHARLOTTE - MECKLENBURG**  
**PLANNING COMMISSION**

**INTER - OFFICE COMMUNICATION**

**DATE:** April 14, 2008

**TO:** Gary Huss  
Zoning Supervisor

**FROM:** Debra Campbell  
Planning Director

**SUBJECT:** Administrative Approval for Petition No. 2007-33, Blakeney Crossing.  
**Building elevations for Bank of America**

As required in the Conditional Plan for Blakeney Crossing the Staff of the Charlotte-Mecklenburg Planning Commission in conjunction with the Blakeney Crossing Architectural Review Board has reviewed the elevations for Bank of America and found that they meet the requirements as outlined in the Conditional Plan. Attached are specific elevations. Please use these specific elevations when evaluating requests for building permits and certificates of occupancy.

**This site must still meet all other requirements as outlined in the City of Charlotte Zoning Ordinance.**

**CC:** Monica Brown, Crosland Development  
Russell Ash, Little  
Rezoning File 2007-33





Front



Blakeney Crossing  
Charlotte, NC



Side

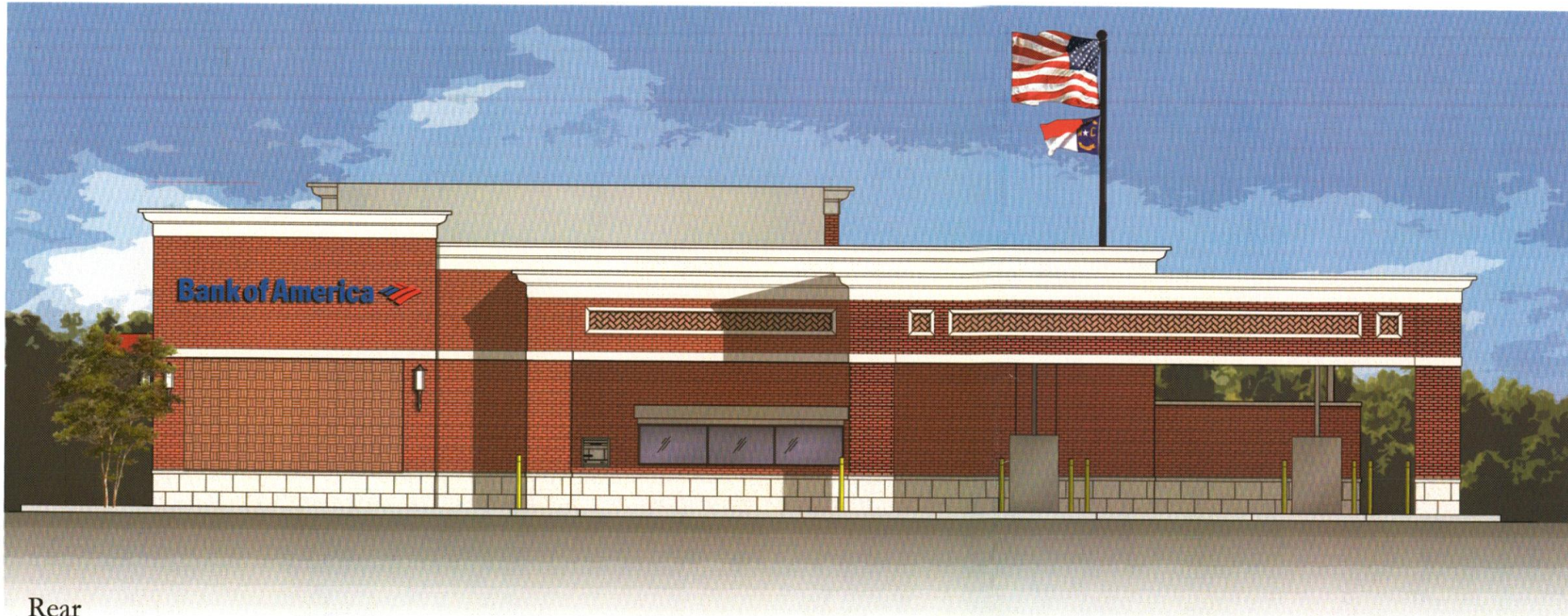
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APPROVAL

DATED: 4/17/08 m

BY: DEBRA D. CAMPBELL

LITTLE<sup>®</sup>  
DIVERSIFIED ARCHITECTURAL CONSULTING





Rear



Side



Blakeney Crossing  
Charlotte, NC

ATTACHED TO ADMINISTRATIVE  
APPROVAL  
DATED: 4/17/00 *mw*  
BY: DEBRA D. CAMPBELL

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PLANT LIST								
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CAULIPER	HEIGHT	SPREAD	ROOT	REMARKS
TREES								
PRIN	2	Prunus x incam 'Okame'	Okame Cherry		10-12'	10-12'	B+B	matched specimen
BETN	1	Betula nigra 'Heritage'	Heritage River Birch		10-12'	6-8'	B&B	multi-stem (3 ONLY)
TD	3	Taxodium distichem	Bald Cypress		8-10'	4-6'	B&B	matched specimen
ZESE	3	Zelkova serrata	Zelkova		2-5"	6-8'	B&B	matched specimen
SHRUBS								
ILST	35	Ilex crenata 'Soft Touch'	Soft Touch Holly		12-16"		3 gal.	matched specimen
GAJA	44	Gardenia jasminoides 'Radicans'	Dwarf Gardenia		12-18"		3 gal.	3' O.C.
ILNS	3	Ilex x 'Nellie R. Stevens'	Nellie R. Stevens Holly		8-10'	4-6'	B&B	matched specimen
THOE	10	Thuja Occidentalis 'Emerald'	Emerald Arborvitae		6-8'		B&B	matched specimen
PLOL	19	Prunus Laurocerasus 'Otto Luyken'	Otto Luyken Laurel		24-36"		5 gal.	4' O.C.
LIJA	26	Ligustrum japonicum 'Howard'	Golden Japanese Ligustrum		24-36"		5 gal.	5' O.C.

SOD SOD FESCUE REFER TO WRITTEN SPECS.  
MULCH HARDWOOD MULCH--AS REQUIRED--REFER TO WRITTEN SPECS AND NOTES

#### GENERAL PLANTING NOTES:

- ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ANY REVISIONS TO THE LANDSCAPE PLAN WILL REQUIRE REVIEW AND APPROVAL BY THE CITY OF CHARLOTTE DEPARTMENT OF PLANNING & ZONING.
- NOTIFY LANDSCAPE ARCHITECT OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. LANDSCAPE ARCHITECT SHALL, IF NECESSARY, MAKE "IN-FIELD MODIFICATIONS".
- FINE GRADING SHALL CONSIST OF HAND RAKED SMOOTH, FREE OF DEBRIS, ALL AREAS TO RECEIVE LANDSCAPE PLANTING AND/OR HARDWOOD MULCH.
- CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS AND PROMPTLY REPORTING ANY DISCREPANCIES. CONTRACTOR TO PERFORM SOIL TESTS AS NECESSARY TO CONFORM TO SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITIES AND ANY DAMAGE HE IS RESPONSIBLE FOR THAT MAY OCCUR TO EXISTING UTILITIES.
- MULCH ALL PLANTING BEDS WITH SHREDDED HARDWOOD MULCH TO A 3" DEPTH.
- CONTRACTOR VERIFIES THAT ALL PLANT MATERIAL IS AVAILABLE AS SPECIFIED WHEN BID/PROPOSAL IS SUBMITTED.
- PLANT SCHEDULE WAS PREPARED FOR ESTIMATING PURPOSES. CONTRACTOR SHALL MAKE OWN QUANTITIES TAKEOFF USING DRAWINGS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING. GRAPHIC REPRESENTATION OF PLANTS SHALL SUPERCEDE QUANTITIES LISTED IN THE PLANT SCHEDULE.
- ROOT TYPE MAY BE FREELY SUBSTITUTED IN CASE OF BALLED AND BURLAPPED OR CONTAINER GROWN, OTHER SPECIFICATIONS REMAINING UNCHANGED, EXCEPT IN THE CASE OF CONTAINER GROWN SPECIMEN TREES AS INDICATED IN THE TREE PLANTING SCHEDULE.
- ALL PLANTING BEDS TO RECEIVE AN AMENDED SOIL MIXTURE. SOIL MIX SHALL BE COMPOSED OF 75% EXISTING SOIL AND 15% ORGANIC MATERIAL (OR APPROVED EQUAL) AND 10% SAND. SUPPLEMENT SOIL MIX WITH HIGHER CONCENTRATION OF NITROGEN.
- LANDSCAPE CONTRACTOR TO APPLY A PRE-EMERGENT HERBICIDE, 'PREEN' OR EQUAL TO ALL PLANT BED AREAS.
- IN ADDITION TO THE SOIL MIXTURE, LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ANY NECESSARY SOIL AMENDMENTS, AS INDICATED BY SOIL TESTS, AS WELL AS, AN ADEQUATE DRAINAGE SYSTEM FOR PLANTING BEDS. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AN ENVIRONMENT SUITABLE FOR THE GROWTH OF HEALTHY PLANT MATERIAL. REFER TO PLANTING DETAILS FOR INFORMATION ON PLANTING BED PREPARATIONS.
- ALL AREAS NOT DESIGNATED AS PLANTING BEDS OR SOD ARE TO BE SEEDED WITH GRASS SEED WITH THE INTENT AND PURPOSE OF ESTABLISHING A PERMANENT STAND OF GRASS.
- ALL PLANT MATERIAL MUST BE PLANTED IN CORRELATION WITH THE APPROPRIATE GROWING SEASON OF INDIVIDUAL PLANT REQUIREMENTS. SOME PERENNIALS MAY REQUIRE A SPRING PLANTING IN ORDER TO SURVIVE A FULL WINTER DORMANCY.
- PROVIDE QUALITY, SIZE, GENUS, SPECIES AND VARIETY OF EXTERIOR PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI 260.1, 'AMERICAN STANDARD FOR NURSERY STOCK'.
- ALL PLANT MATERIAL AND WORKMANSHIP TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. PLANT REPLACEMENT TO OCCUR ONLY ONCE, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO MEET REQUIREMENTS. REPLACEMENT PLANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THIS DOCUMENT. THE CONTRACTOR WILL NOT BE RESPONSIBLE FOR DEFECTS RESULTING FROM NEGLIGENCE BY THE OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS BEYOND THE LANDSCAPE CONTRACTOR'S CONTROL, WHICH RESULT FROM NATURAL CAUSES.
- MINIMUM TREE SIZE AT PLANTING IS 2-INCH CAULIPER (FOR SINGLE STEM TREES).
- ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE ALL PAVEMENT, GRAVEL SUB-BASE, AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL--OR UNCOMPACT AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES.
- ADJUST PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT MIN. 15' OFF SEWER AND STORM DRAINAGE LINES; MIN. 10' OFF GAS, WATER TELEPHONE AND ELECTRICAL LINES.
- THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING BY KEEPING LAWNS MOWED, ALL PLANTS MAINTAINED AS DISEASE FREE, ALL PLANTING BEDS GROOMED AND KEPT WEED FREE (EXCEPT IN AREAS OF PRESERVED EXISTING NATURAL VEGETATION (I.E., THICKETS), AND KEPT FREE FROM TRASH, DEBRIS AND OTHER OBJECTIONABLE MATERIALS, THE REPLACEMENT OF ANY REQUIRED PLANTING WHICH IS REMOVED OR DIES AFTER THE DATE OF PLANTING. SUCH REPLACEMENT SHALL OCCUR DURING THE NEXT PLANTING SEASON; AND, THE REPLACEMENT OF ANY TREE IN A TREE SAVE AREA WHICH IS REMOVED OR DIES AFTER THE DATE OF APPROVAL OF A PRESERVATION LANDSCAPE.

#### IRRIGATION NOTES

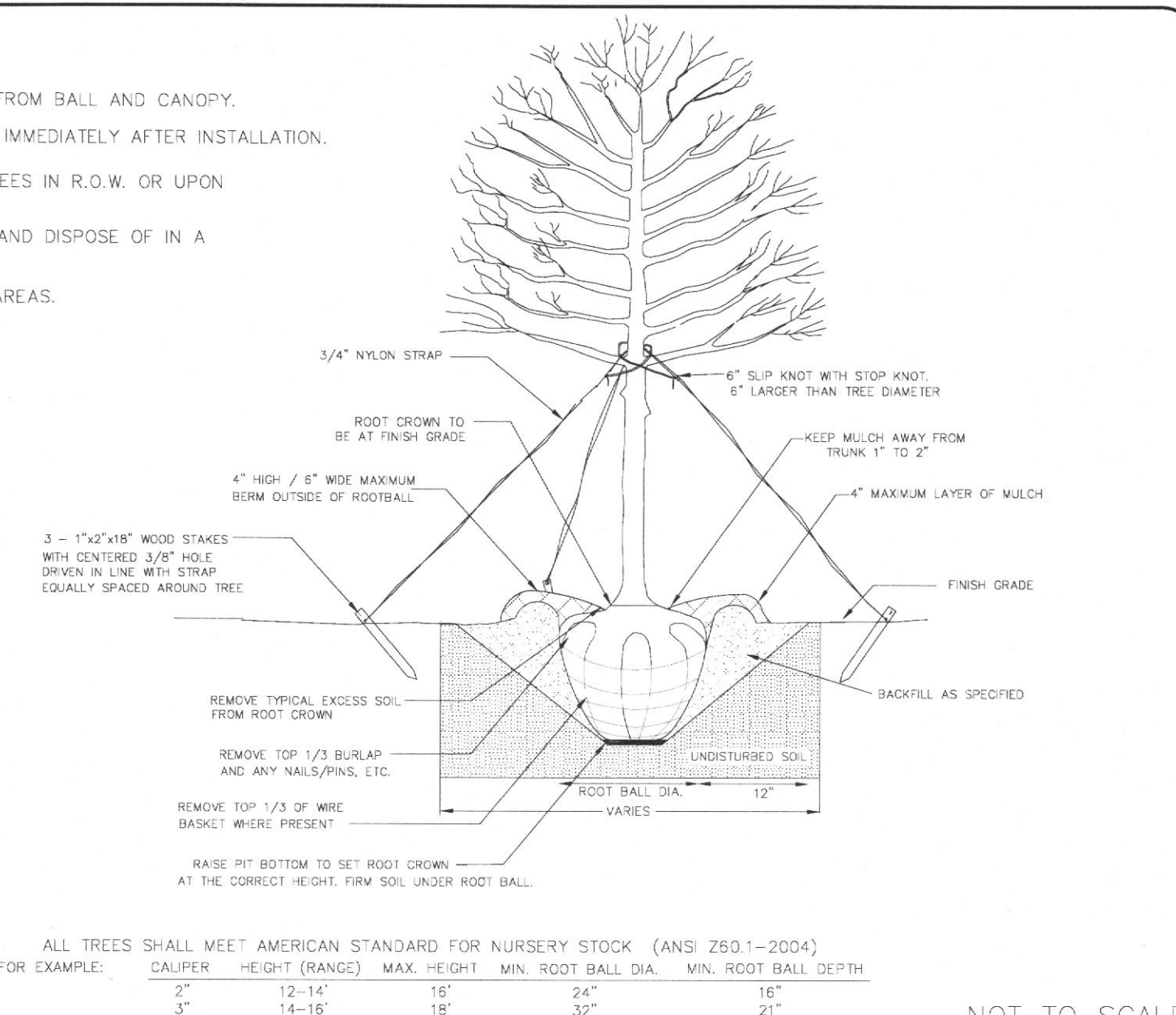
- CONTRACTOR SHALL VERIFY THAT AVAILABLE WATER PRESSURE IS ADEQUATE FOR IRRIGATION SYSTEM. CONTRACTOR SHALL VERIFY IN FIELD PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE.
- CONTRACTOR TO PROVIDE IRRIGATION LAYOUT DESIGN TO ARCHITECT FOR APPROVAL. SEE IRRIGATION REQUIREMENTS PARAGRAPH.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF WATER METERS, BACKFLOW PREVENTERS, VALVES, ELECTRIC WIRING FOR THE IRRIGATION SYSTEM, ALL SLEEVING, ALL FITTINGS, ADAPTERS, ETC. TO COMPLETE THE IRRIGATION SYSTEM.
- CONTRACTOR SHALL ADJUST ALL HEADS IN FIELD TO INSURE MAXIMUM COVERAGE, ELIMINATE OVERTHROW, ONTO PAVED AREAS, BUILDING AND WALL SURFACES. (LOCATE HEADS 3" CLEAR OF ALL HARDSCAPE SURFACES.) ALL AUTOMATIC VALVES SHALL BE INSTALLED IN A VALVE BOX AS SPECIFIED. COORDINATE SLEEVES WITH GENERAL CONTRACTOR.
- CONTRACTOR SHALL COORDINATE PIPING LAYOUT WITH LANDSCAPE PLAN TO INSURE PIPES DO NOT INTERFERE WITH ROOT BALLS OF TREES OR R.O.W.S OF SHRUBS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE.
- CONTRACTOR SHALL VERIFY THAT ALL PERTINENT LOCAL AND STATE CODES ARE BEING OBSERVED.
- CONTRACTOR TO PROVIDE THRUST BLOCKS ON 3" MAIN AT ALL BENDS AND TURNS.
- PROVIDE IRRIGATION TO ALL STREET TREES WITHIN PROJECT LIMITS.
- PROVIDE GATE VALVES AT DOWNSTREAM SIDE OF BACKFLOW AND AT HYDRAULIC CONTROLLERS.

#### IRRIGATION REQUIREMENTS

- CONTRACTOR SHALL DESIGN AND INSTALL A COMPLETE FUNCTIONING IRRIGATION SYSTEM FOR ALL TURF AND PLANTING AREAS, WITHIN PROJECT CONSTRUCTION LIMITS.
- CONTRACTOR SHALL SUBMIT IRRIGATION PLANS FOR ENTIRE SYSTEM TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- PLANS SHALL INCLUDE A COMPLETE SEPARATION OF SHRUB AND TURF AREAS. PLANS SHALL INCLUDE CONTROLLER, ALL SLEEVING, ELECTRIC VALVES, HEADS, LATERALS, MAINS, DRIP LINES, CONNECTIONS TO EQUIPMENT, AND ALL OTHER COMPONENTS NECESSARY FOR A WORKING IRRIGATION SYSTEM.
- ALL CONTROLLERS, VALVES AND HEADS TO BE MADE BY THE SAME MANUFACTURER.
- BACKFLOW PREVENTOR TO BE PROVIDED BY CONTRACTOR AND SHALL CONFORM TO REQUIREMENTS OF LOCAL AUTHORITIES.
- SEE ELECTRICAL PLANS FOR LOCATION OF CONTROLLER BOX.

#### NOTES:

- REMOVE WIRE AND NYLON TWINE FROM BALL AND CANGDY.
- SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
- STAKING IS REQUIRED FOR ALL TREES IN R.O.W. OR UPON REQUEST OF ARBORIST.
- REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.
- RESEED UNMULCHED, DISTURBED AREAS.



ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601-2004)  
FOR EXAMPLE: CAULIPER HEIGHT (RANGE) MAX. HEIGHT MIN. ROOT BALL DIA. MIN. ROOT BALL DEPTH  
2" 12-14' 18' 18" 24" 18"  
3" 14-16' 18' 24" 24" 24"

NOT TO SCALE



CITY OF CHARLOTTE  
LAND DEVELOPMENT STANDARDS  
INCLUDES CHARLOTTE ETJ

TREE PLANTING  
(FOR SINGLE AND MULTI-STEM TREES)

STD. NO. 1  
REV. 40.01

#### SHEET NOTES

CAUTION!!!  
The locations and elevations of existing underground utilities as shown on this drawing are only APPROXIMATE. No guarantee is either expressed or implied as to the completeness or accuracy thereof. The contractor shall be exclusively responsible for determining the exact utility locations and elevations prior to the start of construction.



GRAPHIC SCALE

( IN FEET )  
1 inch = 40 ft.

1 inch = 40 ft.

1 inch = 40 ft.

## Bank of America Blakeney Crossing New Store

Ardrey Kell Rd & Rea Rd  
Charlotte, NC

SERIAL NUMBER: NC0032  
NRSP VERSION: 2.0  
BULLETIN: 22

LITTLE

Small text below Little logo

Small text below Little logo

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Little 2007

Issue Date & Issue Description By Check

4/01/08

Issued for BARC Approval

4/15/08

Issued for final BARC Approval

Seal/Signature

Project Name

Bank of America - Blakeney Crossing

Project Number

141-3873-00

CAD File Name

Description Landscape Plan

Scale

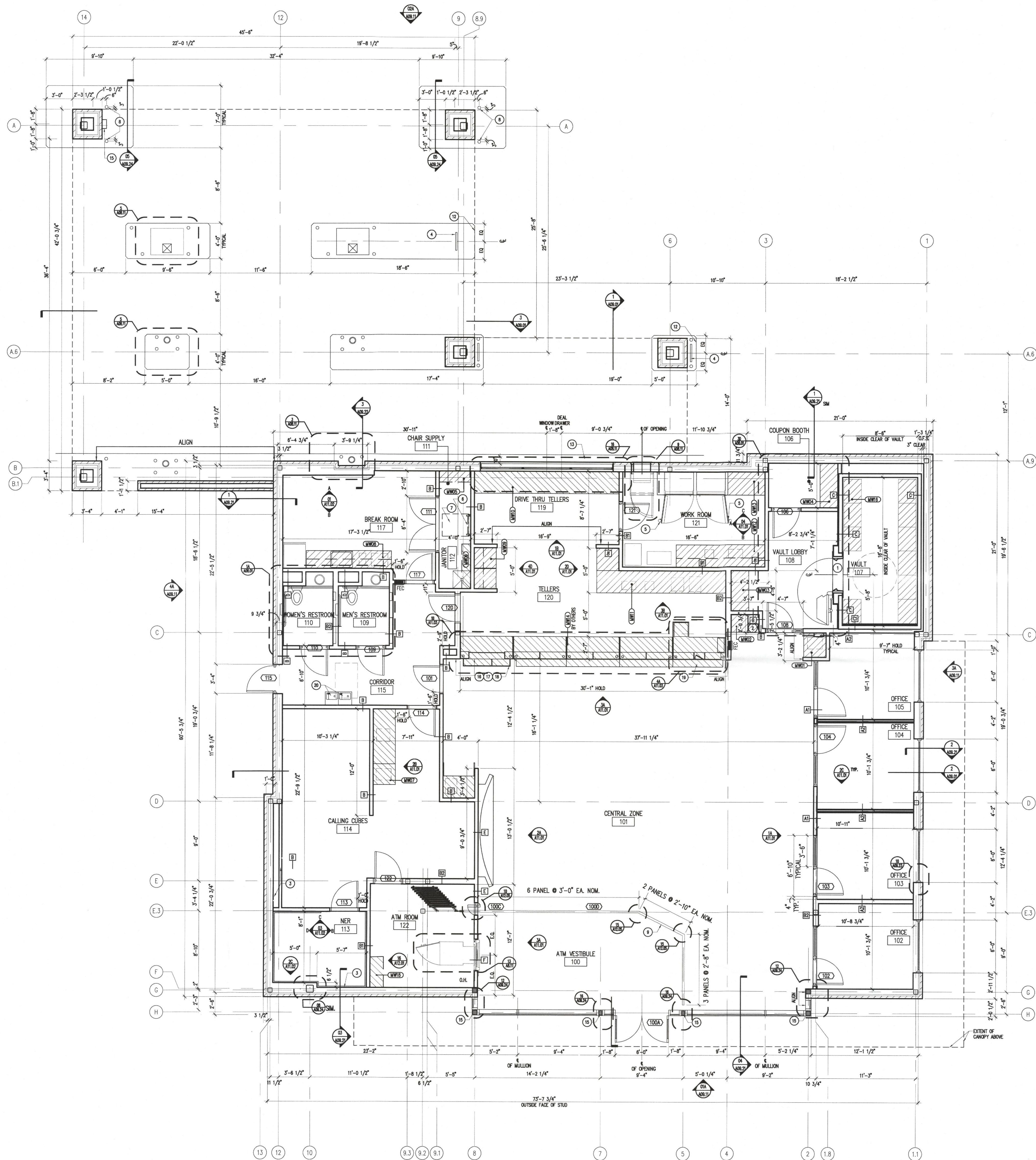
ATTACHED TO ADMINISTRATIVE  
APPROVAL

DATED: 4/17/08

BY: DEBRA D. CAMPBELL

L1.0





## KEY NOTES

- COORDINATE EMBEDDED STEEL PLATE LOCATION WITH VAULT MANUFACTURER. REFER TO STRUCTURAL DRAWINGS FOR VAULT SLAB CONSTRUCTION.
- COORDINATE PARTITION FRAMING DIMENSION WITH MILLWORK SCHEDULED, MWO2.
- PROVIDE FIRE-RATED PLYWOOD BACKBOARD ON WALLS AS INDICATED, H=8'-0". PAINT TO MATCH ADJACENT WALL. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. DO NOT PAINT FIRE RATING STAMP.
- GROUND MOUNTED SIGN BY OWNER.
- PROVIDE HEAVY DUTY FLOOR STOP PER SPEC. COORDINATE LOCATION WITH CASH VAULT DOOR.
- LADDER TO ROOF HATCH - SEE DETAIL 10/A09.24
- ROOF HATCH ABOVE - SEE DETAIL 9/A09.24
- BOLLARD - SEE DETAIL 4/A09.24
- MOVABLE GLASS WALLS. REFER TO SPECIFICATION SECTION 08450. COORDINATE FIELD DIMS WITH VENDOR SHOP DRAWINGS.
- NOT USED
- NOT USED
- ALIGN EDGE OF D.T. ISLAND WITH LINE OF DRIVE THRU SOFFIT ABOVE
- HEADER CURB - 10" WIDE AGAINST BUILDING
- NOT USED
- COURIER BOX BY OWNER VENDOR
- NOT USED
- NOT USED
- SEE DETAIL 4A/A11.03 FOR MERCHANT TELLER.
- PROVIDE DRINKING FOUNTAINS ONLY IF REQUIRED BY LOCAL JURISDICTION

# Bank of America Blakeney Crossing New Store

Ardney Kell Rd & Rea Rd  
Charlotte, NC

SERIAL NUMBER: NC0032  
NRSP VERSION: 2.0  
BULLETIN: 22



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Issue	Date & Issue Description	By	Check
	4/01/08		
	Issued for BARC Approval		
	4/15/08		
	Issued for Final BARC Approval		

## SHEET NOTES

- ALL PARTITIONS TO BE TYPE "A", UNLESS OTHERWISE NOTED. REFER TO SHEET A12.01 AND A12.08 FOR PARTITION DETAILS.
- FOR ADDITIONAL GENERAL NOTES, LEGENDS AND SCHEDULES, REFERENCE A00.00 THROUGH A
- UNLESS OTHERWISE NOTED, LOCATE HINGE SIDE OF ALL DOORS 6" FROM ADJACENT PERPENDICULAR PARTITION.
- REF. SHEET A08.11 FOR BANKING EQUIPMENT. DO VERIFY ALL EQUIPMENT WITH MANUFACTURER.
- CONTRACTOR SHALL PROVIDE BLOCKING FOR ALL EQUIPMENT/ACCESSORIES MOUNTED ON WALL.

Seal/Signature

Project Name  
Bank of America - Blakeney Crossing

Project Number  
141-3873-00  
CAD File Name

Description  
CONSTRUCTION PLAN

Scale

3/16" = 1'-0"

ATTACHED TO ADMINISTRATIVE  
APPROVAL  
DATED: 4/17/08  
BY: DEBRA D. CAMPBELL

A02.01



Ardrey Kell Rd & Rea Rd  
Charlotte, NC

SERIAL NUMBER: NC0032  
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- 1 SIGNAGE BY OWNER
- 2 NOT USED
- 3 NOT USED
- 4 NIGHT DEPOSITORY - BY OWNER
- 5 VACUUM AIR TUBE (VAT) BY OWNER
- 6 ENTRANCE CANOPY
- 7 NOT USED
- 8 GROUND MOUNTED FLAGPOLE - BLACK FINISH
- 9 DRIVE THRU TELLER WINDOW BY OWNER
- 10 BRICK ACCENT - HERRINGBONE PATTERN (BR-2)
- 11 BRICK ACCENT - PARQUET PATTERN (BR-2)
- 12 WALL SCONCE TO MATCH BLAKENEY CROSSING
- 13 LED LANE LIGHTS PROVIDED BY EQUIPMENT VENDOR. C OF SIGN=C OF LANE.
- 14 S3 MONILE SIGNAGE PROVIDED BY OWNER. C OF SIGN=C OF ISLAND.
- 15 S3 MONILE SIGNAGE PROVIDED BY OWNER. C OF SIGN=C OF LANE.

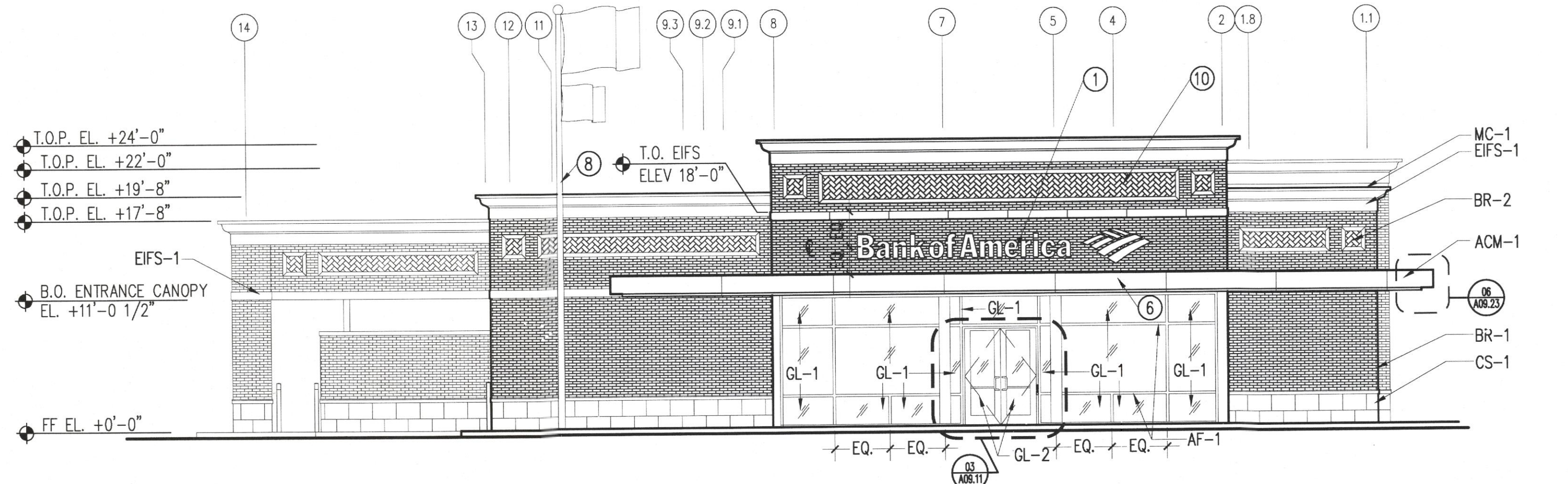
<b>BRICK</b>	
BR-1	"PORTSMOUTH" BY TAYLOR TRIANGLE BRICK
BR-2	"LIGHT GREY WIRECUT" BY HANSON (W/ GIANT CEMENT 035 LIGHT SAND 5/07 MORTAR)
<b>EIFS</b>	
EIFS-1	DRYVIT SPF TEXTURE. COLOR: "AMARILLO WHITE"
<b>CAST STONE</b>	
CS-1	"CRYSTAL WHITE" CHISED-FACE PRECAST CONCRETE UNIT BY ROCKCAST
<b>ALUMINUM COMPOSIT METAL PANEL</b>	
CONTACT MIKE CALDWELL • (770) 985-0930	
ACM-1	"BRITE RED" #JMC40021 BY ALPOLIC
ACM-2	"RVW WHITE" #3MM4RVW3.5 BY ALPOLIC
<b>GLAZING</b>	
GL-1	INSULATED GLAZING AS SPECIFIED
GL-2	1" TEMPERED INSULATED GLAZING AS SPECIFIED
<b>ALUMINUM GLAZING FRAMES</b>	
AF-1	CURTAINWALL SYSTEM AS SPECIFIED
AF-2	STOREFRONT SYSTEM AS SPECIFIED COLOR TO BE DARK BRONZE. ANODIZED FINISH AS MFR'D BY KAWNEER
<b>METAL COPING</b>	
MC-1	PREFINISHED METAL COPING TO MATCH EIFS
<b>EXTERIOR PAINT (BASED ON BENJAMIN MOORE)</b>	
EXPT-1	TO MATCH EIFS

**SHEET NOTES** Seal/Signature \_\_\_\_\_

- A. CONTRACTOR TO COORDINATE POWER FOR WALL MOUNTED SIGNS WITH OWNER SIGN VENDOR TO DETERMINE EXACT MOUNTING LOCATION(S).
3. STANDARD SIGN ABOVE ENTRANCE CANOPY IS BANK OF AMERICA K-5 TYPE LETTERSET.
- C. STANDARD BUILDING WALL-MOUNTED SIGNS OTHER THAN SIGN ABOVE ENTRANCE CANOPY IS BANK OF AMERICA K-3 TYPE LETTERSET. REF. DRAWING 01B ON THIS SHEET FOR TYPICAL MOUNTING HEIGHT OF SIGN.
- D. ALL EXTERIOR CURTAIN WALL/STOREFRONT FRAMES AND DOORS TO BE FINISHED WITH SC-1 (SEE FINISH SCHEDULE).
- E. SEE 2A/A11.04 FOR ENTRANCE DOOR WIRING DIAGRAM.

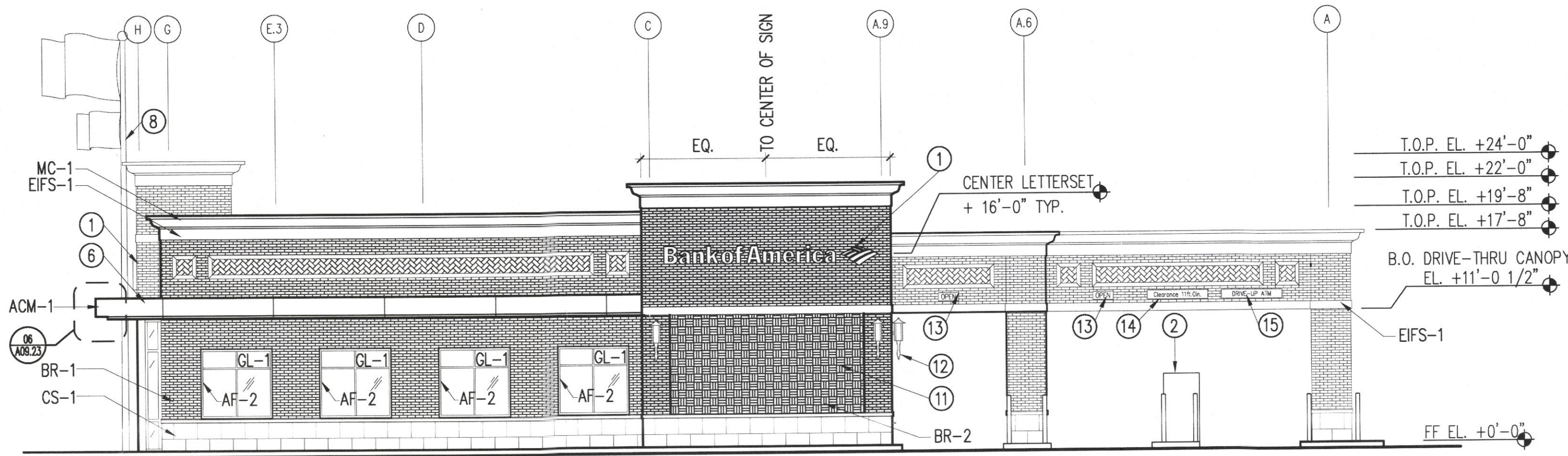
**ATTACHED TO ADMINISTRATIVE  
APPROVAL**

**A09.11** **APPROVAL**  
**DATED:** 4/17/08  
**BY:** DEBRA D. CAMPBELL



**A FRONT ELEVATION**  
SCALE: 1/16" = 1'-0"

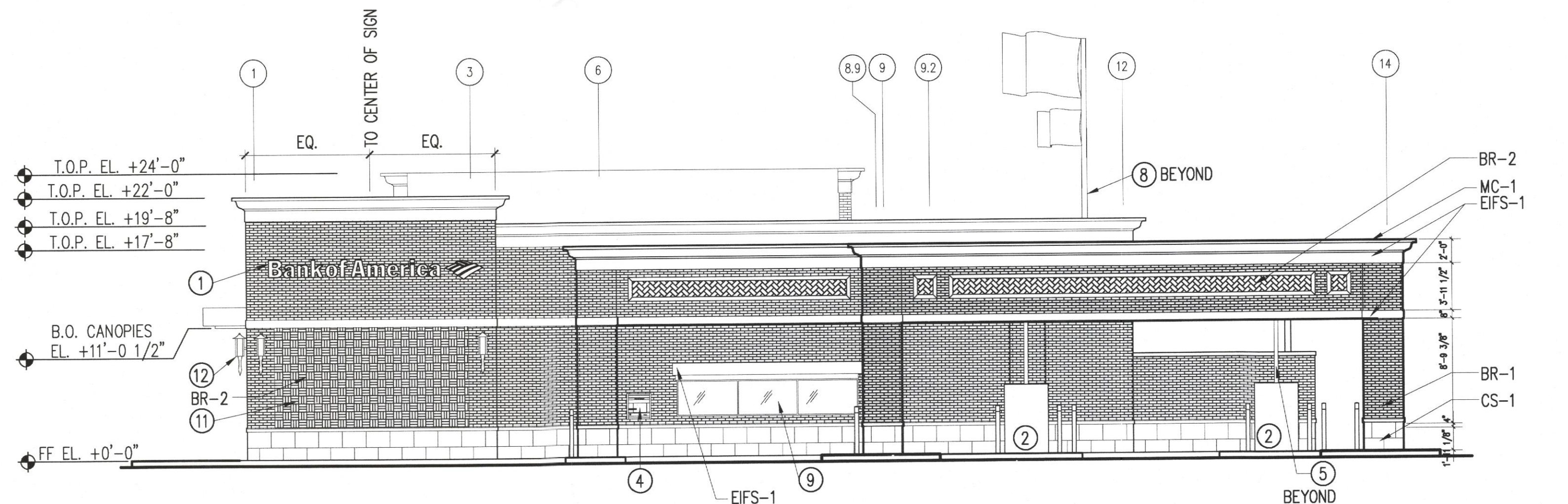
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## B SIDE ELEVATION

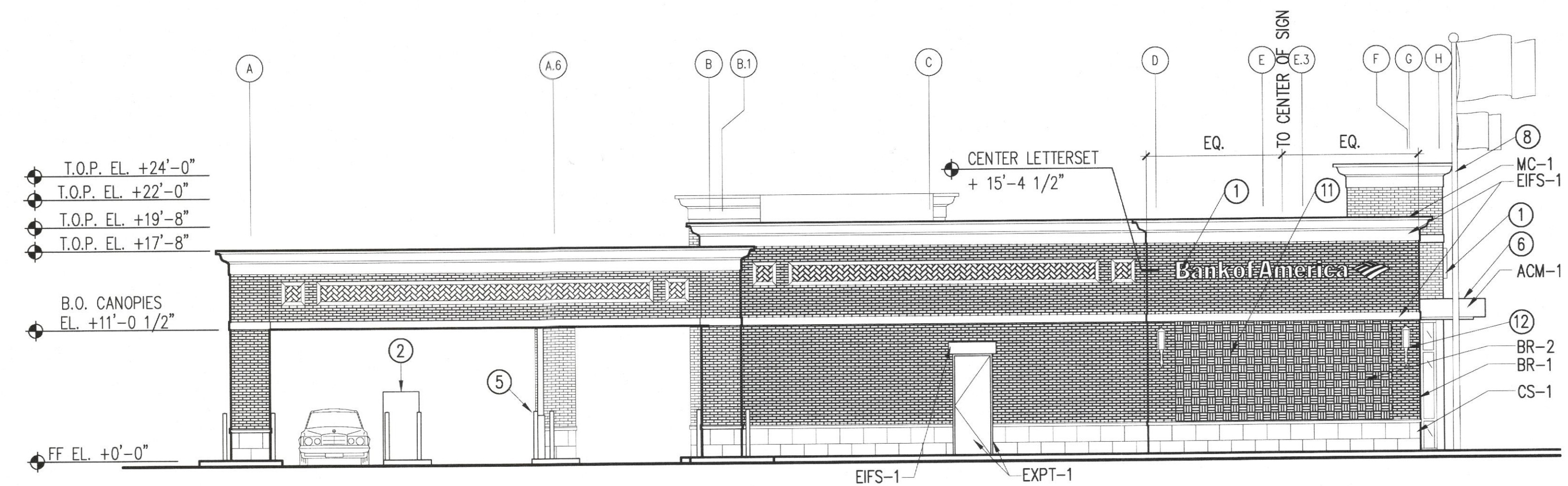
SCALE: 1/16" = 1'-0"

02



### C REAR ELEVATION

0



**D SIDE ELEVATION**  
SCALE: 1/16" = 1'-0"

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