

LEGEND

- PROPERTY LINE SURVEYED: ———
 PROPERTY LINE NOT SURVEYED: - - - - -
 RIGHT-OF-WAY SURVEYED: ———
 SETBACK: ———
 E.I.P. - EXISTING IRON PIPE
 E.I.R. - EXISTING IRON ROD
 N.I.R. - NEW IRON ROD
 C.B. - CATCH BASIN
 R.C.P. - REINFORCED CONCRETE PIPE
 C/O - CLEAN OUT
 S.S.M.H. - SANITARY SEWER MANHOLE
 P.M. - POWER METER
 G.M. - GAS METER
 W.M. - WATER METER
 G.V. - GAS VALVE
 U.P. - UTILITY POLE
 L.P. - LIGHT POLE
 R/W - RIGHT-OF-WAY
 SQ.FT. - SQUARE FEET
 C/A - CONTROLLED ACCESS
 APPROX. - APPROXIMATE
 BLDG. - BUILDING

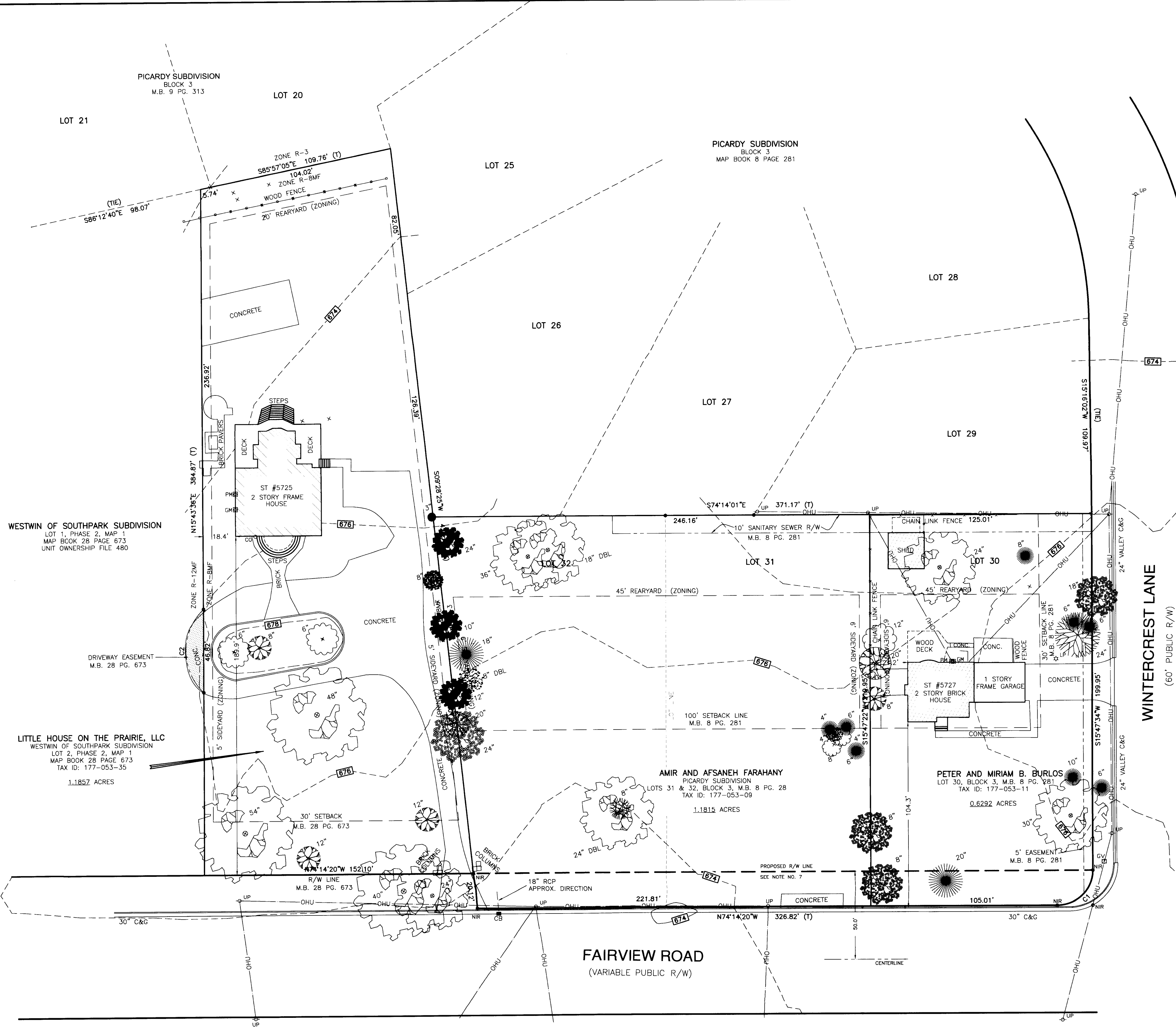
TREE LEGEND

(TREE SIZES MEASURED AT DIAMETER AT BREAST HEIGHT)

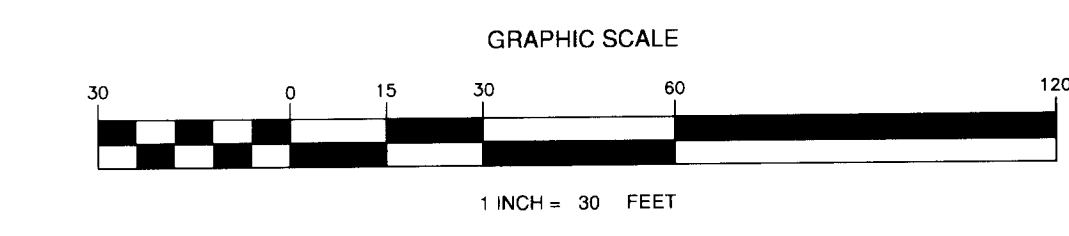
- BRADFORD PEAR
- CEDAR
- DOGWOOD
- ELM
- HACKBERRY
- HOLLY
- MAGNOLIA
- MAPLE
- OAK
- PECAN
- UNKNOWN SPECIES
- WALNUT
- WILD CHERRY

GENERAL NOTES

- BOUNDARY SURVEY BASED ON EXISTING PHYSICAL EVIDENCE OBSERVED ON THE DATE OF SURVEY.
- NO RECOVERABLE NCDS MONUMENTATION IS NOT LOCATED WITHIN 2,000 FEET OF SUBJECT PROPERTY.
- SUBJECT PROPERTY IS NOT LOCATED INSIDE THE 100 YEAR FLOODPLAIN AS GRAPHICALLY DETERMINED FROM MAP PREPARED BY FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP# 3701590228E EFFECTIVE DATE FEBRUARY 4, 2004.
- THIS SURVEY WAS PERFORMED WITHOUT BENEFIT OF A TITLE COMMITMENT REPORT. R.B. PHARR & ASSOCIATES, P.A. DOES NOT CLAIM THAT ALL MATTERS OF RECORD THAT MAY AFFECT THE SUBJECT PROPERTY ARE SHOWN HEREON.
- CONTOUR DATA TAKEN FROM MECKLENBURG COUNTY GIS DATED 1997. NO FIELDWORK WAS PERFORMED TO DETERMINE TOPOGRAPHY OF SUBJECT PROPERTY. CONTOURS ARE APPROXIMATE AND FOR ILLUSTRATIVE PURPOSES ONLY.
- SUBJECT PROPERTY ZONED R-3 & R-BMF PER THE MECKLENBURG COUNTY ZONING ORDINANCE.
- FAIRVIEW ROAD IS SHOWN AS A "MAJOR THOROUGHFARE" ON THE MECKLENBURG-UNION METROPOLITAN PLANNING ORGANIZATION THOROUGHFARE PLAN OF 2004 AND MAY BE SUBJECT TO A FUTURE RIGHT-OF-WAY OF 50' FROM CENTERLINE.



CURVE	RADIUS	ARC LENGTH	CHORD	BEARING
C1	20.00'	31.40'	28.28'	S67°45'17"W
C2	32.35'	52.35'	46.82'	N15°43'36"E



THIS IS TO CERTIFY THAT ON THE 12th DAY OF JANUARY 2007 AN ACTUAL SURVEY WAS MADE UNDER MY SUPERVISION OF THE PROPERTY SHOWN ON THIS PLAT, AND THAT THE BOUNDARY LINES AND THE IMPROVEMENTS, IF ANY, ARE AS SHOWN HEREON. THIS PLAT MEETS THE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA, BOARD RULE SECTION 1600 TITLE 21, CHAPTER 56 AND THE RATIO OF PRECISION DOES NOT EXCEED AN ERROR OF CLOSURE OF ONE (1) FOOT PER 10,000 FEET OF PERIMETER SURVEYED NOR 20 SECONDS TIMES THE SQUARE ROOT OF THE NUMBER OF ANGLES TURNED.

SIGNED
 J. JEFFREY COBB, PLS. L-2830
 R.B. PHARR & ASSOCIATES, P.A.
 UNION COMMONS BUSINESS PARK
 1548 UNION ROAD-SUITE B
 GASTONIA, NC 28054

REVISIONS		SURVEY PREPARED FOR:	
4-28-07	PLOTTED PROPOSED R/W LINE ALONG FAIRVIEW RD.	THE GHAZI COMPANY	
7-12-07	TREES ADDED PER CLIENTS REQUEST.	FAIRVIEW ROAD & WINTERCREST LANE CITY OF CHARLOTTE, MECKLENBURG COUNTY, NORTH CAROLINA LOTS 29-31 BLOCK 3, PICARDY SUBDIVISION, M.B. 8 PG. 281 LOT 2, WESTWIN OF SOUTHPARK SUBDIVISION, PHASE 2, MAP 1 M.B. 28 PG. 673 TAX ID: 177-053-35, 177-053-09, 177-053-311 R.B. PHARR & ASSOCIATES, P.A. SURVEYING & MAPPING UNION COMMONS BUSINESS PARK 1548 UNION ROAD SUITE-B GASTONIA, NC 28054 TEL: (704)864-9636 FAX: (704)863-0616	
DRW:	TODD C.	DATE:	1-12-2007
DRWN:	JAMES G.	SCALE:	1"=30'
REVISD:	CEB	PROJECT NO.:	G-17B
		FILE NO.:	G-D-322
		JOB NO.:	71390