



# Charlotte-Mecklenburg Planning Department

**DATE:** April 25, 2021

**TO:** Sonja Sanders  
Zoning Supervisor

**FROM:** Taiwo Jaiyeoba  
Planning Director

**SUBJECT:** Site Review Petition: 2007-033

Attached is the proposed site plan for the petition above.

- Site plan and elevations for a proposed ATM for a proposed Financial use (Chase Bank).

**Note: Setbacks, Screening and all other Zoning, Subdivision, Tree Ordinances, conditional requirements and Building Codes still apply and will be reviewed during permitting.**

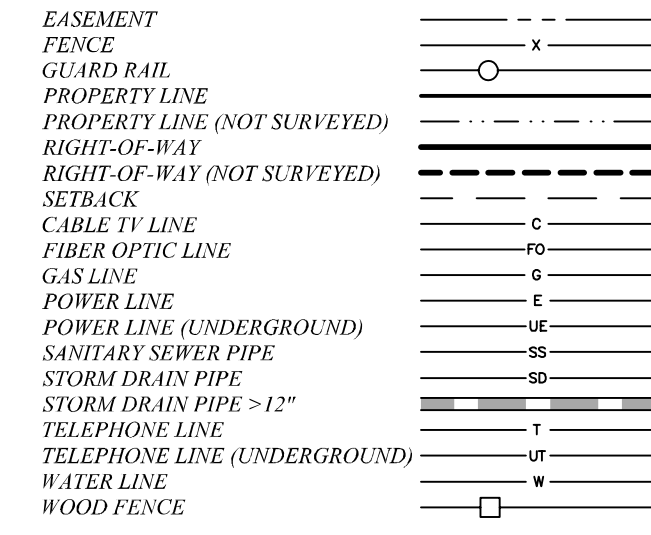
**Signage was note reviewed as part of this request.**



**LEGEND:**

- BFP - BACK FLOW PREVENTOR
- C&G - CURB & GUTTER
- CB - CATCH BASIN
- CI - CURB INLET
- CMP - CORRUGATED METAL PIPE
- CP - CALCULATED POINT
- CPP - CORRUGATED PLASTIC PIPE
- C/O - CLEAN OUT
- D.B. - DEED BOOK
- DI - DROP INLET
- DIP - DUCTILE IRON PIPE
- ECM - EXISTING CONCRETE MONUMENT
- EIP - EXISTING IRON PIPE
- EIR - EXISTING IRON ROD
- EMM - EXISTING METAL MONUMENT
- EN - EXISTING NAIL
- EGG - EDGE OF GRAVEL
- EOP - EDGE OF PAVEMENT
- EU - END UNKNOWN
- FC - FIRE CONNECTION
- FH - FIRE HYDRANT
- FP - FLAG POLE
- FV - FIRE VALVE
- GDP - GUARD POST
- GLT - GROUND LIGHT
- GM - GAS METER
- GP - GATE POST
- GV - GAS VALVE
- GW - GUY WIRE
- HVAC - HEATING, VENTILATION, AIR COND.
- HP - HEADWELL
- ICV - IRRIGATION CONTROL VALVE
- JBX - JUNCTION BOX
- LMP - LAMP POST
- LP - LIGHT POLE
- (M) - MEASURED
- MBX - MAIL BOX
- MR - MAP BOOK
- MW - MONITORING WELL
- N.G.S. - NATIONAL GEODETIC SURVEY
- NIR - NEW IRON ROD
- NN - NEW NAIL
- OHANG - OVERHANG
- PB - POWER BOX
- PIN - PARCEL IDENTIFICATION NUMBER
- PM - POWER METER
- PMH - POWER MANHOLE
- PP - POWER POLE
- PG - PAGE
- PVC - PLASTIC PIPE
- (R) - RECORDED
- R/W - RIGHT-OF-WAY
- RCP - REINFORCED CONCRETE PIPE
- RW - RETAINING WALL
- SBP - BILLBOARD
- SDMH - STORM DRAIN MANHOLE
- SMP - MULTI POST SIGN
- SSMH - SANITARY SEWER MANHOLE
- (T) - TOTAL
- TB - TELEPHONE BOX
- TERR - TERRACOTTA PIPE
- TMH - TELEPHONE MANHOLE
- TSB - TRAFFIC SIGNAL BOX
- TVB - CABLE TV BOX
- WB - WATER BOX
- WM - WATER METER
- WSP - WATER SPIGOT
- WV - WATER VALVE

**LINE LEGEND:**



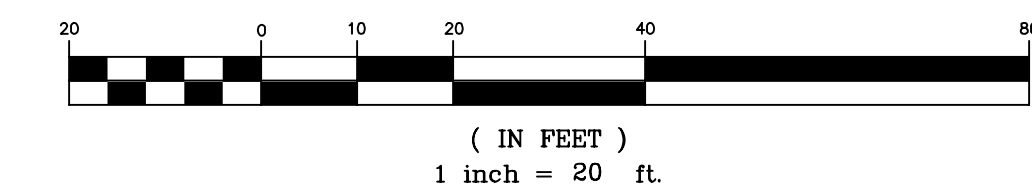
**TREE LEGEND:**

- BCH - BEECH
- BRC - BIRCH
- BRAD - BRADFORD PEAR
- CED - CEDAR
- CHT - CHERRY
- CRP - CREPE MYRTLE
- DGW - DOGWOOD
- HIC - HICKORY
- HOL - HOLLY
- LOC - LOCUST
- MAG - MAGNOLIA
- MMP - MAPLE
- PEC - PECAN
- PIN - PINE
- POP - POPLAR
- SYC - SYCAMORE
- WLN - WALNUT
- WLC - WILD CHERRY

**REA ROAD**  
VARIABLE WIDTH PUBLIC R/W

VARIABLE WIDTH PUBLIC R/W

GRAPHIC SCALE



**PLANNING DEPARTMENT REVIEW**

APPROVED: \$F [Signature]

TELEPHONE: 704-336-2205

DATE: 04-25-2021

**UTILITIES:**

- POWER  
DUKE POWER ENERGY  
1-800-777-9888
- TELEPHONE  
BELL SOUTH TELECOMMUNICATIONS  
1-888-757-6590
- WATER & SEWER  
CH2M-MECK, UTILITY DEPT. (CMUD)  
(704) 336-2564 WATER  
(704) 337-6064 SEWER
- GAS  
PIEDMONT NATURAL GAS CO.  
1-800-752-7594
- CABLE TELEVISION  
TIME WARNER CABLE  
1-800-892-2253



Know what's below.  
Call before you dig.

**GPS CERTIFICATION:**

I, JUSTIN F. CLONINGER, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL GPS SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:

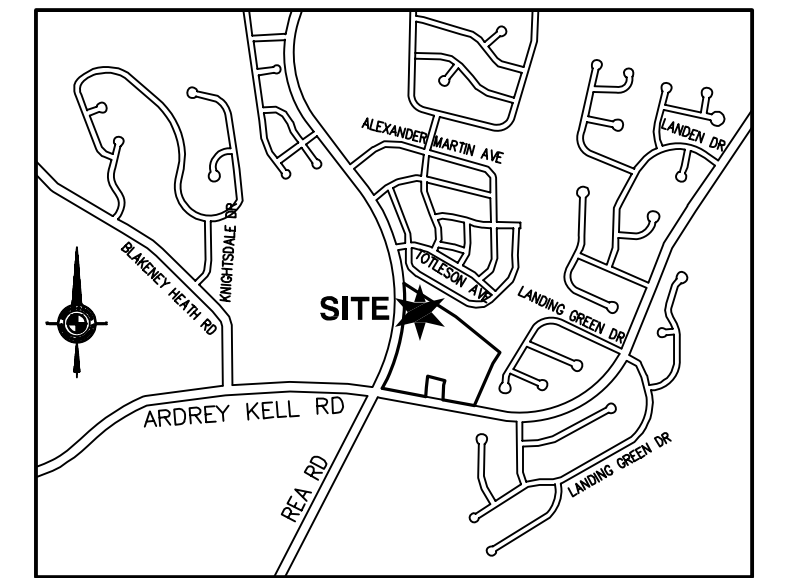
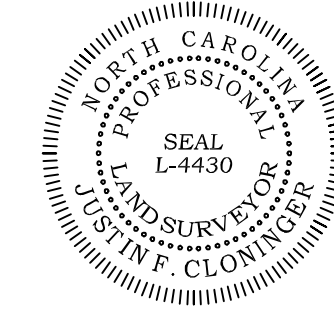
- (1) CLASS OF SURVEY: A1; 10.000
- (2) POSITIONAL ACCURACY: HORZ.=0.0085; VERT.=0.0062
- (3) TYPE OF GPS FIELD PROCEDURE: REAL-TIME KINEMATIC
- (4) DATES OF SURVEY: 11/21/2011
- (5) DATUM/EPOCH: NAD83(2011), NAVD83
- (6) PUBLISHED/FIXED-CONTROL USE: NGS MONUMENT "PROVIDENCE"
- (7) GRID MODEL: GEOIDSGEN(S)
- (8) COMBINED GRID FACTORS: 0.99985097
- (9) UNITS: US SURVEY FEET

**FLOOD CERTIFICATION**

THIS IS TO CERTIFY THAT THE SUBJECT PROPERTY IS PARTLY LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, DATED FEBRUARY 19, 2014.  
MAP NUMBER: 3710445700K; ZONE 'AE' & 'X'

THIS IS TO CERTIFY THAT ON THE 1ST DAY OF OCTOBER 2020, THIS MAP WAS PREPARED UNDER MY SUPERVISION AND THAT NO BOUNDARY WAS PERFORMED IN ITS PREPARATION. THE PURPOSE OF THIS MAP IS TO SHOW TOPOGRAPHICAL AND PHYSICAL FEATURES ONLY, AND IT DOES NOT MEET THE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA, BOARD RULE 1600 (21 NCAC 56), AND IS NOT INTENDED TO BE USED FOR RECORDATION, CONVEYANCES, OR SALES; HOWEVER THE POSITIONAL AND VERTICAL ACCURACY OF THE PHYSICAL AND TOPOGRAPHICAL FEATURES SHOWN ARE RELIABLE AND MEET THE ACCURACY STANDARDS OF THE FORESAID STANDARDS OF PRACTICE.

SIGNED [Signature]



VICINITY MAP  
NOT TO SCALE

**NOTES:**

1. THIS PLAT IS NOT FOR RECORDATION AS PER G.S. 47-30 AS AMENDED.
2. ALL CORNERS MONUMENTED AS SHOWN.
3. NO RECOVERABLE NGS MONUMENT LOCATED WITHIN 2,000 FEET OF SUBJECT PROPERTY.
4. THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS MAP IS APPROXIMATE, BASED ON INFORMATION PROVIDED BY OTHERS OR BY FIELD LOCATION. UTILITY LOCATIONS AS SHOWN HEREIN ARE INTENDED FOR PLANNING ONLY. ACTUAL LOCATION, SIZE, OR DEPTH OF LINE SHOULD BE VERIFIED WITH THE INDIVIDUAL UTILITY COMPANY BEFORE CONSTRUCTION.
5. ELEVATIONS BASED ON N.G.S. MONUMENT "PROVIDENCE". ELEVATION = 675.79 FEET, NAVD 88.
6. BROKEN LINES UNLESS THEY HAVE A METES AND BOUNDS DESCRIPTION, INDICATE PROPERTY LINES NOT SURVEYED.
7. REA ROAD IS SHOWN AS A "MAJOR THOROUGHFARE" ON THE MECKLENBURG-UNION METROPOLITAN PLANNING ORGANIZATION THOROUGHFARE PLAN OF 2004 AND MAY BE SUBJECT TO A FUTURE RIGHT-OF-WAY OF 50' FROM CENTERLINE.
8. THE OFF-SITE RIGHT-OF-WAY SHOWN HEREIN IS FOR ILLUSTRATIVE PURPOSES ONLY. THE UNDERSIGNED CERTIFIES ONLY TO THE RIGHT-OF-WAYS SURVEYED, AND DOES NOT CERTIFY TO THE RIGHT OF WAY WIDTH OF ANY ADJACENT PROPERTIES.
9. THIS SURVEY WAS PERFORMED WITHOUT BENEFIT OF A TITLE COMMITMENT REPORT. R.B. PHARR & ASSOCIATES, P.A. DOES NOT CLAIM THAT ALL MATTERS OF RECORD WHICH MAY OR MAY NOT AFFECT THE SUBJECT PROPERTY ARE SHOWN HEREON.

**ZONING:**

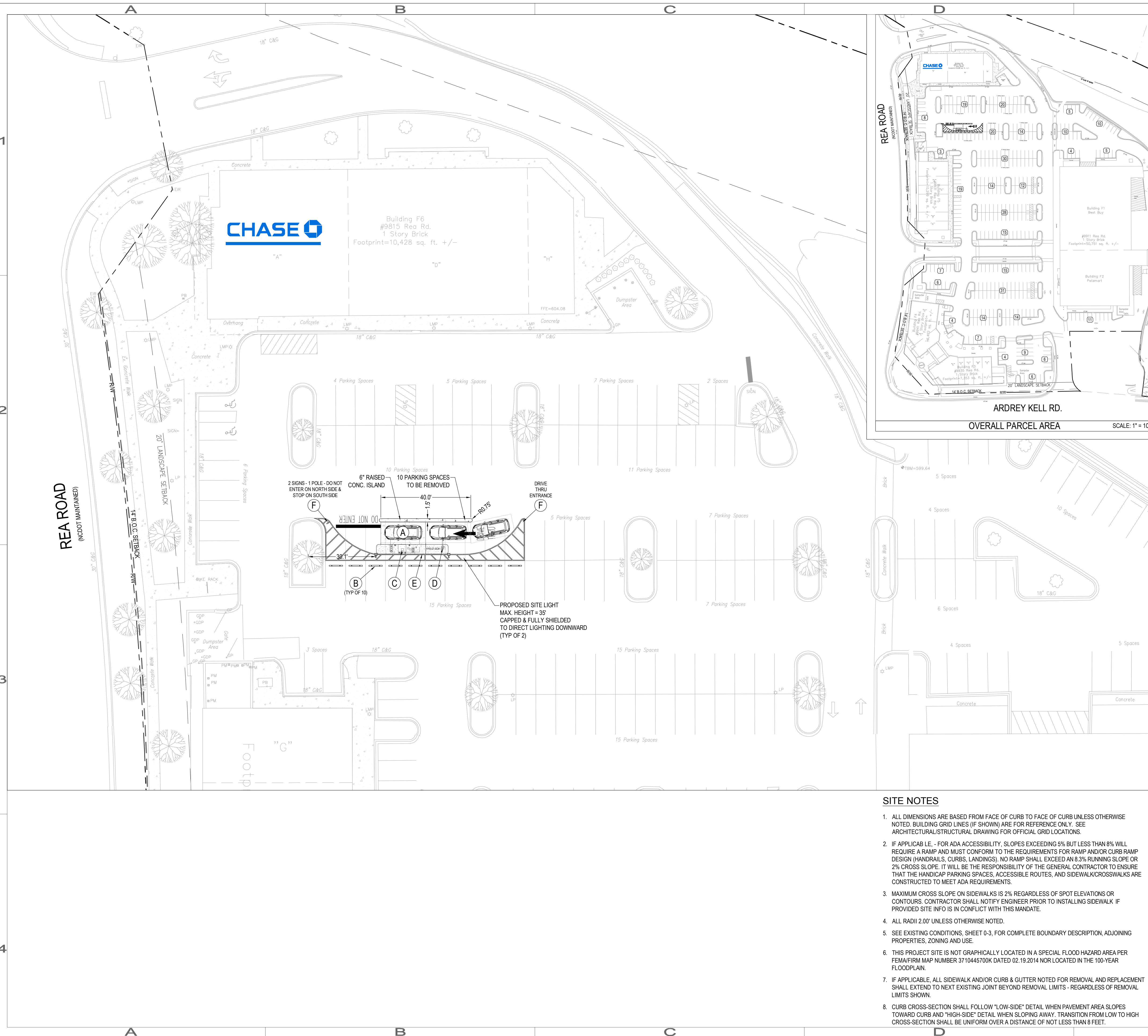
ZONING RESTRICTIONS AS PER ZONING ORDINANCE:  
SUBJECT PROPERTY ZONED: CC

SETRBACKS AND BUFFERS ARE SHOWN HEREON AS  
PER REZONING PETITION NO. 2007-33.

FOR FURTHER INFORMATION CONTACT THE  
CHARLOTTE-MECKLENBURG ZONING DEPARTMENT  
AT 704-336-3369.

| REVISIONS |        |          | SURVEY PREPARED FOR  |             |         |
|-----------|--------|----------|--|-------------|---------|
|           |        |          | NW BLAKENEY CROSSING LLC                                     |             |         |
|           |        |          | 9815 REA ROAD  |             |         |
|           |        |          | CITY OF CHARLOTTE, MECKLENBURG COUNTY, N.C.                  |             |         |
|           |        |          | DEED REFERENCE: BOOK 26997, PAGE 96                          |             |         |
|           |        |          | TAX PARCEL NO: 229-081-76                                    |             |         |
|           |        |          | R.B. PHARR & ASSOCIATES, P.A. C0-3                           |             |         |
|           |        |          | SURVEYING & MAPPING  |             |         |
|           |        |          | LICENSE NO.: C-1471  |             |         |
|           |        |          | 420 HAWTHORNE LANE, CHARLOTTE, N.C. 28204 TEL (704) 376-2186 |             |         |
| CREW:     | DRAWN: | REVISED: | SCALE:   | DATE:       | JOB NO. |
| EH        | NM     |          | 1" = 20'   | OCT 1, 2020 | 92010   |





| SITE LEGEND |                               |
|-------------|-------------------------------|
| (A)         | PROPOSED SITE NOTE            |
| (B)         | PROPOSED STRUCTURE            |
| (C)         | PROPOSED CURB (BOC, FOC, EOP) |
| (D)         | PROPOSED SIGNAGE              |
| (E)         | PROPOSED HEAVY DUTY CONCRETE  |

| DETAIL LEGEND |  |
|---------------|--|
| (A)           | HEAVY DUTY CONCRETE PAVEMENT                     |
| (B)           | PROPOSED CONCRETE STOP BLOCK                     |
| (C)           | ATM. SEE ARCH. PLANS FOR DETAILS.                |
| (D)           | HEAD BANNER SIGN. SEE ARCH. SHEET AS2.2 DETAIL 6 |
| (E)           | RAISED MEDIAN ISLAND. SEE STRUCTURAL S1.1 & S1.2 |
| (F)           | SIGN. SEE ARCH. SHEET AS2.2 DETAIL 9             |

**ZONING CODE SUMMARY**

|                            |  |
|----------------------------|--|
| PROJECT NAME:              | CHASE ATM SOUTH CHARLOTTE BLAKENEY #194033 |
| OWNER:                     | JPMORGAN CHASE & CO                        |
| PHONE:                     | 786.473.1769                               |
| PLANS PREPARED BY:         | BANKS ENGINEERING, PLLC.                   |
| PHONE:                     | 704.780.4972                               |
| TAX PARCEL ID:             | 229-081-76                                 |
| STREET ADDRESS:            | 9815 REA RD.                               |
| ZONING:                    | CC - COMMERCIAL CENTER                     |
| PROPOSED USE:              | DRIVE-UP ATM                               |
| ATM CANOPY HEIGHT:         | ±9'-6"                                     |
| ATM FOOTPRINT:             | ±11.5 SF                                   |
| RETAIL BLDG. AREA (TOTAL): | ±85,303 SF                                 |
| LOT SIZE:                  | 15.1 AC                                    |
| JURISDICTION:              | CITY OF CHARLOTTE                          |

|                    |               |                |               |
|--------------------|---------------|----------------|---------------|
| YARD REQUIREMENTS: |               |                |               |
| SETBACK (W):       | 14' B.O.C.    | SIDE YARD (S): | 14' B.O.C.    |
| REAR YARD (N):     | 25'           | SIDE YARD (E): | 25'           |
| REQUIRED BUFFERS:  |               |                |               |
| SETBACK (W):       | 20' LANDSCAPE | SIDE YARD (S): | 20' LANDSCAPE |
| REAR YARD (N):     | 75' CLASS B   | SIDE YARD (E): | 75' CLASS B   |

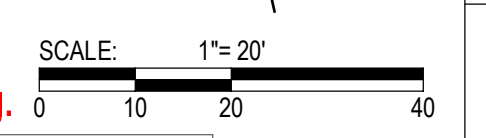
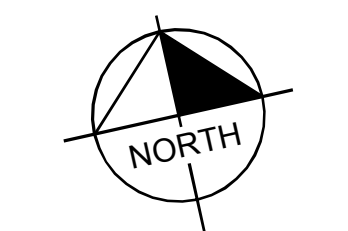
**PARKING SUMMARY**

PARKING REQUIREMENT: 1 SPACE / 250 SF PER CITY OF CHARLOTTE ZONING ORDINANCE TABLE 12.202 - SHOPPING CENTERS > 50,000 SF.

|                                      |                |                     |
|--------------------------------------|----------------|---------------------|
| STANDARD PARKING                     |                |                     |
| PARKING - REQUIRED (MIN):            | 85,303 / 250 = | 342 SPACES          |
| PARKING - EXISTING:                  |                | 380 SPACES          |
| PARKING - REMOVED:                   |                | 10 SPACES           |
| PARKING - PROVIDED (NET):            |                | 370 SPACES          |
| ** PARKING COUNT INCLUDES ADA SPACES |                |                     |
| ACCESSIBLE PARKING                   |                |                     |
| ACCESSIBLE SPACES REQUIRED:          | 8 SPACES       | PROVIDED: 18 SPACES |
| VAN ACCESSIBLE SPACES REQ'D:         | 2 SPACES       | PROVIDED: 6 SPACES  |

**SITE NOTES**

- ALL DIMENSIONS ARE BASED FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED. BUILDING GRID LINES (IF SHOWN) ARE FOR REFERENCE ONLY. SEE ARCHITECTURAL/STRUCTURAL DRAWING FOR OFFICIAL GRID LOCATIONS.
- IF APPLICABLE, - FOR ADA ACCESSIBILITY, SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP AND/OR CURB RAMP DESIGN (HANDRAILS, CURBS, LANDINGS). NO RAMP SHALL EXCEED AN 8.3% RUNNING SLOPE OR 2% CROSS SLOPE. IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAP PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALK/CROSSWALKS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS.
- MAXIMUM CROSS SLOPE ON SIDEWALKS IS 2% REGARDLESS OF SPOT ELEVATIONS OR CONTOURS. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO INSTALLING SIDEWALK IF PROVIDED SITE INFO IS IN CONFLICT WITH THIS MANDATE.
- ALL RADII 2.00' UNLESS OTHERWISE NOTED.
- SEE EXISTING CONDITIONS, SHEET 0-3, FOR COMPLETE BOUNDARY DESCRIPTION, ADJOINING PROPERTIES, ZONING AND USE.
- THIS PROJECT SITE IS NOT GRAPHICALLY LOCATED IN A SPECIAL FLOOD HAZARD AREA PER FEMA/FIRM MAP NUMBER 3710445700K DATED 02.19.2014 NOR LOCATED IN THE 100-YEAR FLOODPLAIN.
- IF APPLICABLE, ALL SIDEWALK AND/OR CURB & GUTTER NOTED FOR REMOVAL AND REPLACEMENT SHALL EXTEND TO NEXT EXISTING JOINT BEYOND REMOVAL LIMITS - REGARDLESS OF REMOVAL LIMITS SHOWN.
- CURB CROSS-SECTION SHALL FOLLOW "LOW-SIDE" DETAIL WHEN PAVEMENT AREA SLOPES TOWARD CURB AND "HIGH-SIDE" DETAIL WHEN SLOPING AWAY. TRANSITION FROM LOW TO HIGH CROSS-SECTION SHALL BE UNIFORM OVER A DISTANCE OF NOT LESS THAN 8 FEET.

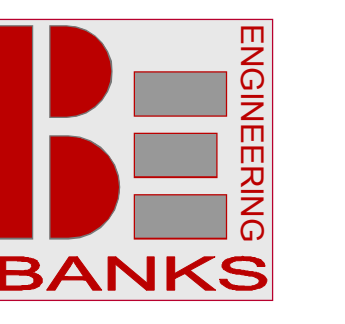


BDG Architects, LLP  
400 N. Ashley Drive  
Suite 600  
Tampa, FL 33602

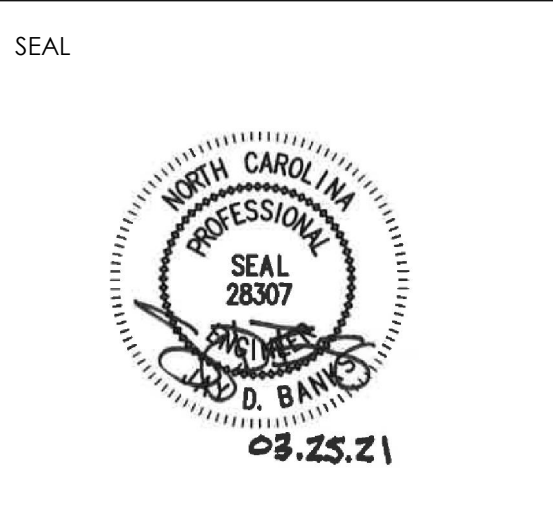
P: 813 - 323 - 9233  
FL Lic #AR-0014752  
NC Lic. #: 13998&3  
www.bdgllp.com



**South Charlotte Blakeney**  
JPM Chase Remote ATM  
9815 Rea Rd Charlotte, NC 28277



1919 SOUTH BOULEVARD  
SUITE 200  
CHARLOTTE, NC 28203  
T: 704.780.4972  
NC License #P-1370  
© 2021



| ISSUE/BY                  | DATE       | DESCRIPTION               |
|---------------------------|------------|---------------------------|
| -                         | 03.25.21   | 1st City/Bldg Std. submit |
| PROJECT INFORMATION BLOCK |            |                           |
| JOB #:                    | 194033     |                           |
| CHECKED BY:               | 03-25-2021 |                           |
| DRAWN BY:                 |            |                           |
| CHECKED BY:               | JB         |                           |
| SHEET TITLE               |            |                           |
| SITE-OVERALL              |            |                           |
| SHEET NUMBER              |            |                           |
| C1-0                      |            |                           |



March 24, 2021 - 12:20pm By: Jly Banks

C:\Users\Jly Banks\Dropbox (Banks Engineering)\BE PROJECTS\01051 BDG Architects\006 Blakeney 194033\DWG\C1-0 TO C1-1 SITE.dwg



Building F6  
#9815 Rea Rd.  
1 Story Brick  
Footprint=10,428 sq. ft. +/-

| SITE LEGEND |                               |
|-------------|-------------------------------|
| (A) →       | PROPOSED SITE NOTE            |
| ▬           | PROPOSED STRUCTURE            |
| ▬▬▬         | PROPOSED CURB (BOC, FOC, EOP) |
| ⊙           | PROPOSED SIGNAGE              |
| ▨           | PROPOSED HEAVY DUTY CONCRETE  |

DETAIL LEGEND

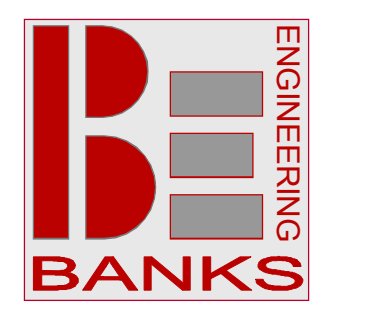
- (A) HEAVY DUTY CONCRETE PAVEMENT
- (B) PROPOSED CONCRETE STOP BLOCK
- (C) ATM. SEE ARCH. PLANS FOR DETAILS.
- (D) HEAD BANNER SIGN. SEE ARCH. SHEET AS2.2 DETAIL 6
- (E) RAISED MEDIAN ISLAND. SEE STRUCTURAL S1.1 & S1.2
- (F) SIGN. SEE ARCH. SHEET AS2.2 DETAIL 9



BDG Architects, LLP  
400 N. Ashley Drive  
Suite 600  
Tampa, FL 33602  
P: 813 - 323 - 9233  
FL Lic #AR-0014752  
NC Lic. #: 13998&3  
www.bdgllp.com



South Charlotte  
Blakeney  
JPM Chase Remote ATM  
9815 Rea Rd Charlotte, NC 28277

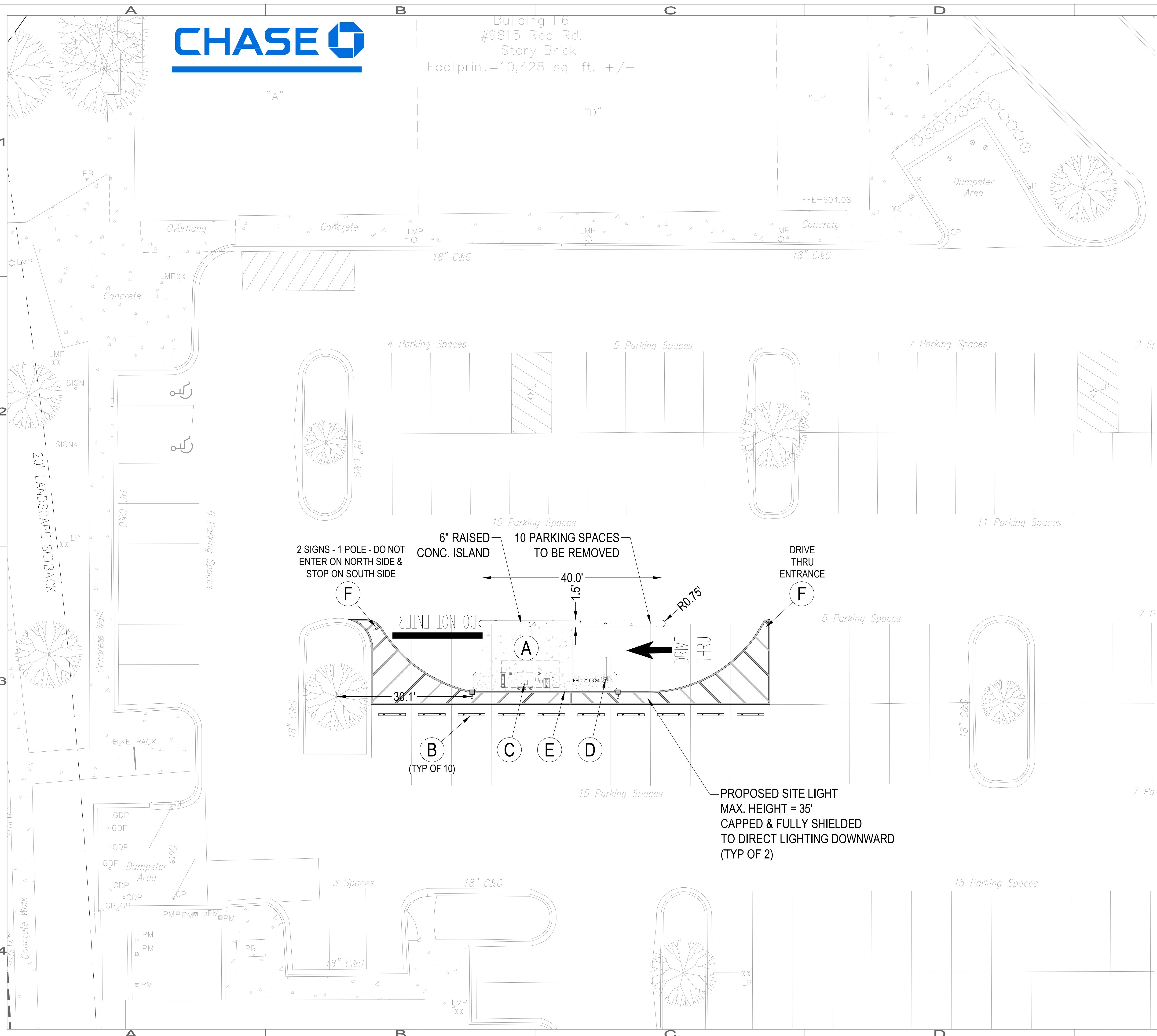


1919 SOUTH BOULEVARD  
SUITE 200  
CHARLOTTE, NC 28203  
T: 704.780.4972  
NC License #P-1370  
© 2021



| ISSUE/BY                  | DATE     | DESCRIPTION               |
|---------------------------|----------|---------------------------|
| -                         | 03.25.21 | 1st City/Bldg Std. submit |
| PROJECT INFORMATION BLOCK |          |                           |
| JOB #:                    |          | 194033                    |
| CHECKED BY:               |          | 03-25-2021                |
| DRAWN BY:                 |          | -                         |
| SHEET TITLE               |          | JB                        |

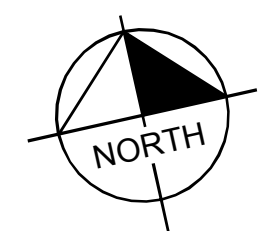
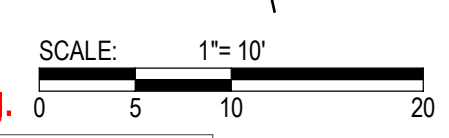
|              |          |
|--------------|----------|
| SHEET TITLE  | SITE-ATM |
| SHEET NUMBER | C1-1     |



PROPOSED SITE LIGHT  
MAX. HEIGHT = 35'  
CAPPED & FULLY SHIELDED  
TO DIRECT LIGHTING DOWNWARD  
(TYP OF 2)



Know what's below.  
Call before you dig.





March 24, 2021 - 12:20pm By: Jly Banks



Building F6  
#9815 Rea Rd.  
1 Story Brick  
Footprint=10,428 sq. ft. +/-

| GRADING LEGEND |                              |
|----------------|------------------------------|
|                | PROPOSED CONSTRUCTION LIMITS |
|                | PROPOSED CONTOUR             |
|                | PROPOSED SPOT ELEVATION      |
|                | PROPOSED GRADING ARROW       |
|                | PAVEMENT REMOVE / REPLACE    |

**ACREAGE SUMMARY**  
**PROJECT CONSTRUCTION**  
**LIMITS = ± 0.04 ACRES**

NOTE TO REVIEWER / CONTRACTOR:  
SEE GENERAL NOTES SHEET C0-2 FOR ADDITIONAL  
EROSION CONTROL NOTES.

**GRADING NOTES**

- SEE GENERAL NOTES SHEET C0-2 FOR GRADING NOTES.
- CONTRACTOR SHALL REVIEW, UNDERSTAND AND IMPLEMENT ALL REQUIRED EROSION AND SEDIMENTATION CONTROL MEASURES PRIOR TO ANY DISTURBANCE.
- ALL SPOT ELEVATIONS ALONG CURB AND GUTTER LINE REPRESENT FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
- CONTRACTOR AND/OR CONSTRUCTION SURVEYOR TO VERIFY THAT CONSTRUCTION STAKING BASED ON CONTOURS AND SPOT ELEVATIONS DOES NOT CONFLICT WITH SLOPE CALL-OUTS OR ADA REQUIREMENTS. NOTIFY SITE ENGINEER OF ANY DISCREPANCIES AND AWAIT FURTHER INSTRUCTION.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL STORM/UTILITY TIE-IN INVERTS SHOWN AND NOTIFY THE SITE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY.

**DEMOLITION NOTES:**

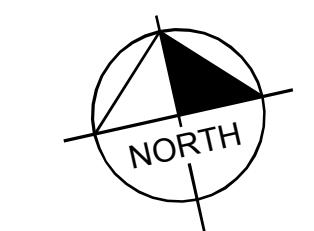
- THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE OWNER.
- EXISTING UTILITIES LOCATED WITHIN THE DEMOLITION LIMITS TO BE COORDINATED WITH RESPECTIVE UTILITY PROVIDER. PRIOR TO DEMOLITION, CONTRACTOR SHALL CONTACT EACH AFFECTED PROVIDER AND ARRANGE FOR DISCONNECTION, REMOVAL OR RELOCATION. INCLUSION OF UTILITIES WITHIN THE DEMOLITION AREA SHALL NOT BE INTERPRETED AS AUTHORIZATION FOR REMOVAL.
- ALL FEATURES MARKED TO BE ABANDONED IN PLACE SHALL REMAIN IN EXISTING CONDITION UNLESS REMOVED THROUGH EFFORTS FOR OTHER FEATURES.
- SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORATION TO ORIGINAL CONDITION AS OF START OF WORK.
- IT IS RECOMMENDED THAT THE CONTRACTOR'S PRE-BID INSPECTION SPECIFICALLY INCLUDE AN ITEMIZED INVENTORY OF THE SITE ITEMS TO BE REMOVED TO IDENTIFY AND VERIFY EXISTING CONDITIONS.
- FILL BEYOND BUILDING AND PARKING AREA LIMITS SHALL INCLUDE COMPACTION TO 95% SOIL DENSITY UNLESS GEOTECHNICAL ENGINEER HAS NOTED MORE STRINGENT REQUIREMENTS.
- IMPROVEMENT REMOVAL EFFORT INCLUDES ALL ACCESSORY FEATURES ASSOCIATED WITH ANY SPECIFIC ITEMS MARKED FOR REMOVAL. THESE ACCESSORY FEATURES MAY INCLUDE BUT ARE NOT LIMITED TO FENCES, STAIRS, STEPS, WALKWAYS, PIPING, ABOVE / BELOW GROUND UTILITIES, UNSUITABLE SOIL & STUMPS / VEGETATION.
- THE CONTRACTOR SHALL PROPERLY DISPOSE OF ALL DEMOLITION DEBRIS OFF-SITE IN ACCORDANCE WITH ALL LOCAL AND STATE REGULATIONS.
- CONTRACTOR IS RESPONSIBLE TO PERFORM A PRE-BID SURVEY OF EXISTING CONDITIONS.
- IF APPLICABLE, CONTRACTOR IS RESPONSIBLE FOR ALL PERMITTING, APPLICATIONS AND COORDINATION WITH UTILITY PROVIDERS REGARDING SERVICE DISCONNECT AND REMOVAL OF SERVICE LINES. ALL COSTS ASSOCIATED WITH DEMOLITION TO BE INCLUDED IN BASE BID.
- OWNER RESERVES RIGHT TO REMOVE ANY OR ALL STRUCTURES, MATERIALS, OR FEATURES PRIOR TO WORK START.
- THE INTENT OF THIS PLAN IS REMOVAL OF ALL ITEMS WITHIN CONSTRUCTION LIMITS UNLESS IDENTIFIED OTHERWISE. THAT NOTED, IT IS IMPOSSIBLE TO CALL OUT EVERY FEATURE THAT WILL NEED REMOVAL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SUBMIT AN RFI PRIOR TO BID IF REMOVAL IS IN QUESTION. OTHERWISE, THE PLAN INTENT SHALL GOVERN.

**PCCO SUMMARY**

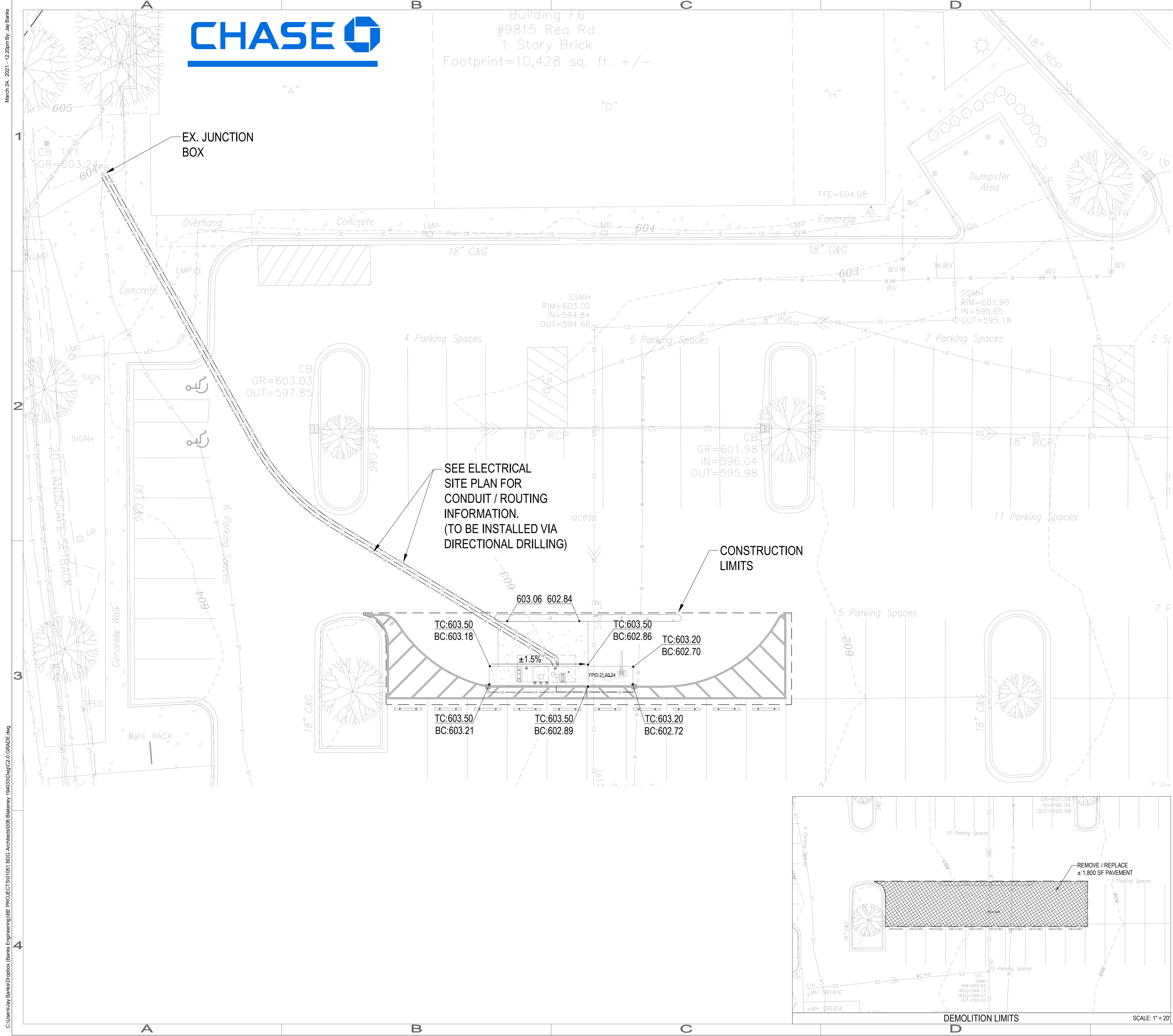
|   |               |      |
|---|---------------|------|
| Original Parcel ID Number(s):               | 229-081-76    |      |
| Development Type:                           | Commercial    |      |
| Subject to PCCO? Y/N                        | Yes           |      |
| # NO, why?                                  |               |      |
| Watershed:                                  | Six Mile      |      |
| Disturbed Area (ac):                        | 0.04          |      |
| Site Area (ac):                             | 15.10         |      |
|   | DA#1          | DA#2 |
| Total on-site Drainage Area (ac):           | 15.10         |      |
| Existing Built-upon-area (SF):              | 315,698       |      |
| Existing BUA to be removed (SF):            | 0             |      |
| Existing BUA to remain (SF):                | 315,698       |      |
| Proposed New BUA (SF):                      | 0             |      |
| Proposed % BUA:                             | 0.0%          |      |
| Density (High / Low):                       | Low           |      |
| Total Post-Project BUA for site:            | 315,698       |      |
| Development or Redevelopment?               | Redevelopment |      |
| Natural Area Provided (ac):                 | 0             |      |
| Total stream buffer protected on-site (ac): | 0             |      |
| Transit Station Area? Y/N                   | No            |      |
| Distressed Business District? Y/N           | No            |      |
| Mitigation Type (if applicable):            | N/A           |      |
| Natural Area mitigation? Y/N                | No            |      |
| Buffer Mitigation? Y/N                      | No            |      |
| Total Phosphorous Mitigation? Y/N           | No            |      |



Know what's below.  
Call before you dig.

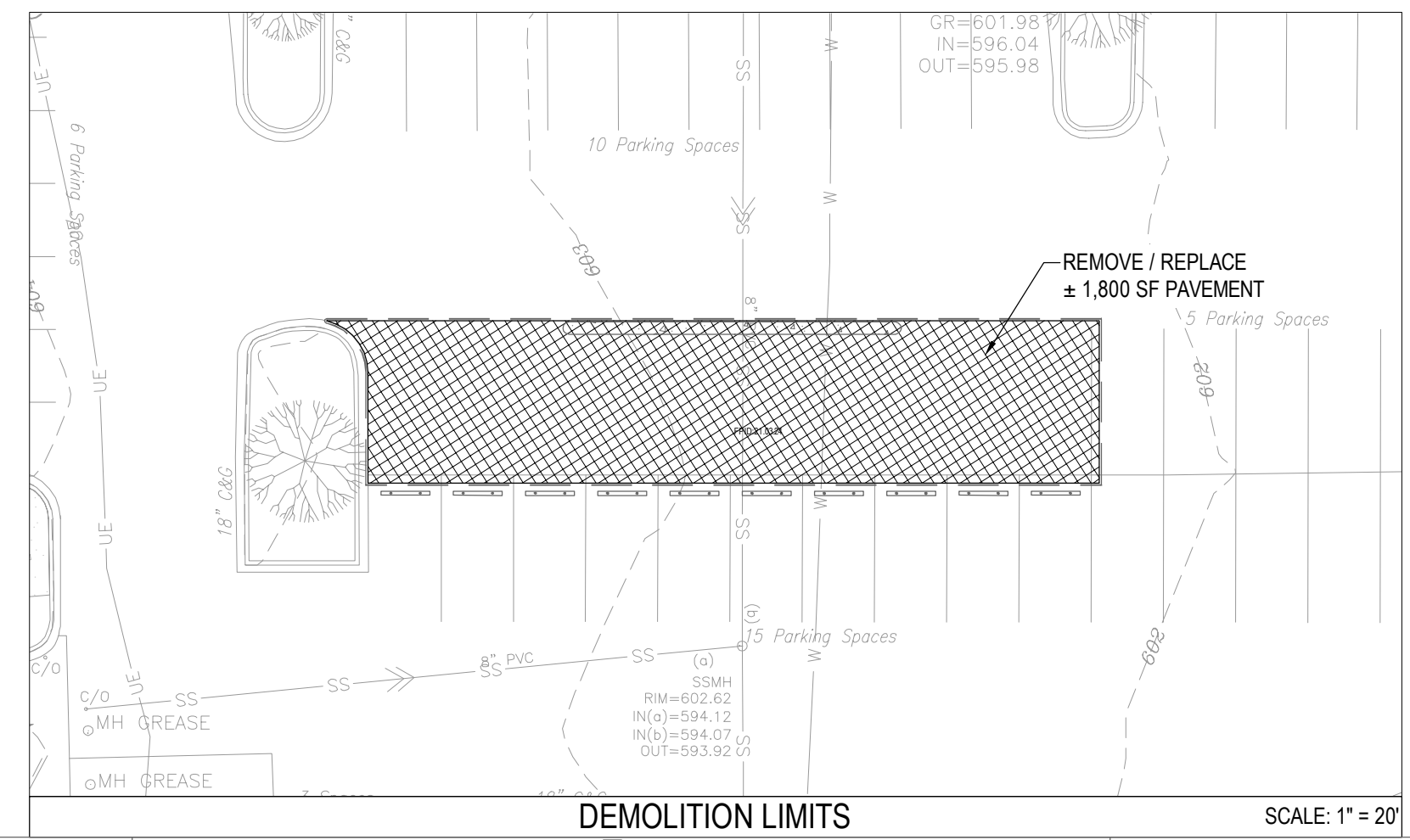


SCALE: 1" = 20'



SEE ELECTRICAL  
SITE PLAN FOR  
CONDUIT / ROUTING  
INFORMATION.  
(TO BE INSTALLED VIA  
DIRECTIONAL DRILLING)

CONSTRUCTION  
LIMITS



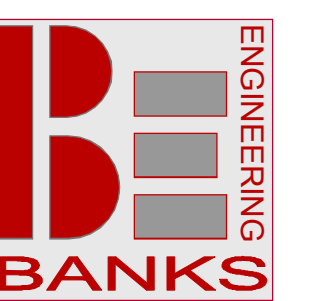
BDG Architects, LLP  
400 N. Ashley Drive  
Suite 600  
Tampa, FL 33602

P: 813 - 323 - 9233  
FL Lic #AR-0014752  
NC Lic. #: 1399863  
www.bdgllp.com



**South Charlotte**  
**Blakeney**

JPM Chase Remote ATM  
9815 Rea Rd Charlotte, NC 28277



1919 SOUTH BOULEVARD  
SUITE 200  
CHARLOTTE, NC 28203  
T: 704.780.4972  
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SEAL



| ISSUE/BY | DATE     | DESCRIPTION               |
|----------|----------|---------------------------|
| -        | 03.25.21 | 1st City/Bldg Std. submit |

**PROJECT INFORMATION BLOCK**

**JOB #:** 194033  
**DATE:** 03-25-2021  
**DRAWN BY:** -  
**CHECKED BY:** JB

SHEET TITLE

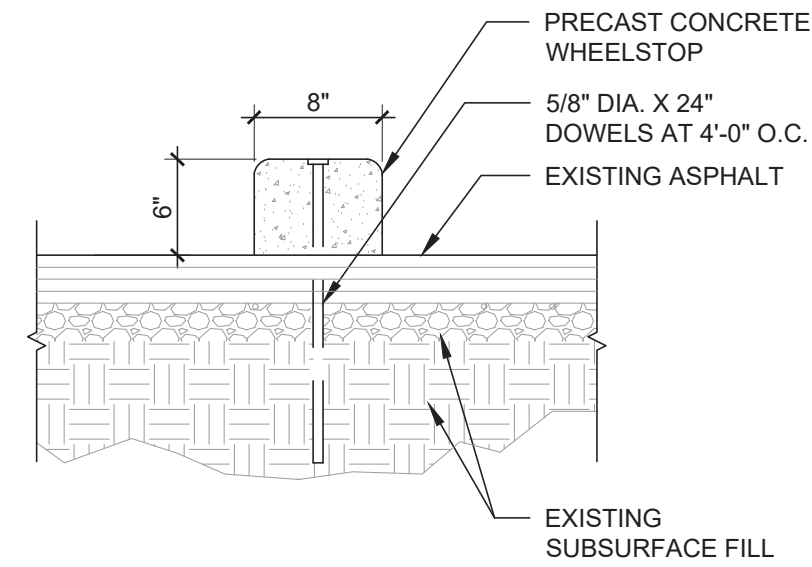
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SHEET NUMBER

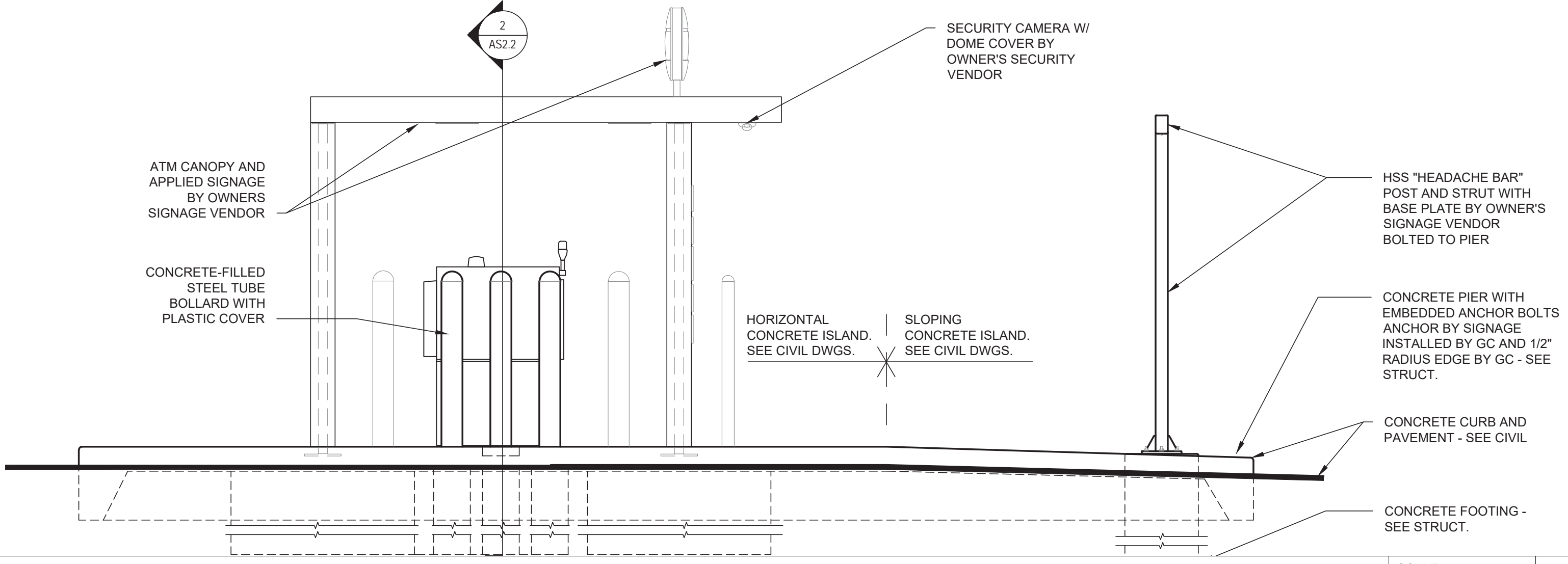
C2-0

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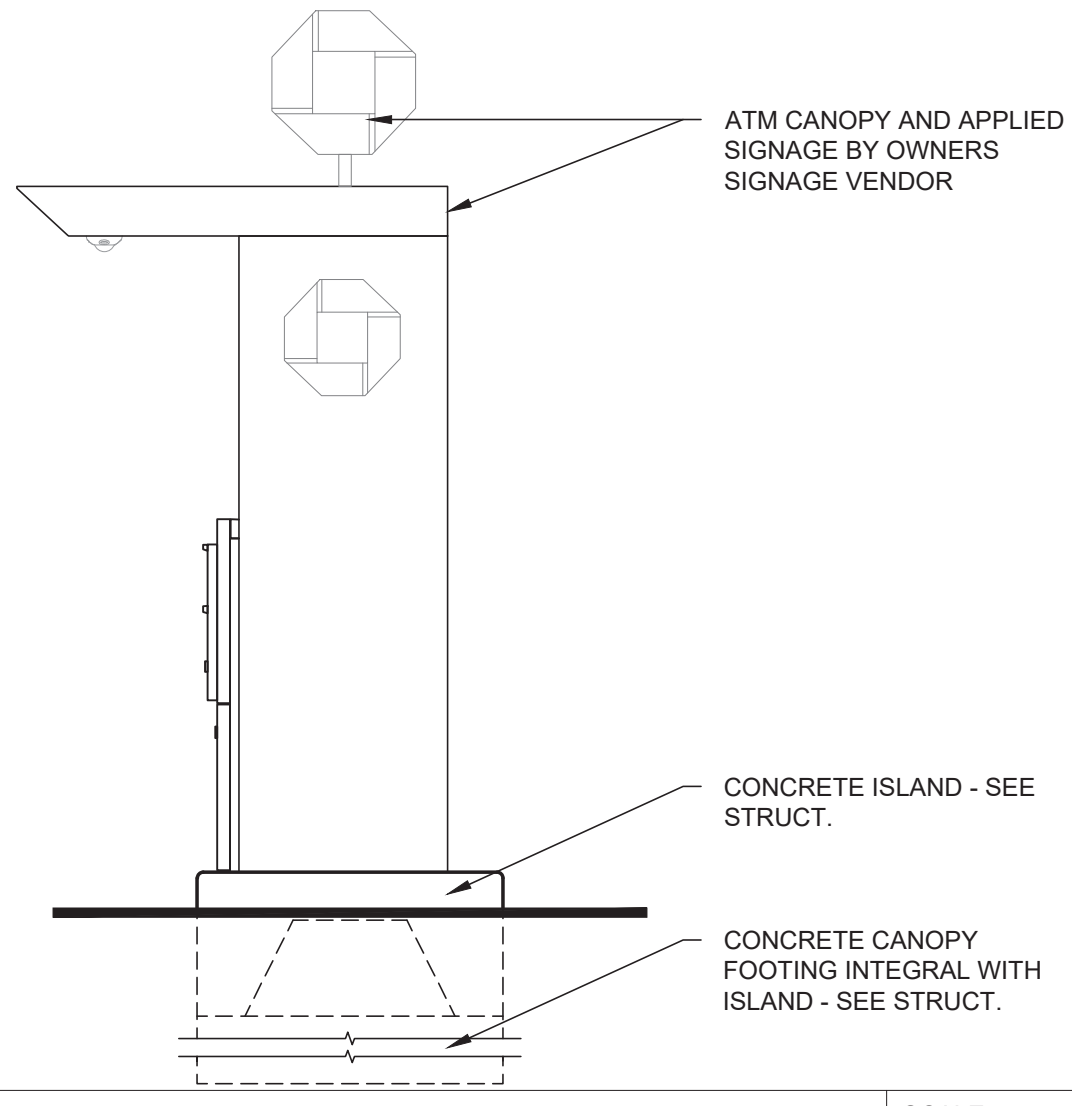




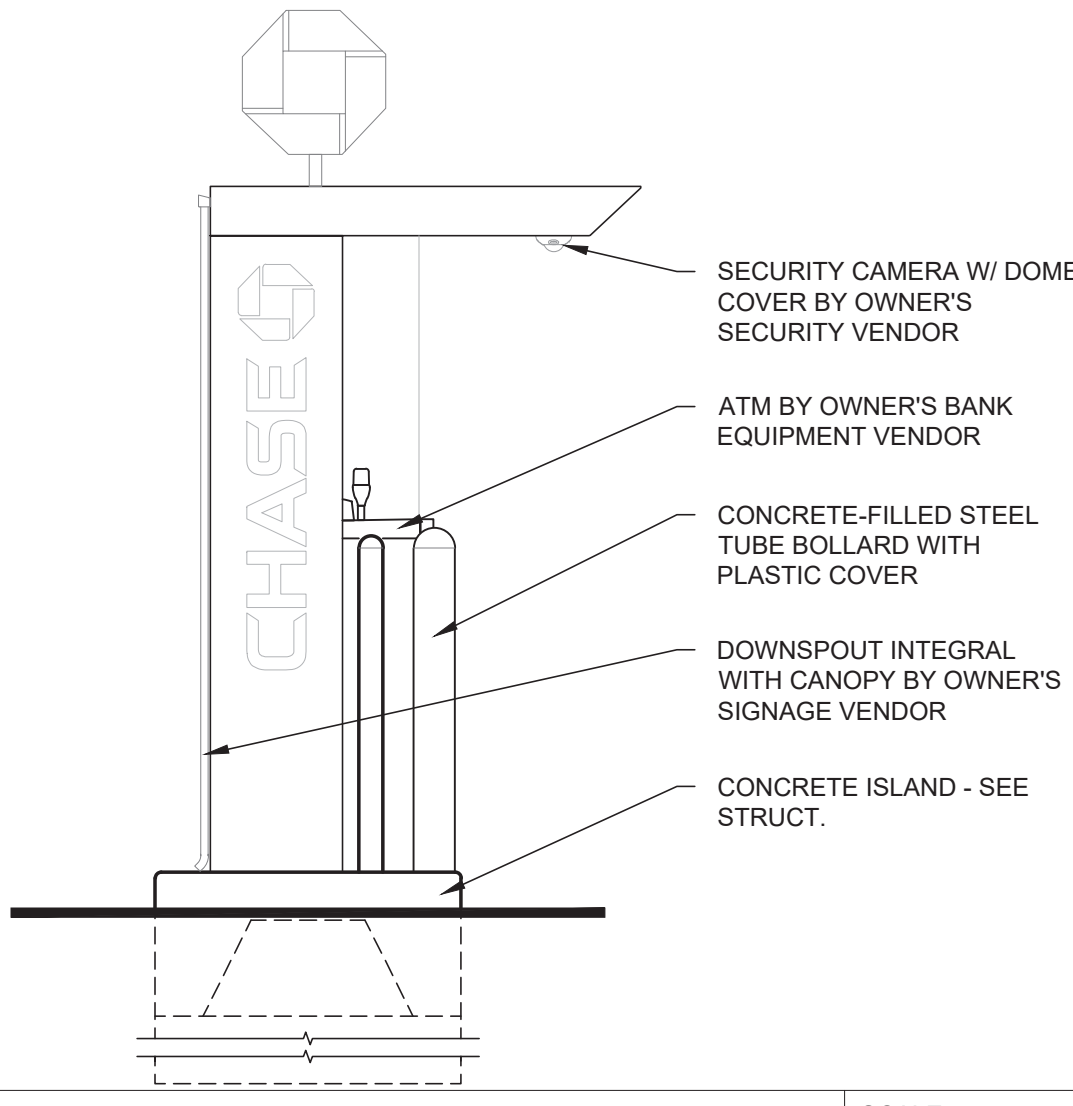
WHEEL STOP DETAIL SCALE 1" = 1'-0" 6



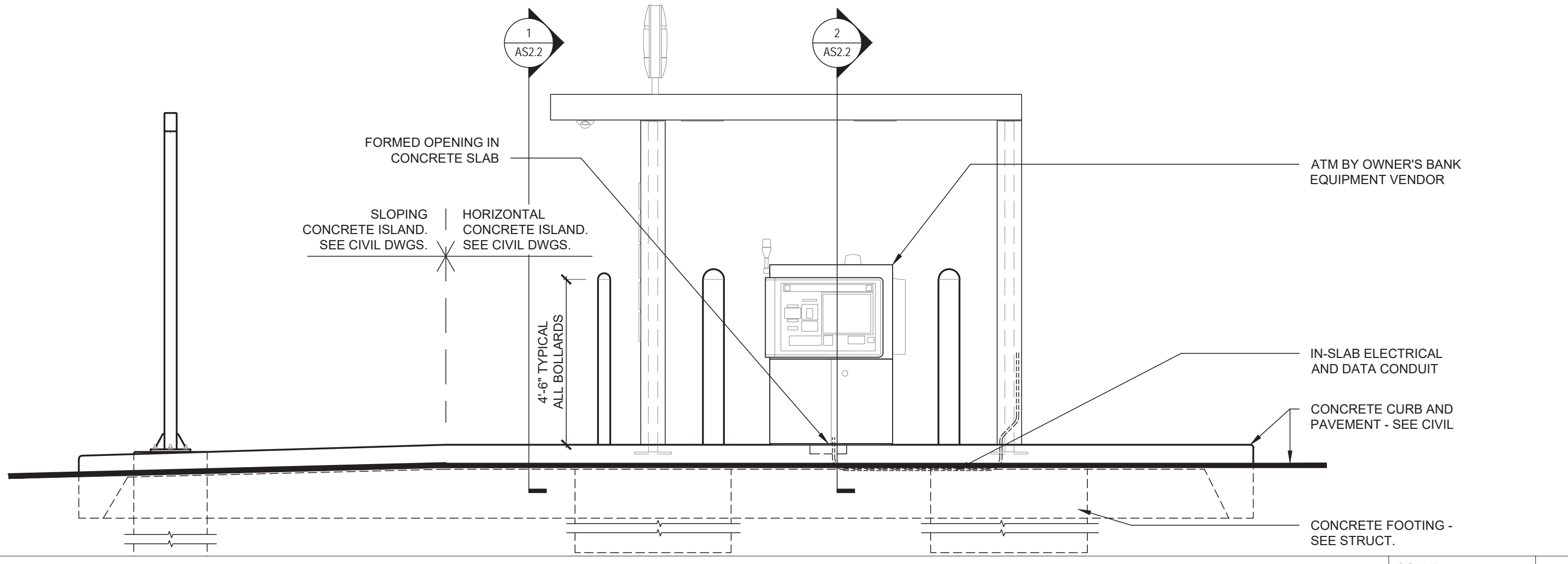
DRIVE-UP CANOPY ELEVATION SCALE 3/8" = 1'-0" 5



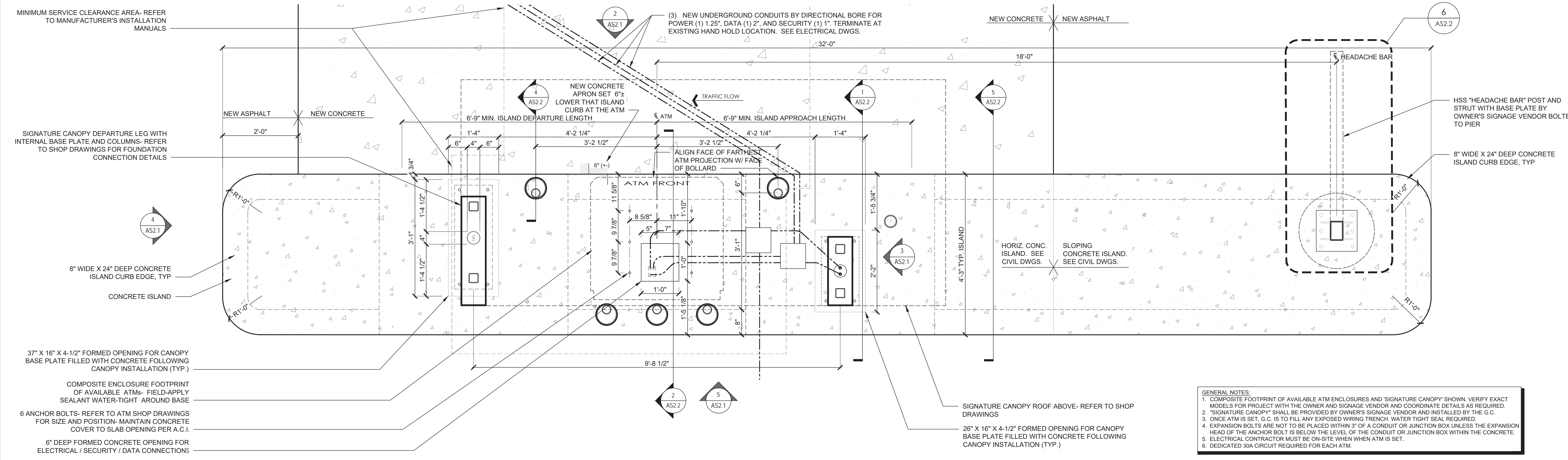
DRIVE-UP CANOPY ELEVATION SCALE 3/8" = 1'-0" 4



DRIVE-UP CANOPY ELEVATION SCALE 3/8" = 1'-0" 3



DRIVE-UP CANOPY ELEVATION SCALE 3/8" = 1'-0" 2



- GENERAL NOTES:
1. COMPOSITE FOOTPRINT OF AVAILABLE ATM ENCLOSURES AND 'SIGNATURE' CANOPY SHOWN. VERIFY EXACT MODELS FOR PROJECT WITH THE OWNER AND SIGNAGE VENDOR AND COORDINATE DETAILS AS REQUIRED.
  2. 'SIGNATURE' CANOPY SHALL BE PROVIDED BY OWNER'S SIGNAGE VENDOR AND INSTALLED BY THE G.C.
  3. ONCE ATM IS SET, G.C. IS TO FILL ANY EXPOSED WIRING TRENCH. WATER TIGHT SEAL REQUIRED.
  4. EXPANSION BOLTS ARE NOT TO BE PLACED WITHIN 3' OF A CONDUIT OR JUNCTION BOX UNLESS THE EXPANSION HEAD OF THE ANCHOR BOLT IS BELOW THE LEVEL OF THE CONDUIT OR JUNCTION BOX WITHIN THE CONCRETE.
  5. ELECTRICAL CONTRACTOR MUST BE ON-SITE WHEN WHEN ATM IS SET.
  6. DEDICATED 30A CIRCUIT REQUIRED FOR EACH ATM.

DRIVE-UP ISLAND ATM PLAN - "SIGNATURE" CANOPY SCALE 3/4" = 1'-0" 1

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SEAL

Architect of Record:  
Christopher Gary Kirschner, AIA, LEED AP  
NC License No. 10173

| ISSUE/NO. | DATE | DESCRIPTION |
|-----------|------|-------------|
|           |      |             |
|           |      |             |
|           |      |             |

PROJECT INFORMATION BLOCK

|             |            |
|-------------|------------|
| JOB #:      | 194033     |
| DATE:       | 03-19-2021 |
| DRAWN BY:   | JL         |
| CHECKED BY: | TN / MHS   |

SHEET TITLE  
**ATM ISLAND PLAN AND CANOPY ELEVATIONS**

SHEET NUMBER  
**AS2.1**



**CHARLOTTE - MECKLENBURG**  
**PLANNING COMMISSION**

**INTER - OFFICE COMMUNICATION**

**DATE:** November 26, 2007

**TO:** Gary Huss  
Zoning Supervisor

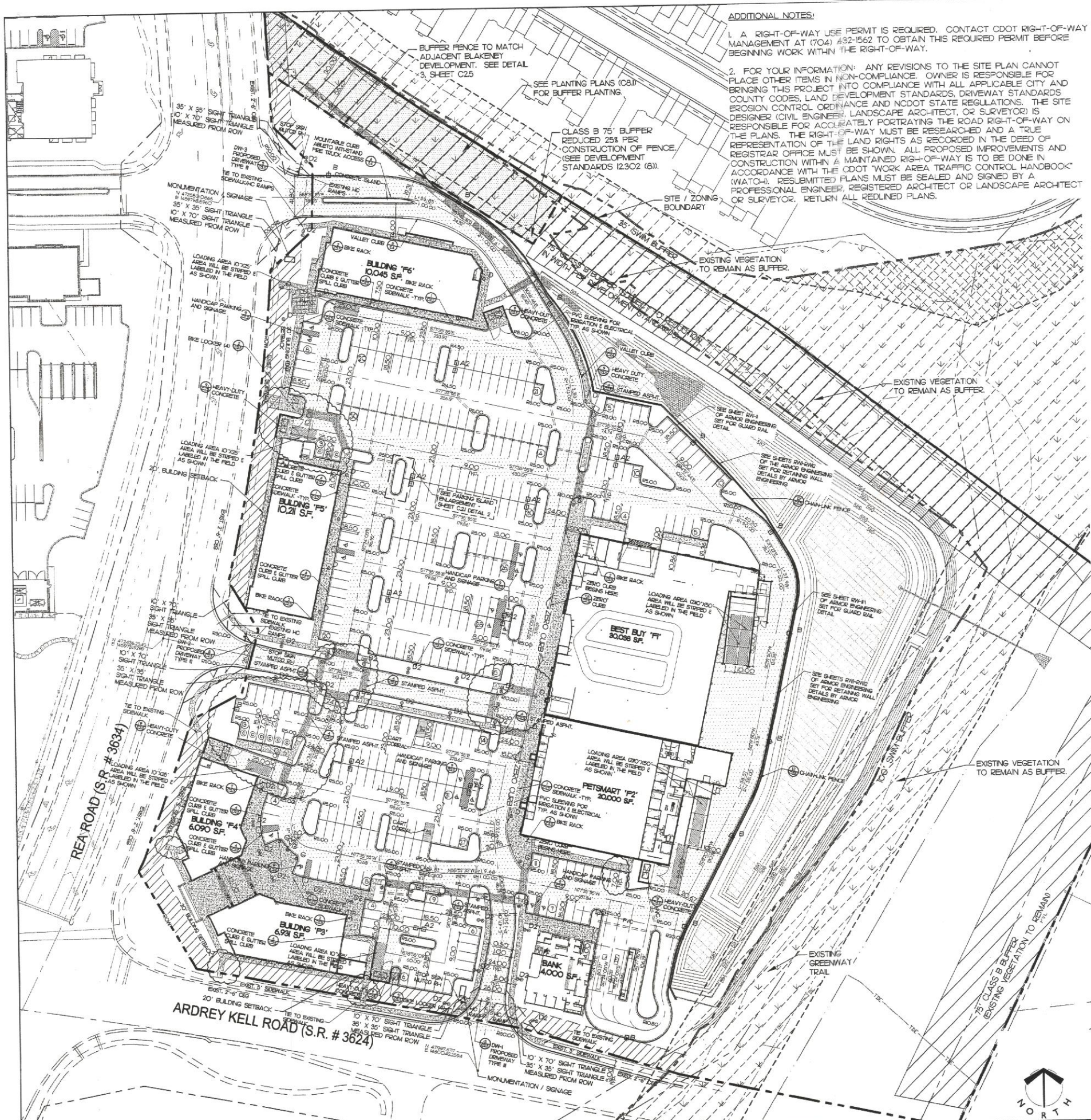
**FROM:** Debra Campbell  
Planning Director

**SUBJECT:** Administrative Approval for Petition No. 2007-33, Blakeney Crossing.  
**Building elevations for BestBuy**

As required in the Conditional Plan for Blakeney Crossing the Staff of the Charlotte-Mecklenburg Planning Commission in conjunction with the Blakeney Crossing Architectural Review Board has reviewed the elevations for BestBuy and found that they meet the requirements as outlined in the Conditional Plan. Attached are specific elevations. Please use these specific elevations when evaluating requests for building permits and certificates of occupancy.

**This site must still meet all other requirements as outlined in the City of Charlotte Zoning Ordinance.**





**ADDITIONAL NOTES:**

1. A RIGHT-OF-WAY USE PERMIT IS REQUIRED. CONTACT CDOT RIGHT-OF-WAY MANAGEMENT AT (704) 492-1562 TO OBTAIN THIS REQUIRED PERMIT BEFORE BEGINNING WORK WITHIN THE RIGHT-OF-WAY.
2. FOR YOUR INFORMATION: ANY REVISIONS TO THE SITE PLAN CANNOT PLACE OTHER ITEMS IN NON-COMPLIANCE. OWNER IS RESPONSIBLE FOR BRINGING THIS PROJECT INTO COMPLIANCE WITH ALL APPLICABLE CITY AND COUNTY CODES, LAND DEVELOPMENT STANDARDS, DRIVEWAY STANDARDS, EROSION CONTROL ORDINANCE AND NCDOT STATE REGULATIONS. THE SITE DESIGNER (CIVIL ENGINEER, LANDSCAPE ARCHITECT, OR SURVEYOR) IS RESPONSIBLE FOR ACCURATELY PORTRAYING THE ROAD RIGHT-OF-WAY ON THE PLANS. THE RIGHT-OF-WAY MUST BE RESEARCHED AND A TRUE REPRESENTATION OF THE LAND RIGHTS AS RECORDED IN THE DEED OF REGISTRATION WITH THE COUNTY REGISTERED OFFICE MUST BE SHOWN. ALL PROPOSED IMPROVEMENTS AND CONSTRUCTION WITHIN A MAINTAINED RIGHT-OF-WAY IS TO BE DONE IN ACCORDANCE WITH THE CDOT "WORK AREA TRAFFIC CONTROL HANDBOOK" (WATOH). RESUBMITTED PLANS MUST BE SEALED AND SIGNED BY A PROFESSIONAL ENGINEER, REGISTERED ARCHITECT OR LANDSCAPE ARCHITECT OR SURVEYOR. RETURN ALL REDLINED PLANS.

**PERVIOUS/IMPERVIOUS AREA TABULATIONS:**

|                     |              |
|---------------------|--------------|
| PERVIOUS AREA:      | 358,006 s.f. |
| IMPERVIOUS AREA:    | 330,242 s.f. |
| TOTAL AREA:         | 688,248 s.f. |
| PERCENT IMPERVIOUS: | ± 48.0       |

**PARKING LEGEND & TABULATIONS:**

|                                       |                                |
|---------------------------------------|--------------------------------|
| TOTAL GROSS SITE ACRES:               | #5.8 ac.                       |
| TOTAL BUILDING SF:                    | 87,315 s.f.                    |
| TOTAL VEHICULAR PARKING:              | 390 Spaces                     |
| TOTAL HANDICAP PARKING CALCULATIONS:  | 18 Spaces                      |
| TOTAL VEHICULAR PARKING CALCULATIONS: | 4.4 SPACES / 1,000 s.f.        |
| TOTAL SHORT TERM BICYCLE SPACES:      | 42 Spaces (19 Spaces Required) |
| TOTAL LONG TERM BICYCLE SPACES:       | 8 Spaces (7 Spaces Required)   |

NOTE: BIKE LOCKER TO MEET 50.21 AND 50.22 OF CMILDS. MANUFACTURER TO BE CHOSEN BY OWNER REP. OR DEVELOPER.

**NOTE TO CONTRACTOR:**

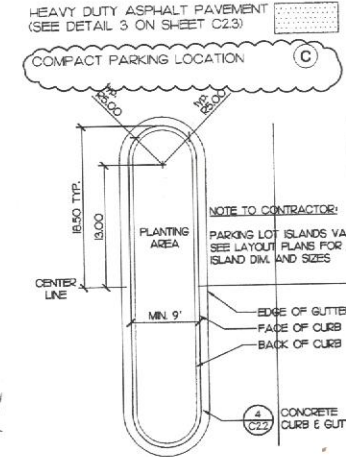
1. ALL SIDEWALKS THAT END AT CURB & GUTTER SHALL HAVE A H.C. RAMP. SEE SHEET C22 FOR DETAIL #6.
2. ALL H.C. PARKING SPACES THAT END AT CURB & GUTTER SHALL HAVE A H.C. RAMP. SEE SHEET C22 FOR DETAIL #6.
3. PVC SLEEVING FOR IRRIGATION AND ELECTRICAL TO BE PROVIDED BY THE CONTRACTOR.
4. LIGHTING SHOWN ON PLANS ARE FOR REFERENCE ONLY. PLANS AND SPECS BY OTHERS SHALL BE REFERRED TO FOR ALL FINAL LOCATIONS AND LIGHTING TYPES.
5. CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
6. BEFORE YOU DIG STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949.
7. FOR CMILDS #10.35A/10.35B FOR ACCESSIBLE RAMPS AND SIDEWALKS, REFER TO SHEET C22.
8. CONTRACTOR MUST COORDINATE TO MAINTAIN ONE LANE OF TRAFFIC.
9. LOCATE ALL SIGHT TRIANGLES IN FIELD TO INSURE NO STRUCTURES, SIGNS, TREES ARE PLACED INSIDE SIGHT TRIANGLES.
10. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
11. ALL ROAD IMPROVEMENTS AT REA AND ARDREY KELL ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
12. DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSM #50.05
13. SIGHT TRIANGLES ARE THE MINIMUM REQUIRED.
14. CURB AND GUTTER ALONG REA AND ARDREY KELL ROAD MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
15. NON-STANDARD ITEMS (IE PAVERS, IRRIGATION SYSTEMS, ETC) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION EASEMENTS ARE REQUIRED. PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED. THESE NEEDED R/W AND/OR CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (IGUS JORDI, 704-336-7095) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.

**DRAINAGE NOTES:**

1. CONTRACTOR RESPONSIBLE OF PROVIDING SUBSURFACE DRAINAGE TO ALL TREE GRATE LOCATIONS AS SHOWN ON PLAN.
2. ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.

**LAYOUT LEGEND:**

|   |        |
|---|--------|
| CENTER LINE   | CL     |
| TYPICAL   | TYP.   |
| BACK OF CURB  | B.O.C. |
| FACE OF CURB  | F.O.C. |
| EDGE OF PAYMENT   | E.O.P. |
| LIMIT OF PROPERTY LINE                                  | ---    |
| HEAVY DUTY ASPHALT PAVEMENT (SEE DETAIL 3 ON SHEET C23) | ■      |
| COMPACT PARKING LOCATION                                | ○      |



**LIGHTING LEGEND:**

|   |   |
|---|---|
| □ | TYPE (A) 1000 WATT METAL HALIDE FIXTURE ON A 32 FOOT POLE. 120 / 208 / 240 / 277 VOLT (SEE DETAIL A ON SHEET C24)   |
| □ | TYPE (A2) 1000 WATT METAL HALIDE FIXTURES ON A 32 FOOT POLE. 120 / 208 / 240 / 277 VOLT (SEE DETAIL A ON SHEET C24) |
| □ | TYPE (B) 1000 WATT METAL HALIDE FIXTURE ON A 32 FOOT POLE. 120 / 208 / 240 / 277 VOLT (SEE DETAIL A ON SHEET C24)   |
| ○ | TYPE (D) 100 WATT COMPACT FLUORESCENT. PEDESTRIAN FIXTURE. 120 VOLT ONLY (SEE DETAIL B ON SHEET C24)                |
| ○ | TYPE (DD) 100 WATT COMPACT FLUORESCENT PEDESTRIAN FIXTURE. 120 VOLT ONLY (SEE DETAIL C ON SHEET C24)                |
| ○ | TYPE (G) 100 WATT COMPACT FLUORESCENT (STERNBERG BOLLARD) 120 VOLT ONLY (SEE DETAIL D ON SHEET C24)                 |

**ATTACHED TO ADMINISTRATIVE APPROVAL**

DATE: March 12, 2008

**D. DEBRA D. CAMPBELL**

1 TYPICAL PARKING ISLAND ENLARGEMENT PLAN SCALE: NTS



**LandDesign**  
 233 N. Graham Street, Charlotte, NC 28202  
 P: 704.333.0335 F: 704.332.3746  
 www.LandDesign.com

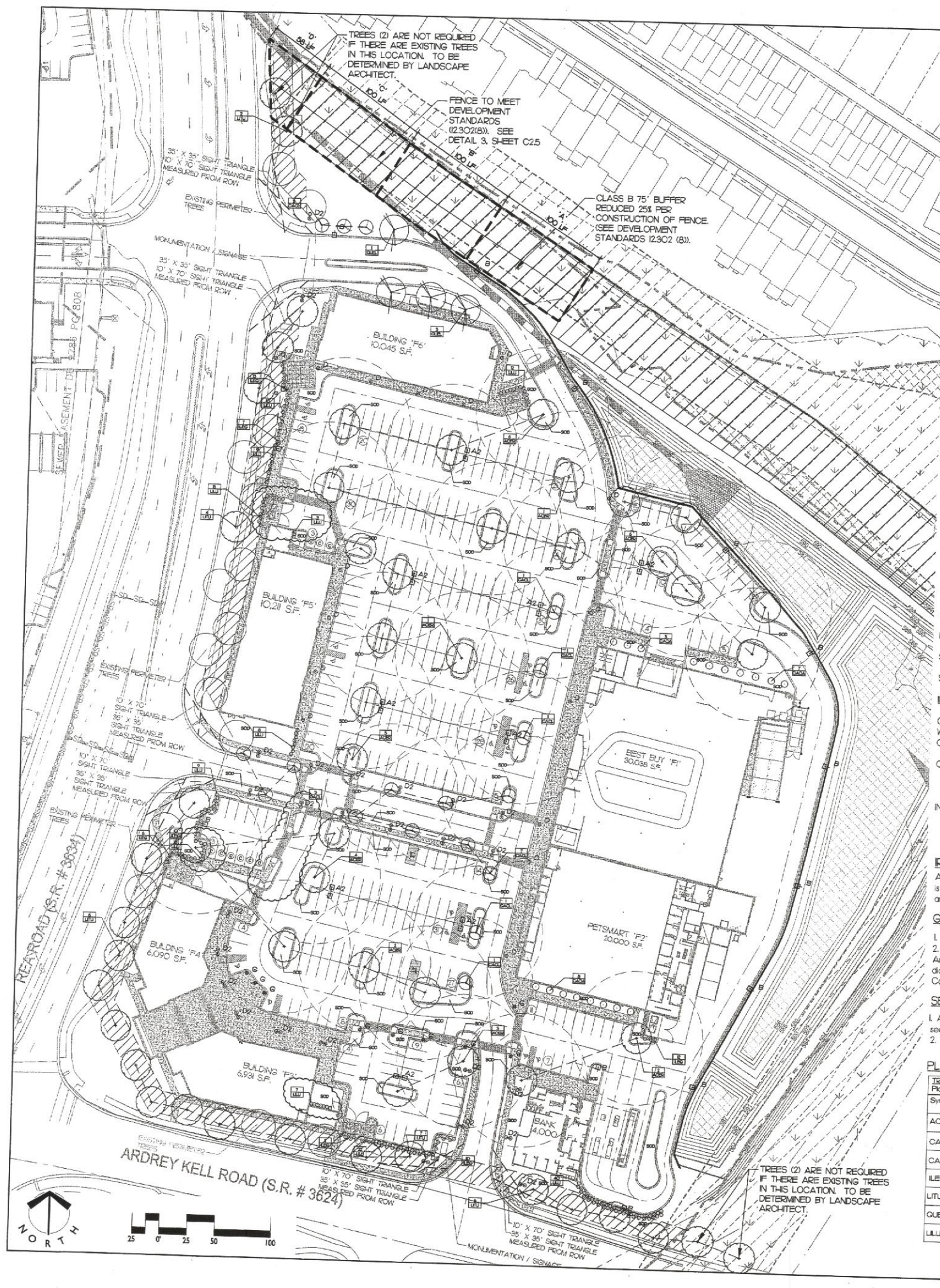


**BLAKENEY CROSSING**  
**9839 & 9911 REA ROAD CHARLOTTE, NC**  
 CROSLAND INC.  
 LAYOUT PLAN

DATE: OCTOBER 1, 2007  
 DRAWN BY: JDL  
 CHECKED BY: PHC  
 PROJECT #: 1005197  
 SHEET #: **C2.1**

2007-33





**TREE ORDINANCE REQUIREMENT**  
 A. INTERNAL PLANTING  
 \*SEE PARKING AND LANDSCAPING REQUIREMENTS ON THIS SHEET

- B. TREE ORDINANCE NOTES**
1. Adjust tree planting locations to avoid underground utilities - plant 15'-20' off sewer & storm drainage lines, 10'-15' off gas, water, phone, & underground electrical lines.
  2. Attention landscaper: Notify Urban Forester of any sign, powerline, or other conflicts before planting new trees. CALL 336-4330 to meet on site prior to planting.
  3. Ordinance - required trees must be maintained in tree form & allowed to grow to their natural height / form, with a maximum of 3 stems or trunks. (No topping or rounding over)
- C. TREE PLANTING NOTES**
1. Minimum tree size at planting is 2-inch cal. for small maturing trees and 3-inch cal. for large maturing trees if single stem, all multi-stem plants must be tree form, maximum 3-5 stems, and minimum 8 feet tall.
  2. All strapping and top of wire basket must be cut away and removed from root ball prior to backfilling planting pit. Remove top 1/2 of burlap from root ball.
  3. For new planting area, remove construction debris, remove compacted soil and add 24" new topsoil of uncompacted and amend the top 24" of existing soil to meet topsoil / planting mix standards for trees. Mx area 274 sq. ft. per tree.
  4. Large maturing trees may not be planted where overhead distribution or transmission lines exist.
  5. Call 336-4330 for an inspection of tree protection and/or tree planting areas, 7 to 20 days before the temporary or final Certificate of Occupancy is needed.
  6. Trees shall be planted in accordance with Charlotte - Mecklenburg Land Development Standards No. 40.02 and 40.03.

- D. TREE PROTECTION NOTES**
1. No soil disturbance or compaction, construction materials, traffic, burial pits, trenching, or other land disturbing activity allowed in the tree protection zone.
  2. Tree protection fence is to be located at least 1' per tree diameter away from the tree in setback or right-of-way.
  3. Tree protection barricades must exceed Tree Ordinance Standards (in City of Charlotte Tree Ordinance Guidelines Appendix Standard 40.04)
  4. Tree barricades must be installed before any demolition, clearing, grading, or construction and not removed until after final inspection by Urban Forester.
  5. Violations of tree protection requirements are subject to fines and/or immediate corrective action/mitigation. Exposed tree roots must be clearly cut with a sharp pruning tool, backfill asap to minimize exposure to air. Before grading construction begins, call 336-4330 for inspection of tree protection barricades by Urban Forester.
  6. Tree protection fence shall be "visi-barrier" high density polyethylene fabric, orange, four feet in height, by conwed or approved equal. Install per manufactures specifications where shown on plan. Tree protection fence shall be installed before any demolition or construction begins in the area and shall not be removed until construction is completed and as directed by the owner. maintain tree protection fence throughout construction.

**PARKING AND LANDSCAPING REQUIREMENTS:**

Parking provided: 390  
 Total impervious cover: 330,242 s.f.  
 Landscape requirements:  
 An equal to or least 10% of the total impervious cover is required for parking lot landscape purposes.  
 Area required: 33,024 s.f.  
 Area provided: 37,792 s.f.

100% of all parking spaces must be within 60' or less of a tree.  
 390 spaces within 60' or less of a tree required  
 390 spaces within 60' or less of a tree provided

Screening of parking lots with more than 10 spaces, dumpsters, or trash handling areas, etc. is required from a street r/w or abutting lot (Section 12.302).  
 --5 ft. min. width of planting strip (N/A if wall provided) required

**APPENDIX 9. CHAPTER 21 CITY TREE ORDINANCE CODE SUMMARY:**

**PERIMETER TREE REQUIREMENTS:**  
 LINEAR FEET OF ROAD FRONTAGE ALONG MAINTAINED RIGHT OF WAY INCLUDING DRIVEWAYS.  
 STREET: REA ROAD / 958 FT. = 24 TREES REQUIRED / 24 TREES PROVIDED  
 STREET: ARDREY KELL ROAD / 573 FT. = 14 TREES REQUIRED / 15 TREES PROVIDED

**INTERNAL TREE REQUIREMENTS:**  
 ONE TREE PER 10,000 SQ. FT. OF IMPERVIOUS AREA. ALL PARKING SPACES MUST BE WITHIN 60 FT. OF THE TRUNK OF A TREE. MINIMUM LANDSCAPE AREA AS A PERCENTAGE OF ENTIRE SITE IS 5% FOR RENOVATED SITES AND 10% FOR NEW SITES.

**CALCULATIONS:** IMPERVIOUS AREA = 330,242 SQ. FT.  
 LANDSCAPE AREA = 37,792 SQ. FT.  
 TOTAL SITE AREA = 688,248 SQ. FT.

**INTERNAL TREE REQUIREMENT:** IMPERVIOUS AREA/10,000 = 33 TREES REQUIRED  
 35 TREES PROVIDED

**IRRIGATION:**  
 All landscape beds will be irrigated by landscape contractor. Stubs/sleeving under the roadways is the responsibility of the landscape contractor. No irrigation lines will be located within 3' of an existing or future curb and gutter.

**GENERAL PLANTING NOTES**

1. No Light / Utility Poles to be Placed in Islands with Newly Planted Tree
2. Trees within the street right of way are protected by law. A permit is required from the City Arborist at (704)336-5753 prior to the removal of any right of way trees. All trees over 8" in diameter as measured 4.5' above ground and located within the setback are protected by law. Contact Land Development at (704)336-6692 for required permits.

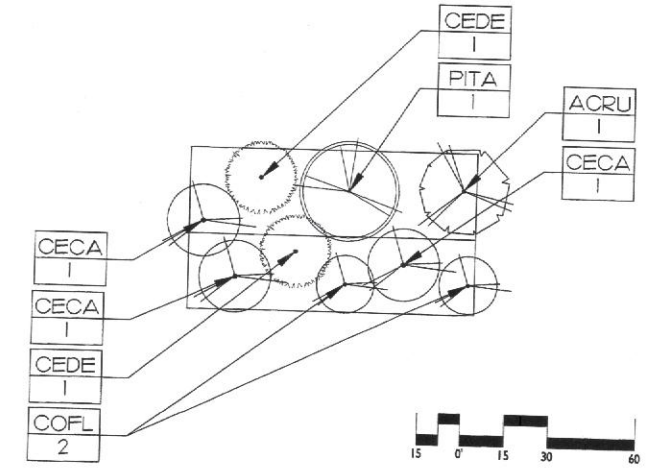
**SEEDING AND STRAW NOTE:**

1. All areas shown on plan that are planted with shrubs or indicated and defined by beelines shall be seeded and straw as specified in spec. book.
2. Landscape Contractor to verify all locations and quantities with Landscape Architect.

**PLANTING SCHEDULE:**

| Symbol | Total Qty. | Scientific Name  | Cal.      | Hgt.         | Spd.       | Conc. | Notes                   |
|--------|------------|--|-----------|--------------|------------|-------|-------------------------|
| ACER   | 29         | Acer rubrum Red Maple                                    | 3" Cal.   | 14'-16" Min. | 7'-8" Min. | BEB   | Spacing As Shown / Full |
| CACA   | 18         | Cornus caroliniana 'Coltman's Columbar American Hornbeam | 2" Cal.   | 8-10" Min.   | 3-6" Min.  | BEB   | Spacing As Shown / Full |
| CACL   | 15         | Cornus caroliniana American Hornbeam                     | 2.0" Cal. | 8-10" Min.   | 5-6" Min.  | BEB   | Spacing As Shown / Full |
| ILEG   | 69         | Ilex glabra Holly  | var.      | 30-36"       | 24-30"     | 5Gat  | Spacing As Shown / Full |
| LITU   | 25         | Liriodendron tulipifera Tulip Poplar                     | 3" Cal.   | 14'-16" Min. | 7'-8" Min. | BEB   | Spacing As Shown / Full |
| QUEL   | 4          | Quercus laurifolia Laurel Oak                            | 3" Cal.   | 12'-14" Min. | 6-7 Min.   | BEB   | Spacing As Shown / Full |
| LULL   | 141        | Ligustrum lucidum Glossy Privet                          | ---       | 30"-36"      | 24-30"     | 3Gat. | Spacing As Shown / Full |

**TYPICAL BUFFER PLANTING (100' SECTION):**



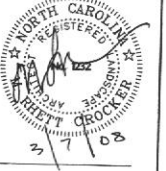
**REQUIREMENTS FOR CLASS B BUFFER WITH WALL (DEVELOPMENT STANDARDS 12.302(6-9)):**

1. Shrubs are not required if a fence or wall is built (12.302(6a)).
  2. Forty percent of the required trees within the buffer shall be large maturing trees.
  3. All trees shall have a minimum caliper of 2 inches measured 6 inches above ground at the time of planting.
  4. Shrubs and trees shall be on the approved plant list in Appendix I.
  5. Twenty-five percent of all trees within the buffer shall be evergreen.
- Section A:**  
 9 trees total (minimum of 4 trees to be large and maturing)  
 4 trees evergreen  
 No shrubs required per 12.302(6a).
- Section B:**  
 9 trees total (minimum of 4 trees to be large and maturing)  
 4 trees evergreen  
 No shrubs required per 12.302(6a).
- Section C:**  
 9 trees total (minimum of 4 trees to be large and maturing)  
 4 trees evergreen  
 No shrubs required per 12.302(6a).
- Section D:**  
 6 trees total (minimum of 2 trees to be large and maturing)  
 2 trees evergreen  
 No shrubs required per 12.302(6a).

**BUFFER PLANTING SCHEDULE:**

| Symbol | Total Qty. | Scientific Name                  | Cal.    | Hgt.     | Spd.    | Conc. | Notes                            |
|--------|------------|----------------------------------|---------|----------|---------|-------|----------------------------------|
| ACRU   | 3          | Acer Rubrum October Glory Maple  | 2" min. | 12' min. | 4' min. | BEB   | straight leader spacing as shown |
| CECA   | 10         | Cercis canadensis Eastern Redbud | 2" min. | 8' min.  | 4' min. | BEB   | straight leader spacing as shown |
| CEDE   | 7          | Cedrus deodora Deodar Cedar      | 2" min. | 12' min. | 4' min. | BEB   | straight leader spacing as shown |
| COFL   | 8          | Cornus florida Flowering Dogwood | 2" min. | 8' min.  | 4' min. | BEB   | straight leader spacing as shown |
| PITA   | 4          | Pinus taeda Loblolly Pine        | 2" min. | 8' min.  | 4' min. | BEB   | straight leader spacing as shown |

**APPROVAL**  
 DATED: March 12, 2008  
 BY: DEBRA D. GARDNER  
 EXISTING PERIMETER TREES



DATE: OCT 27, 2007  
 11/01/07 REVISION PER CITY COMMENTS  
 01/02/08 REVISION PER CITY COMMENTS  
 01/24/08 REVISION PER CITY COMMENTS  
 02/06/08 REVISION PER CITY COMMENTS  
 03/06/08 REVISION PER CITY COMMENTS

DATE: OCT 27, 2007  
 DRAWN BY: JMG  
 CHECKED BY: JMG  
 C.C. BY: JMG/ST  
 PROJECT: 07-001  
 SHEET #: C8.1



CHARLOTTE, NORTH CAROLINA

ELEVATIONS



ELEVATION FROM REA ROAD



ELEVATION FROM ARDREY KEL



ELEVATION FROM INTERSECTION

ATTACHED TO ADMINISTRATIVE APPROVAL

DATED: *Frank 12/2008*

BY: DEBRA D. CAMPBELL

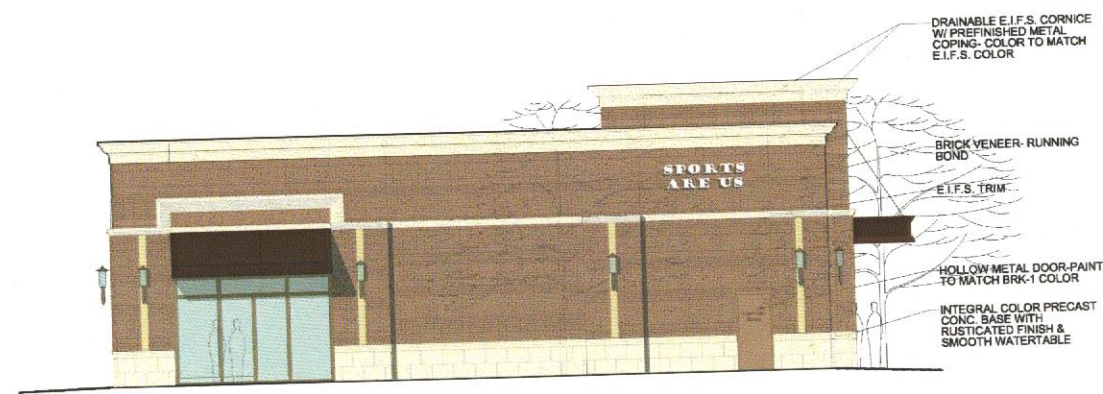


CHARLOTTE, NORTH CAROLINA

ELEVATIONS



ELEVATION FROM PARKING



ELEVATION FROM NORTH



ELEVATION FROM SOUTH



ELEVATION FROM REA ROAD

ATTACHED TO ADMINISTRATIVE APPROVAL

DATED: *Thurs 12/2/08*

BY: DEBRA D. CAMPBELL



Blakeney Crossing  
Building F5

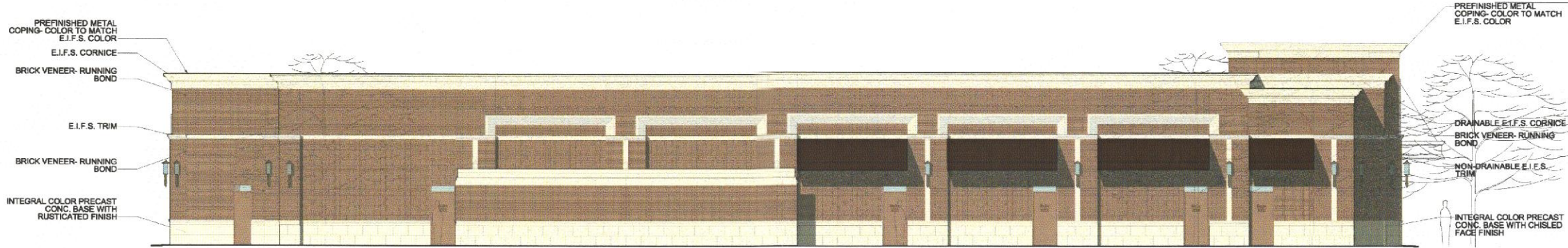
17 FEBRUARY 2008



Architect



ELEVATIONS



ELEVATION FROM NORTH



ELEVATION FROM REA ROAD



ELEVATION FROM EAST



ELEVATION FROM SOUTH

ATTACHED TO ADMINISTRATIVE APPROVAL

DATED: *March 12, 2008*

BY: DEBRA D. CAMPBELL

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architecture  
planning  
interiors

Architect

  
**Crosland**  
www.crosland.com  
704-523-0272

Blakeney Crossing  
Building F6

4 MARCH 2008

CHARLOTTE - MECKLENBURG  
PLANNING COMMISSION

INTER - OFFICE COMMUNICATION

TO: Gary Huss  
Zoning Supervisor

DATE: March 12, 2008  
*Debra Campbell*  
FROM: Debra Campbell  
Planning Director

SUBJECT: Administrative Approval for Petition No. 2007-33, Blakeney Crossing.  
Site Layout, Landscape plan and building elevations for buildings F3, F4, F5,  
and F6

As required in the Conditional Plan for Blakeney Crossing the Staff of the Charlotte-Mecklenburg Planning Commission in conjunction with the Blakeney Crossing Architectural Review Board has reviewed the site layout, landscape plan and elevations for buildings F3, F4, F5, and F6 and found that they meet the requirements as outlined in the Conditional Plan. Attached are specific elevations site layout and landscape plans. Please use these specific plans when evaluating requests for building permits and certificates of occupancy.

This site must still meet all other requirements as outlined in the City of Charlotte Zoning Ordinance.



**CHARLOTTE - MECKLENBURG**  
**PLANNING COMMISSION**

**INTER - OFFICE COMMUNICATION**

**DATE:** April 14, 2008

**TO:** Gary Huss  
Zoning Supervisor

**FROM:** Debra Campbell  
Planning Director

**SUBJECT:** Administrative Approval for Petition No. 2007-33, Blakeney Crossing.  
**Building elevations for Bank of America**

As required in the Conditional Plan for Blakeney Crossing the Staff of the Charlotte-Mecklenburg Planning Commission in conjunction with the Blakeney Crossing Architectural Review Board has reviewed the elevations for Bank of America and found that they meet the requirements as outlined in the Conditional Plan. Attached are specific elevations. Please use these specific elevations when evaluating requests for building permits and certificates of occupancy.

**This site must still meet all other requirements as outlined in the City of Charlotte Zoning Ordinance.**

**CC:** Monica Brown, Crosland Development  
Russell Ash, Little  
Rezoning File 2007-33





Front



Side

**Bank of America**



Blakeney Crossing  
Charlotte, NC

**ATTACHED TO ADMINISTRATIVE  
APPROVAL**

**DATED:** 4/17/08 MW

**BY: DEBRA D. CAMPBELL**

**LITTLE**  
DIVERSIFIED ARCHITECTURAL CONSULTING





Rear



Side

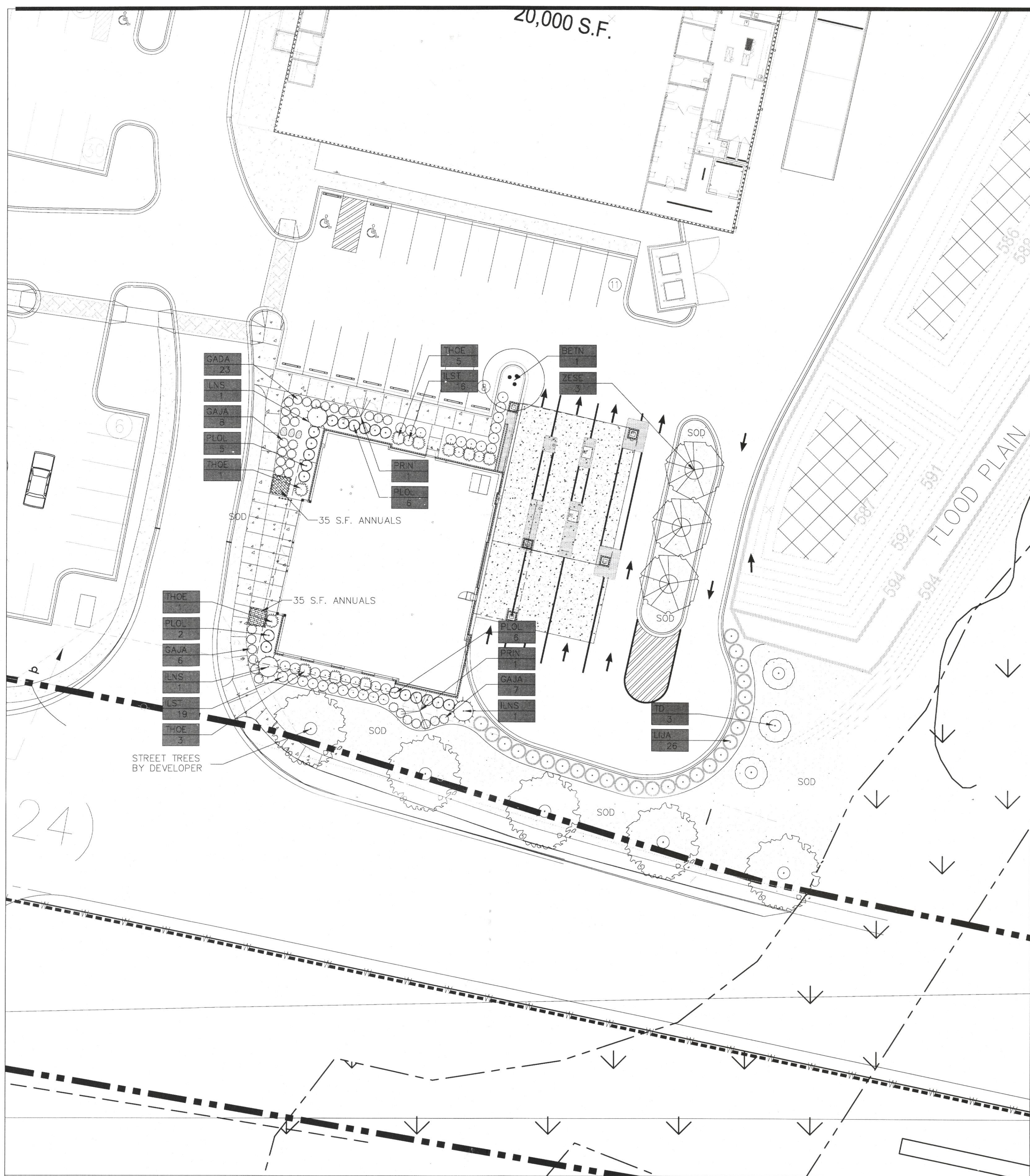


Blakeney Crossing  
Charlotte, NC

ATTACHED TO ADMINISTRATIVE  
APPROVAL  
DATED: 4/17/08 *MD*  
BY: DEBRA D. CAMPBELL







**KEY NOTES**

| KEY           | QUANTITY | BOTANICAL NAME                    | COMMON NAME               | CALIPER | HEIGHT | SPREAD | ROOT   | REMARKS             |
|---------------|----------|-----------------------------------|---------------------------|---------|--------|--------|--------|---------------------|
| <b>TREES</b>  |          |                                   |                           |         |        |        |        |                     |
| PRIN          | 2        | Prunus x incam 'Okame'            | Okame Cherry              |         | 10-12' | 10-12' | B+B    | matched specimen    |
| BETN          | 1        | Betula nigra 'Heritage'           | Heritage River Birch      |         | 10-12' | 6-8'   | B&B    | multi-stem (3 ONLY) |
| TD            | 3        | Taxodium distichem                | Bald Cypress              |         | 8-10'  | 4-6'   | B&B    | matched specimen    |
| ZESE          | 3        | Zelkova serrata                   | Zelkove                   |         | 2.5"   | 6-8'   | B&B    | matched specimen    |
| <b>SHRUBS</b> |          |                                   |                           |         |        |        |        |                     |
| ILST          | 35       | Ilex crenata 'Soft Touch'         | Soft Touch Holly          |         | 12-16" |        | 3 gal. | matched specimen    |
| GAJA          | 44       | Gardenia jasminoides 'Radicans'   | Dwarf Gardenia            |         | 12-18" |        | 3 gal. | 3" O.C.             |
| ILNS          | 3        | Ilex x 'Nellie R. Stevens'        | Nellie R. Stevens Holly   |         | 8-10'  | 4-6'   | B&B    | matched specimen    |
| THOE          | 10       | Thuja Occidentalis 'Emerald'      | Emerald Arborvitae        |         | 6-8"   |        | B&B    | matched specimen    |
| PLOL          | 19       | Prunus Laurocerasus 'Otto Luyken' | Otto Luyken Laurel        |         | 24-36" |        | 5 gal. | 4" O.C.             |
| LIJA          | 26       | Ligustrum japonicum 'Howard'      | Golden Japanese Ligustrum |         | 24-36" |        | 5 gal. | 5" O.C.             |

SOD SOD FECSUE REFER TO WRITTEN SPECS.  
 MULCH HARDWOOD MULCH-AS REQUIRED-REFER TO WRITTEN SPECS AND NOTES

**GENERAL PLANTING NOTES:**

- ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ANY REVISIONS TO THE LANDSCAPE PLAN WILL REQUIRE REVIEW AND APPROVAL BY THE CITY OF CHARLOTTE DEPARTMENT OF PLANNING & ZONING.
- NOTIFY LANDSCAPE ARCHITECT OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. LANDSCAPE ARCHITECT SHALL, IF NECESSARY, MAKE "IN-FIELD MODIFICATIONS".
- FINE GRADING SHALL CONSIST OF HAND RAKED SMOOTH, FREE OF DEBRIS, ALL AREAS TO RECEIVE LANDSCAPE PLANTING AND/OR HARDWOOD MULCH.
- CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS AND PROMPTLY REPORTING ANY DISCREPANCIES. CONTRACTOR TO PERFORM SOIL TESTS AS NECESSARY TO CONFORM TO SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITIES AND ANY DAMAGE HE IS RESPONSIBLE FOR THAT MAY OCCUR TO EXISTING UTILITIES.
- MULCH ALL PLANTING BEDS WITH SHREDDED HARDWOOD MULCH TO A 3" DEPTH.
- CONTRACTOR VERIFIES THAT ALL PLANT MATERIAL IS AVAILABLE AS SPECIFIED WHEN BID/PROPOSAL IS SUBMITTED.
- PLANT SCHEDULE WAS PREPARED FOR ESTIMATING PURPOSES. CONTRACTOR SHALL MAKE OWN QUANTITIES TAKEOFF USING DRAWINGS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING. GRAPHIC REPRESENTATION OF PLANTS SHALL SUPERCEDE QUANTITIES LISTED IN THE PLANT SCHEDULE.
- ROOT TYPE MAY BE FREELY SUBSTITUTED IN CASE OF BALLED AND BURLAPPED OR CONTAINER GROWN, OTHER SPECIFICATIONS REMAINING UNCHANGED, EXCEPT IN THE CASE OF CONTAINER GROWN SPECIMEN TREES AS INDICATED IN THE TREE PLANTING SCHEDULE.
- ALL PLANTING BEDS TO RECEIVE AN AMENDED SOIL MIXTURE. SOIL MIX SHALL BE COMPOSED OF 75% EXISTING SOIL AND 15% ORGANIC MATERIAL (OR APPROVED EQUAL) AND 10% SAND. SUPPLEMENT SOIL MIX WITH HIGHER CONCENTRATION OF NITROGEN.
- LANDSCAPE CONTRACTOR TO APPLY A PRE-EMERGENT HERBICIDE, 'PREEN' OR EQUAL TO ALL PLANT BED AREAS.
- IN ADDITION TO THE SOIL MIXTURE, LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ANY NECESSARY SOIL AMENDMENTS, AS INDICATED BY SOIL TESTS, AS WELL AS, AN ADEQUATE DRAINAGE SYSTEM FOR PLANTING BEDS. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AN ENVIRONMENT SUITABLE FOR THE GROWTH OF HEALTHY PLANT MATERIAL. REFER TO PLANTING DETAILS FOR INFORMATION ON PLANTING BED PREPARATIONS.
- ALL AREAS NOT DESIGNATED AS PLANTING BEDS OR SOD ARE TO BE SEEDED WITH GRASS SEED WITH THE INTENT AND PURPOSE OF ESTABLISHING A PERMANENT STAND OF GRASS.
- ALL PLANT MATERIAL MUST BE PLANTED IN CORRELATION WITH THE APPROPRIATE GROWING SEASON OF INDIVIDUAL PLANT REQUIREMENTS. SOME PERENNIALS MAY REQUIRE A SPRING PLANTING IN ORDER TO SURVIVE A FULL WINTER DORMANCY.
- PROVIDE QUALITY, SIZE, GENUS, SPECIES AND VARIETY OF EXTERIOR PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1, 'AMERICAN STANDARD FOR NURSERY STOCK'
- ALL PLANT MATERIAL AND WORKMANSHIP TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. PLANT REPLACEMENT TO OCCUR ONLY ONCE, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH REQUIREMENTS. REPLACEMENT PLANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THIS DOCUMENT. THE CONTRACTOR WILL NOT BE RESPONSIBLE FOR DEFECTS RESULTING FROM NEGLIGENCE BY THE OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS BEYOND THE LANDSCAPE CONTRACTOR'S CONTROL, WHICH RESULT FROM NATURAL CAUSES.
- MINIMUM TREE SIZE AT PLANTING IS 2-INCH CALIPER (FOR SINGLE STEM TREES).
- ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE ALL PAVEMENT, GRAVEL SUB-BASE, AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL-OR-UNCOMPACT AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES.
- ADJUST PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT MIN. 15' OFF SEWER AND STORM DRAINAGE LINES; MIN. 10' OFF GAS, WATER TELEPHONE AND ELECTRICAL LINES.
- THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING BY KEEPING LAWNS MOWED, ALL PLANTS MAINTAINED AS DISEASE FREE, ALL PLANTING BEDS GROOMED AND KEPT WEED FREE (EXCEPT IN AREAS OF PRESERVED EXISTING NATURAL VEGETATION (I.E., THICKETS), AND KEPT FREE FROM TRASH, DEBRIS AND OTHER OBJECTIONABLE MATERIALS; THE REPLACEMENT OF ANY REQUIRED PLANTING WHICH IS REMOVED OR DIES AFTER THE DATE OF PLANTING. SUCH REPLACEMENT SHALL OCCUR DURING THE NEXT PLANTING SEASON; AND, THE REPLACEMENT OF ANY TREE IN A TREE SAVE AREA WHICH IS REMOVED OR DIES AFTER THE DATE OF APPROVAL OF A PRESERVATION LANDSCAPE.

**IRRIGATION NOTES**

- CONTRACTOR SHALL VERIFY THAT AVAILABLE WATER PRESSURE IS ADEQUATE FOR IRRIGATION SYSTEM. CONTRACTOR SHALL VERIFY IN FIELD PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE.
- CONTRACTOR TO PROVIDE IRRIGATION LAYOUT DESIGN TO ARCHITECT FOR APPROVAL. SEE IRRIGATION REQUIREMENTS PARAGRAPH.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF WATER METERS, BACKFLOW PREVENTERS, VALVES, ELECTRIC WIRING FOR THE IRRIGATION SYSTEM, ALL SLEEVING, ALL FITTINGS, ADAPTERS, ETC. TO COMPLETE THE IRRIGATION SYSTEM.
- CONTRACTOR SHALL ADJUST ALL HEADS IN FIELD TO INSURE MAXIMUM COVERAGE, ELIMINATE OVERTHROW, ONTO PAVED AREAS, BUILDING AND WALL SURFACES. (LOCATE HEADS 3" CLEAR OF ALL HARDSCAPE SURFACES.) ALL AUTOMATIC VALVES SHALL BE INSTALLED IN A VALVE BOX AS SPECIFIED. COORDINATE SLEEVES WITH GENERAL CONTRACTOR.
- CONTRACTOR SHALL COORDINATE PIPING LAYOUT WITH LANDSCAPE PLAN TO INSURE PIPES DO NOT INTERFERE WITH ROOT BALLS OF TREES OR R.O.W.S OF SHRUBS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE.
- CONTRACTOR SHALL VERIFY THAT ALL PERTINENT LOCAL AND STATE CODES ARE BEING OBSERVED.
- CONTRACTOR TO PROVIDE THRUST BLOCKS ON 3" MAIN AT ALL BENDS AND TURNS.
- PROVIDE IRRIGATION TO ALL STREET TREES WITHIN PROJECT LIMITS.
- PROVIDE GATE VALVES AT DOWNSTREAM SIDE OF BACKFLOW AND AT HYDRAULIC CONTROLLERS.

**IRRIGATION REQUIREMENTS**

- CONTRACTOR SHALL DESIGN AND INSTALL A COMPLETE FUNCTIONING IRRIGATION SYSTEM FOR ALL TURF AND PLANTING AREAS, WITHIN PROJECT CONSTRUCTION LIMITS.
- CONTRACTOR SHALL SUBMIT IRRIGATION PLANS FOR ENTIRE SYSTEM TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- PLANS SHALL INCLUDE A COMPLETE SEPARATION OF SHRUB AND TURF AREAS. PLANS SHALL INCLUDE CONTROLLER, ALL SLEEVING, ELECTRIC VALVES, HEADS, LATERALS, MAINS, DRIP LINES CONNECTIONS TO EQUIPMENT, AND ALL OTHER COMPONENTS NECESSARY FOR A WORKING IRRIGATION SYSTEM.
- ALL CONTROLLERS, VALVES AND HEADS TO BE MADE BY THE SAME MANUFACTURER.
- BACKFLOW PREVENTOR TO BE PROVIDED BY CONTRACTOR AND SHALL CONFORM TO REQUIREMENTS OF LOCAL AUTHORITIES.
- SEE ELECTRICAL PLANS FOR LOCATION OF CONTROLLER BOX.

**Bank of America  
Blakeney Crossing  
New Store**

Ardrey Kell Rd & Rea Rd  
Charlotte, NC

SERIAL NUMBER: NC0032  
 NRSP VERSION: 2.0  
 BULLETIN: 22

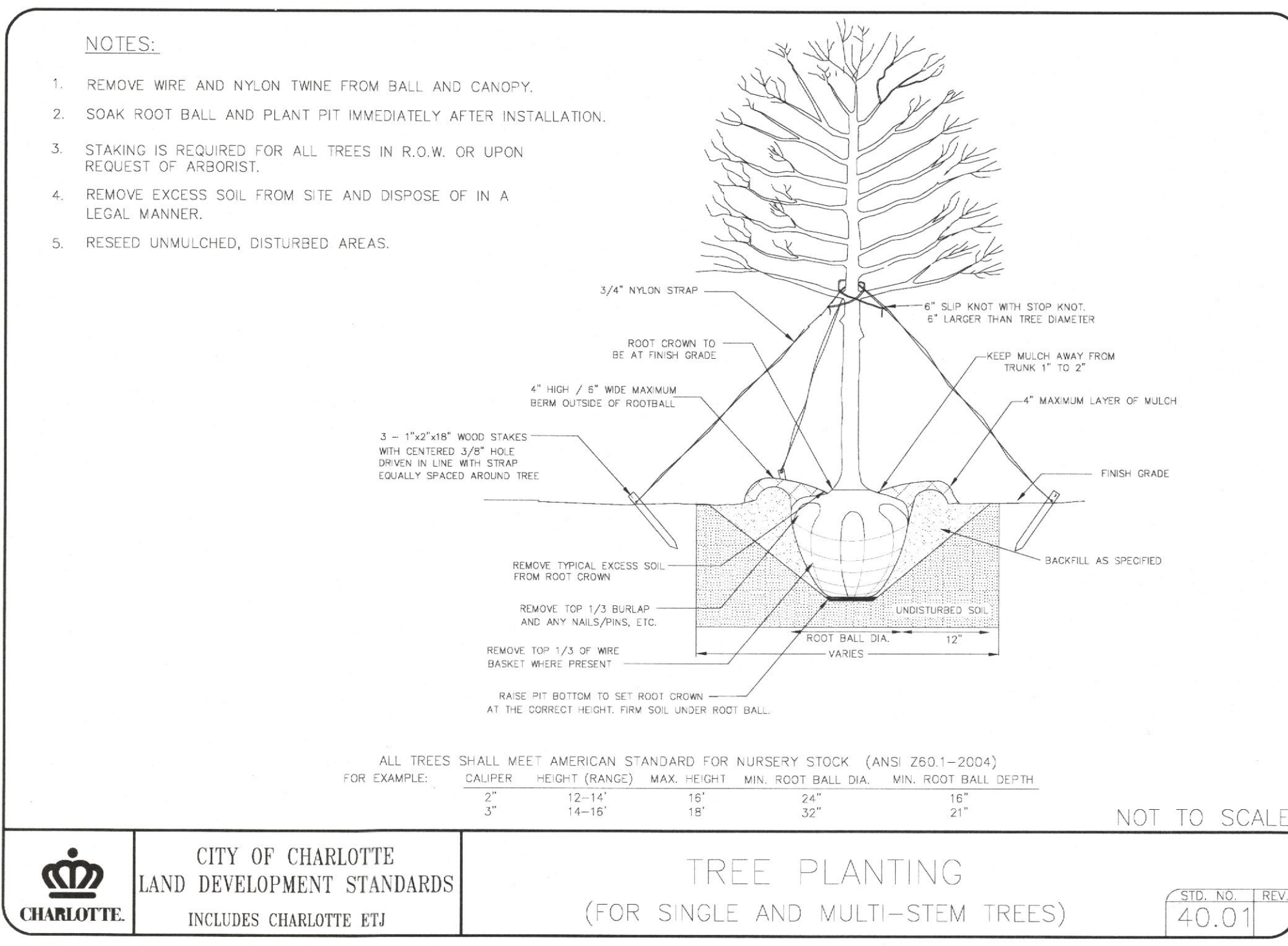
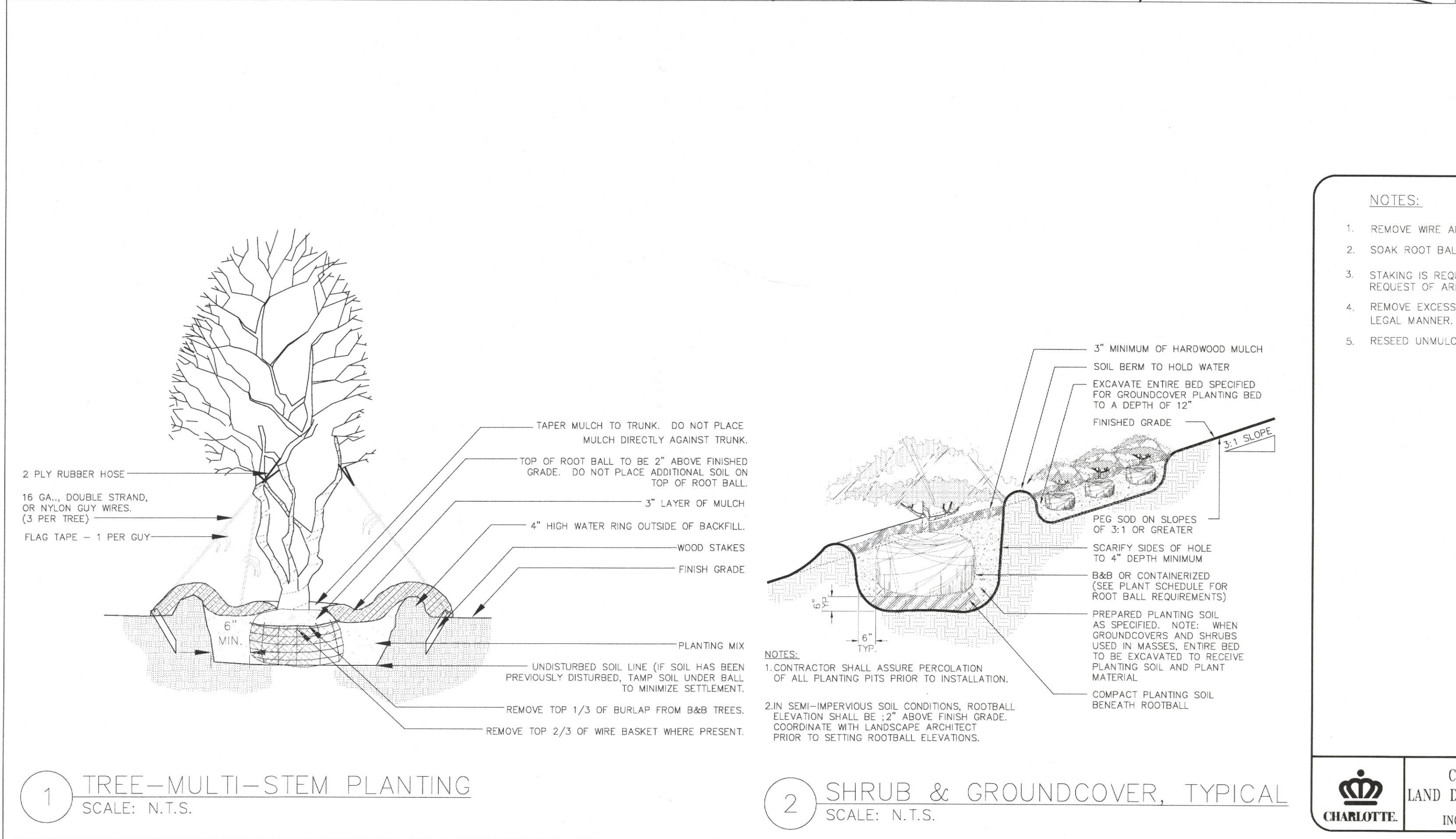


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|-------|--------------------------|----|--------------------------------|
|       | 4/01/08                  |    | Issued for BARC Approval       |
|       | 4/15/08                  |    | Issued for final BARC Approval |

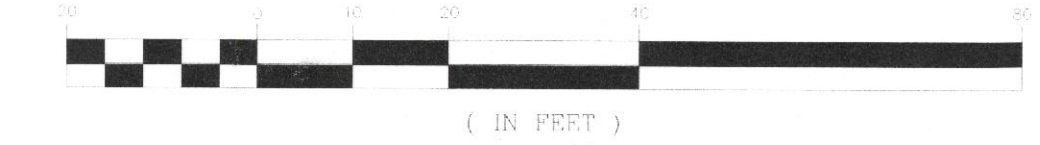


**SHEET NOTES**

**CAUTION!!!**  
 The locations and elevations of existing underground utilities as shown on this drawing are only APPROXIMATE. No guarantee is either expressed or implied as to the completeness or accuracy thereof. The contractor shall be exclusively responsible for determining the exact utility locations and elevations prior to the start of construction.



GRAPHIC SCALE



CITY OF CHARLOTTE  
 LAND DEVELOPMENT STANDARDS  
 INCLUDES CHARLOTTE ETJ

**TREE PLANTING**  
 (FOR SINGLE AND MULTI-STEM TREES)

STD. NO. 40.01

Project Name  
Bank of America - Blakeney Crossing

Project Number  
141-3873-00

CAD File Name

Description Landscape Plan

Scale

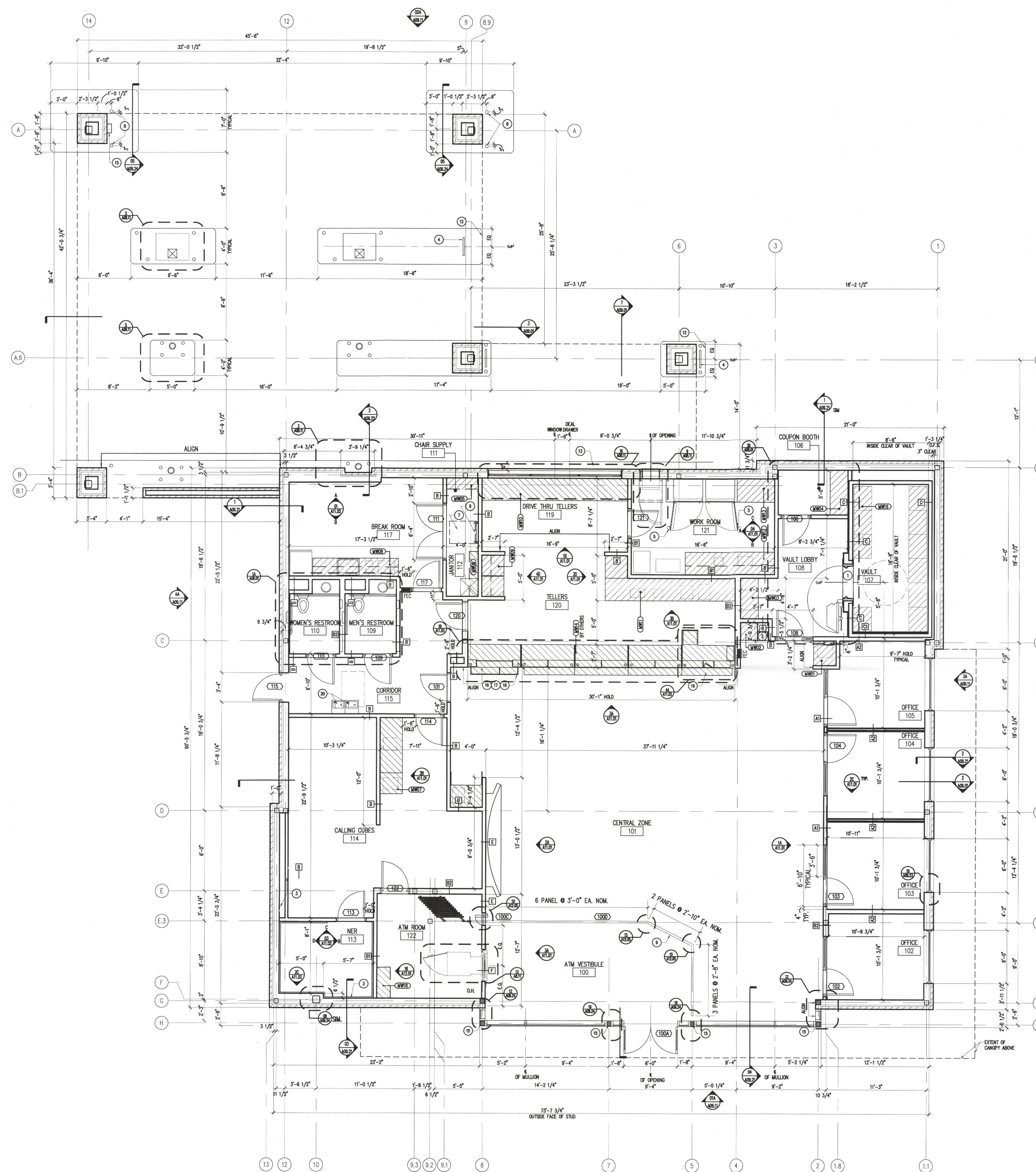
ATTACHED TO ADMINISTRATIVE APPROVAL

DATED: 4/17/08

BY: DEBRA D. CAMPBELL

L1.0





**KEY NOTES**

- 1 COORDINATE EMBEDDED STEEL PLATE LOCATION WITH VAULT MANUFACTURER. REFER TO STRUCTURAL DRAWINGS FOR VAULT SLAB CONSTRUCTION.
- 2 COORDINATE PARTITION FRAMING DIMENSION WITH MILLWORK SCHEDULED, MWO.
- 3 PROVIDE FIRE-RATED PLYWOOD BACKBOARD ON WALLS AS INDICATED, H=8'-0". PAINT TO MATCH ADJACENT WALL. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. DO NOT PAINT FIRE RATING STAMP.
- 4 GROUND MOUNTED SIGN BY OWNER
- 5 PROVIDE HEAVY DUTY FLOOR STOP PER SPEC--COORDINATE LOCATION WITH CASH VAULT DOOR.
- 6 LADDER TO ROOF HATCH - SEE DETAIL 9/A09.24
- 7 ROOF HATCH ABOVE - SEE DETAIL 9/A09.24
- 8 BOLLARD - SEE DETAIL 4/A09.24
- 9 MOVABLE GLASS WALLS. REFER TO SPECIFICATION SECTION 08450. COORDINATE FIELD DIMS WITH VENDOR SHOP DRAWINGS.
- 10 NOT USED
- 11 NOT USED
- 12 ALIGN EDGE OF D.T. ISLAND WITH LINE OF DRIVE THRU SOFFIT ABOVE
- 13 HEADER CURB - 10" WIDE AGAINST BUILDING
- 14 NOT USED
- 15 COURIER BOX BY OWNER VENDOR
- 16 NOT USED
- 17 NOT USED
- 18 NOT USED
- 19 SEE DETAIL 4A/11.03 FOR MERCHANT TELLER.
- 20 PROVIDE DRINKING FOUNTAINS ONLY IF REQUIRED BY LOCAL JURISDICTION

**SHEET NOTES**

- A. ALL PARTITIONS TO BE TYPE "A", UNLESS OTHERWISE NOTED. REFER TO SHEET A12.01 AND A12.06 FOR PARTITION DETAILS.
- B. FOR ADDITIONAL GENERAL NOTES, LEGENDS AND SCHEDULES, REFERENCE A00.00 THROUGH A
- C. UNLESS OTHERWISE NOTED, LOCATE HINGE SIDE OF ALL DOORS 6" FROM ADJACENT PERPENDICULAR PARTITION.
- D. REF. SHEET A08.11 FOR BANKING EQUIPMENT TO VERIFY ALL EQUIPMENT WITH MANUFACTURER.
- E. CONTRACTOR SHALL PROVIDE BLOCKING FOR ALL EQUIPMENT/ACCESSORIES MOUNTED ON WALL.

**Bank of America  
Blakeney Crossing  
New Store**

Ardney Kell Rd & Rea Rd  
Charlotte, NC

SERIAL NUMBER: NC0032  
NRSP VERSION: 2.0  
BULLETIN: 22



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|       | Issued for Final BARC Approval |    |       |

\_\_\_\_\_  
Seal/Signature

Project Name  
Bank of America - Blakeney Crossing

Project Number  
141-3873-00

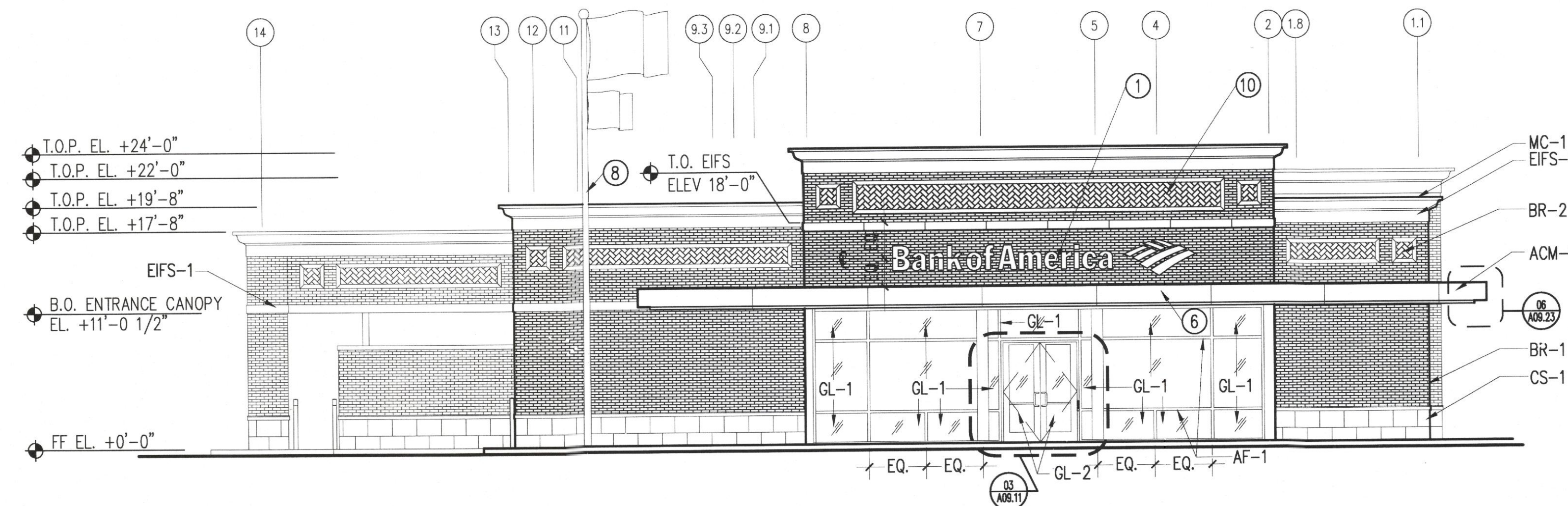
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Description  
CONSTRUCTION PLAN

Scale  
3/16" = 1'-0"

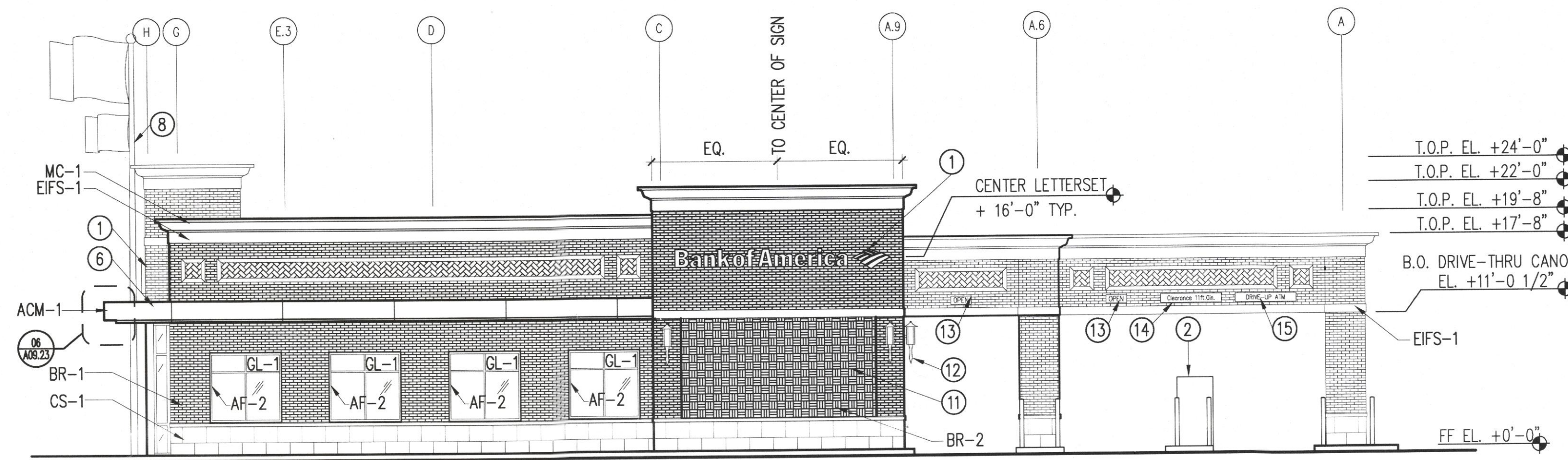
ATTACHED TO ADMINISTRATIVE APPROVAL  
DATED: 4/17/08 JM  
BY: DEBRA D. CAMPBELL  
**A02.01**





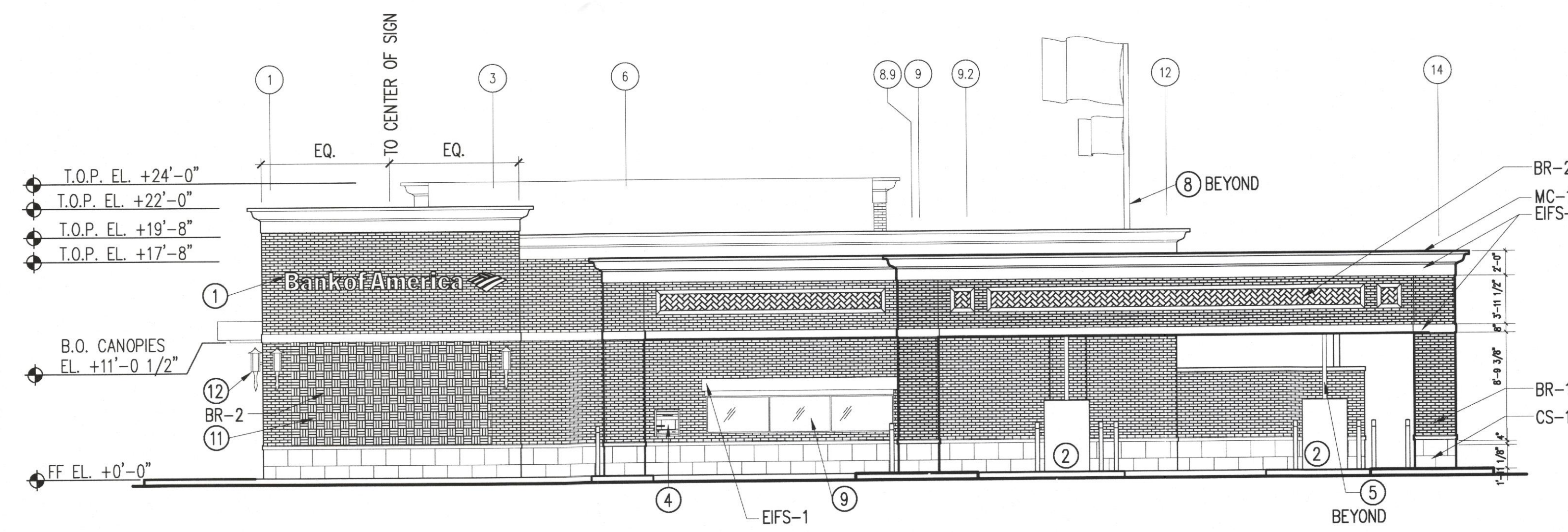
**A FRONT ELEVATION**  
SCALE: 1/16" = 1'-0"

01



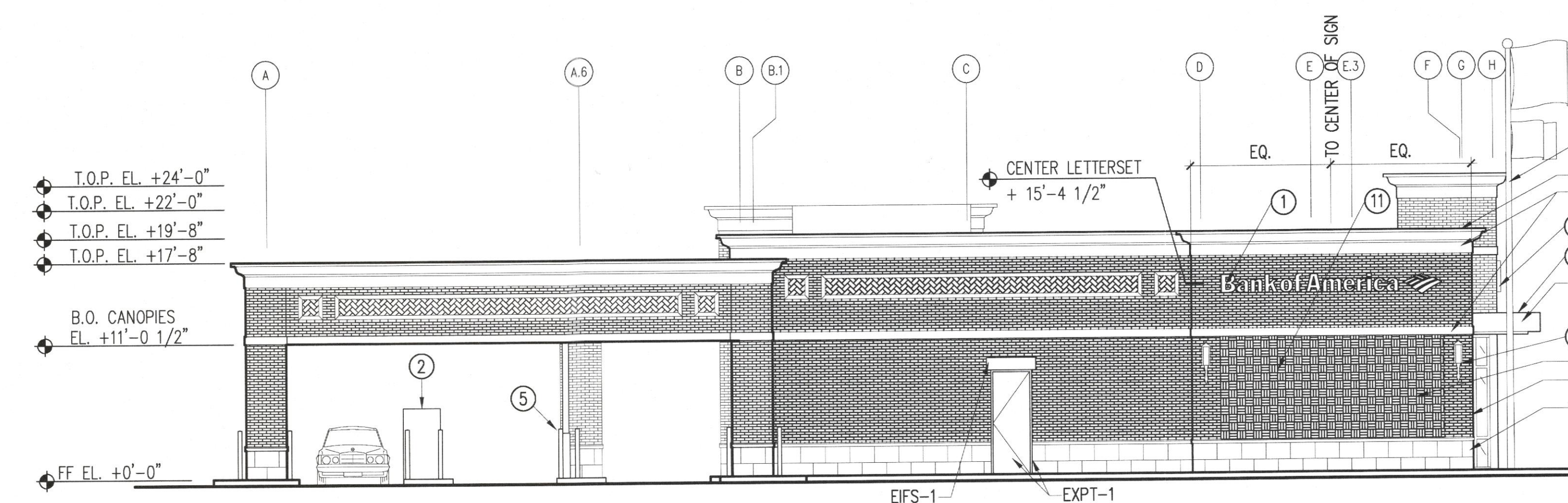
**B SIDE ELEVATION**  
SCALE: 1/16" = 1'-0"

02



**C REAR ELEVATION**  
SCALE: 1/16" = 1'-0"

03



**D SIDE ELEVATION**  
SCALE: 1/16" = 1'-0"

04

**KEY NOTES**

- 1 SIGNAGE BY OWNER
- 2 NOT USED
- 3 NOT USED
- 4 NIGHT DEPOSITORY - BY OWNER
- 5 VACUUM AIR TUBE (VAT) BY OWNER
- 6 ENTRANCE CANOPY
- 7 NOT USED
- 8 GROUND MOUNTED FLAGPOLE - BLACK FINISH
- 9 DRIVE THRU TELLER WINDOW BY OWNER
- 10 BRICK ACCENT - HERRINGBONE PATTERN (BR-2)
- 11 BRICK ACCENT - PARQUET PATTERN (BR-2)
- 12 WALL SCOFFCE TO MATCH BLAKENEY CROSSING
- 13 LED LANE LIGHTS PROVIDED BY EQUIPMENT VENDOR, C OF SIGN=C OF LANE.
- 14 S3 MONIGLE SIGNAGE PROVIDED BY OWNER, C OF SIGN=C OF ISLAND.
- 15 S3 MONIGLE SIGNAGE PROVIDED BY OWNER, C OF SIGN=C OF LANE.

**EXTERIOR FINISH SCHEDULE**

- BRICK**
- BR-1 "PORTSMOUTH" BY TAYLOR TRIANGLE BRICK
  - BR-2 "LIGHT GREY WIRECUT" BY HANSON (W/ GIANT CEMENT 035 LIGHT SAND 5/07 MORTAR)
- EIFS**
- EIFS-1 DRYVIT SPF TEXTURE. COLOR: "AMARILLO WHITE"
- CAST STONE**
- CS-1 "CRYSTAL WHITE" CHISLED-FACE PRECAST CONCRETE UNIT BY ROCKCAST
- ALUMINUM COMPOSIT METAL PANEL**
- ACM-1 CONTACT MIKE CALDWELL @ (770) 985-0930 "BRITE RED" #JMC40021 BY ALPOLIC
  - ACM-2 "RVW WHITE" #3MM4RVW3.5 BY ALPOLIC
- GLAZING**
- GL-1 INSULATED GLAZING AS SPECIFIED
  - GL-2 1" TEMPERED INSULATED GLAZING AS SPECIFIED
- ALUMINUM GLAZING FRAMES**
- AF-1 CURTAINWALL SYSTEM AS SPECIFIED
  - AF-2 STOREFRONT SYSTEM AS SPECIFIED COLOR TO BE DARK BRONZE ANODIZED FINISH AS MFR'D BY KAWNEER
- METAL COPING**
- MC-1 PREFINISHED METAL COPING TO MATCH EIFS
- EXTERIOR PAINT (BASED ON BENJAMIN MOORE)**
- EXPT-1 TO MATCH EIFS

**SHEET NOTES**

- A. CONTRACTOR TO COORDINATE POWER FOR WALL MOUNTED SIGNS WITH OWNER SIGN VENDOR TO DETERMINE EXACT MOUNTING LOCATION(S).
3. STANDARD SIGN ABOVE ENTRANCE CANOPY IS BANK OF AMERICA K-5 TYPE LETTERSET.
- C. STANDARD BUILDING WALL-MOUNTED SIGNS OTHER THAN SIGN ABOVE ENTRANCE CANOPY IS BANK OF AMERICA K-3 TYPE LETTERSET. REF. DRAWING 01B ON THIS SHEET FOR TYPICAL MOUNTING HEIGHT OF SIGN.
- D. ALL EXTERIOR CURTAIN WALL/STOREFRONT FRAMES AND DOORS TO BE FINISHED WITH SC-1 (SEE FINISH SCHEDULE).
- E. SEE 2A/A11.04 FOR ENTRANCE DOOR WIRING DIAGRAM.

**Bank of America  
Blakeney Crossing  
New Store**

Andrey Kell Rd & Rea Rd  
Charlotte, NC

SERIAL NUMBER: NC0032  
NRSP VERSION: 2.0  
BULLETIN: 22



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Seal/Signature

Project Name  
Bank of America - Blakeney Crossing

Project Number  
141-3873-00  
CAD File Name

Description  
EXTERIOR ELEVATIONS

Scale

ATTACHED TO ADMINISTRATIVE APPROVAL  
**A09.11** DATED: 4/17/08  
BY: DEBRA D. CAMPBELL