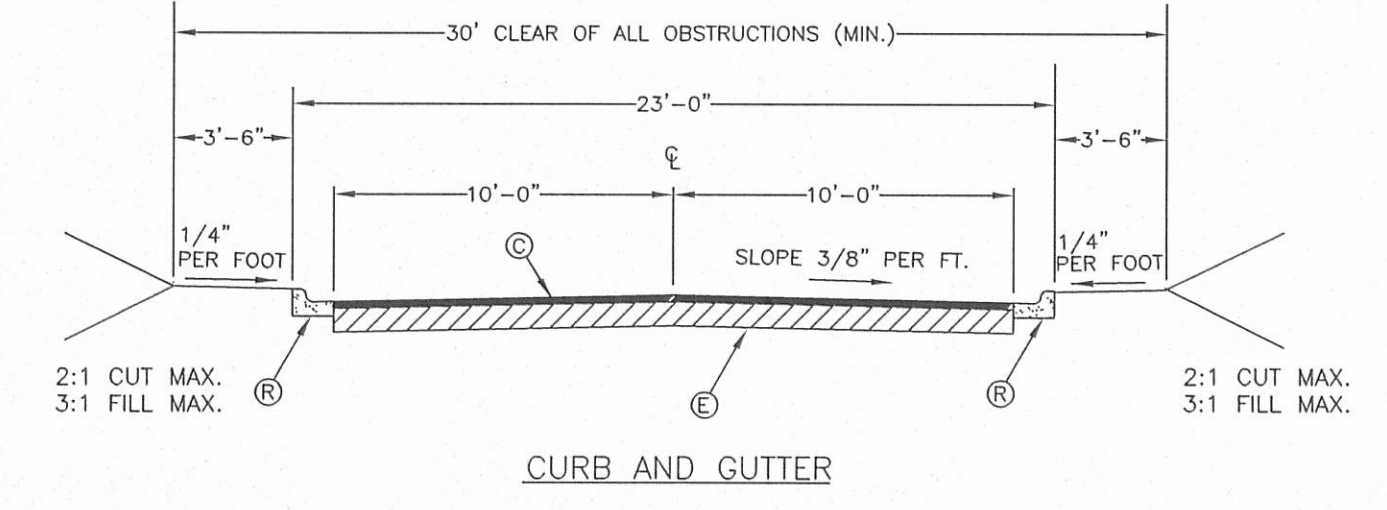
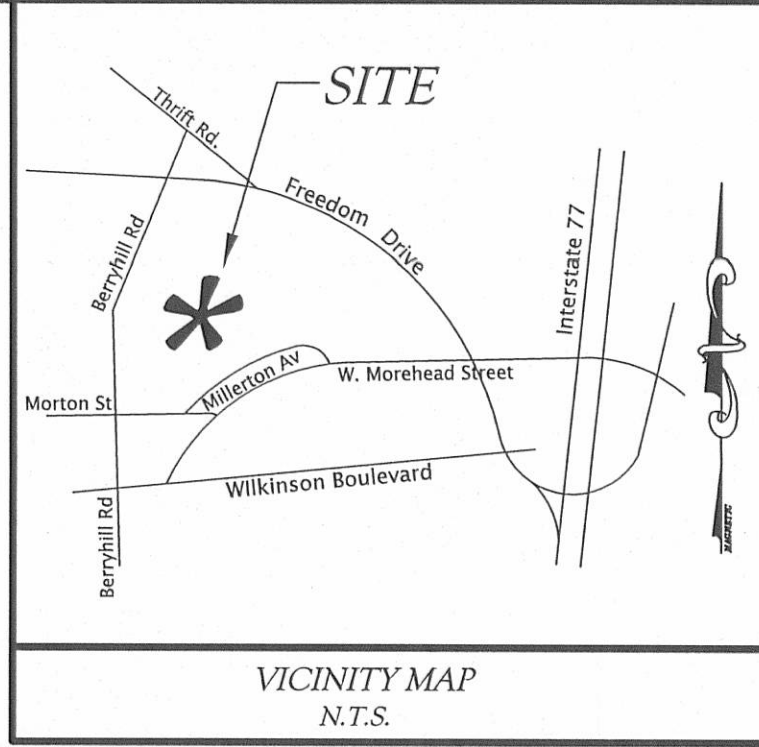


ATTACHED TO ADMINISTRATIVE APPROVAL
 DATED: 2-19-2013
 BY: DEBRA D. CAMPBELL

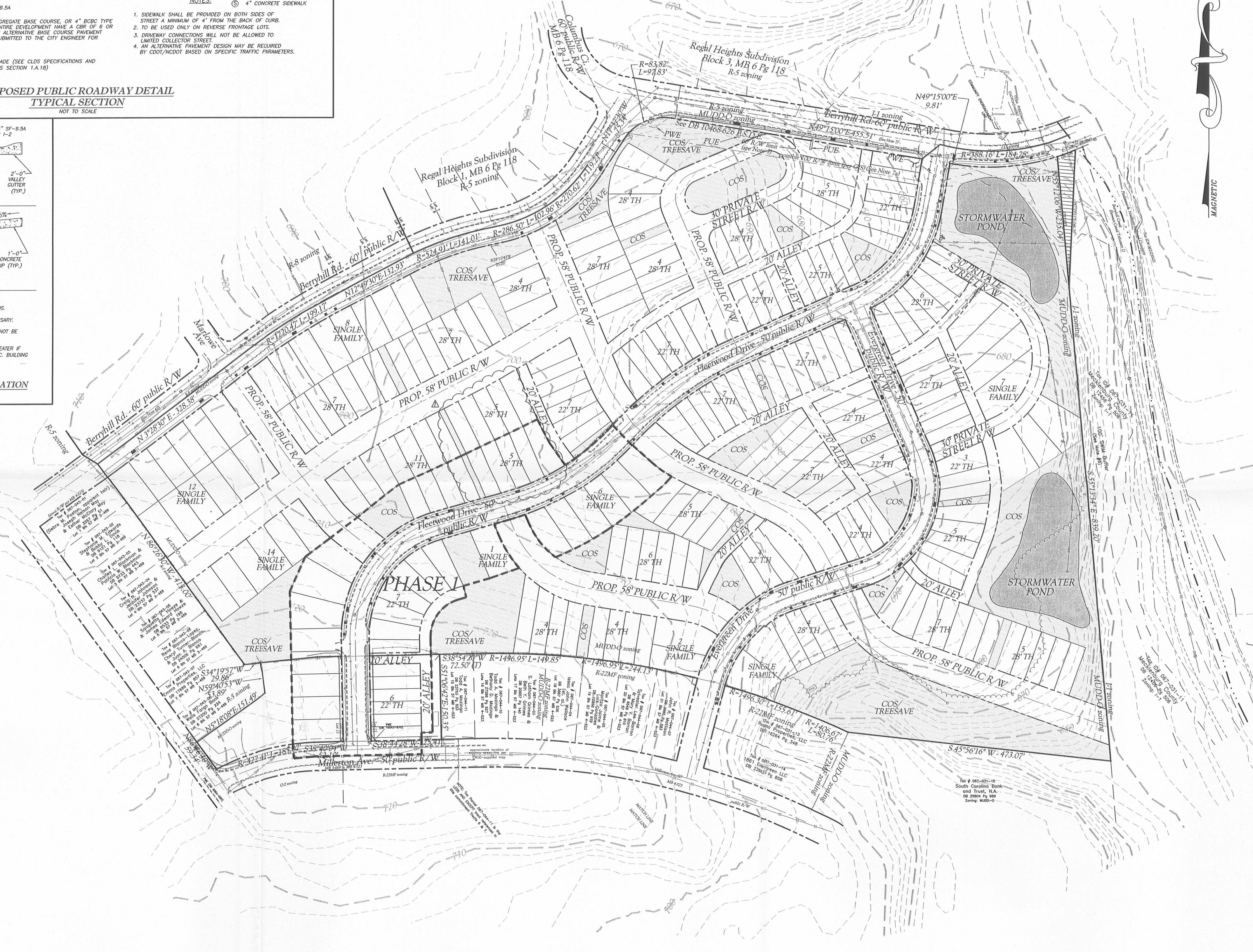


PRIVATE STREET TYPICAL SECTION

NOTES:
 1. DETAILS SHOWN SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY STANDARDS.
 2. DITCH TYPE STREET REQUIRES APPROVAL OF CITY ENGINEER.
 3. MINIMUM CURB RADIUS ON INTERIOR DRIVES AND PARKING AREAS IS 10'
 4. THIS DETAIL IS NOT TO BE USED TO MEET INTERNAL/EXTERNAL CONNECTIVITY REQUIREMENTS OF THE SUBDIVISION ORDINANCE AND ZONING ORDINANCE.

GUIDELINES FOR PRIVATE STREET DESIGN:
 1. INTERNAL STREET ALIGNMENT:
 MAXIMUM GRADE: 10%
 MINIMUM VERTICAL CURVE "K" VALUES: 10/20 (CREST/SAW)
 MINIMUM HORIZONTAL CURVE CENTERLINE RADIUS: 50 FT.
 2. INTERSECTION WITH PUBLIC STREET:
 SAME AS FOR PUBLIC STREET. SEE GENERAL NOTES, SECTION 1.B.2.
 3. SIX MAXIMUM GRADE WITHIN 40 FEET OF PUBLIC STREET INTERSECTION BEGINNING FROM EDGE OF PAVEMENT LINE.
 NOTE: VARIATIONS ON THESE GUIDELINES WILL BE REVIEWED ON A CASE BY CASE BASIS BY CITY STAFF.

PAVEMENT SCHEDULE
 (1) 1.5" BITUMINOUS CONCRETE SURFACE COURSE, TYPE SF9.5A OR 1.5" BITUMINOUS CONCRETE SURFACE COURSE, TYPE 1-2.
 (2) 4" COMPACTED AGGREGATE BASE COURSE, OR 4" B20B TYPE OR 4" B20C TYPE HB.
 (3) CURB AND GUTTER (REFERENCE 10.17A AND B)



- SITE NOTES:**
1. PIN: 06703112, 06704408, 06704310, 06704309, 06704409, & 06704402
 DB: 26540, PG: 922, TRACTS 1-6
 SITE AREA: ± 29.86 AC, TOTAL
 NET AREA: ± 29.86 - ± 3.04 (EX. R/W) = ± 26.83 AC
 2. SITE ADDRESSES FOR REMOVED BUILDINGS:
 1501-1509, 1603-1651, 1705-1909 BERRYHILL DR.
 1501-1611, 1612-1862, 1701-1801, 1803-1837 FLEETWOOD DR.
 1700-1866, 1703-1849 EVERGREEN DR.
 2300 MORTON DR.
 2112 MELLERTON DR.
 3. PROPERTY ZONING: MUD-O (REFER TO REZONING PETITION #2007-058)
 PROPOSED USE: RESIDENTIAL
 4. MAX BUILDING HEIGHT: 60'
 5. MAX DENSITY: 16.60 DUA (ALLOWED)
 6. SETBACKS:
 FRONT: 14' FROM BACK OF CURB
 SIDE YARD: NONE REQUIRED
 REAR YARD: NONE REQUIRED
 MIN. LOT WIDTH: 20'
 MIN. LOT AREA: NONE REQUIRED
 7. WATERSHED: IRWIN
 SWIM BUFFERS: 100' WATER QUALITY
 POST-CONSTRUCTION: CENTRAL CATAWBA DISTRICT, CHARLOTTE JURISDICTION
 POST-CONSTRUCTION: 100' POST CONSTRUCTION BUFFER
 NOTE: PROPERTY IS WITHIN A DISTRESSED BUSINESS DISTRICT
 8. FEMA FLOOD PANEL #371045340J 03/02/2009
 A PORTION OF THIS PROPERTY LIES WITHIN THE 100-YR. FLOOD FRINGE AS RECORDED ON SURVEY PERFORMED BY A.G. ZOUTEWELLE SURVEYORS, 1418 E. FIFTH ST., CHARLOTTE, N.C. 28204, 704-372-9444.
 9. TOPO INFORMATION PROVIDED BY: NCDDT LIDAR
 10. SOIL TYPES:
 MS - (MORGAN AND ARENTS SOILS, HYDROLOGIC GROUP C)
 PSE - (PACOLET SANDY LOAM, 1% TO 2% SLOPES, HYDROLOGIC GROUP B)
 CUD - (CECIL-URBAN LAND COMPLEX, 6 TO 15 PERCENT SLOPES, HYDROLOGIC GROUP B)
 CUB - (CECIL-URBAN LAND COMPLEX, 2 TO 8 PERCENT SLOPES, HYDROLOGIC GROUP B)
 UR - (URBAN LAND, HYDROLOGIC GROUP N/A)
 11. LOTS:
 DETACHED SINGLE FAMILY LOTS - 52
 22' TOWNHOME LOTS (28' TH) - 101
 28' TOWNHOME LOTS (28' TH) - 98
 DUA: 251 LOTS / 26.83 AC (NET) = 9.36 DUA
 12. OPEN SPACE/TREESAVE REQUIREMENTS:
 COS REQUIRED: 10% MINIMUM
 TREESAVE AREA REQUIRED: 10% MINIMUM

811
 Know what's below.
 Call before you dig.

1. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO BEGINNING CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAGGING, ETC., AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.
3. ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
4. SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART F, OR AS AMENDED.

 LWE LATHEAM-WALTERS ENGINEERING, INC. N.C. CORP. LIC. C-1815 1607-A NORTHCROSS DRIVE HUNTERVILLE, NORTH CAROLINA 28078 (704) 895-8484 FAX (704) 237-4362	 JAMES L. WALTERS ENGINEER 18584 1/2019	OWNER: Avanti Acquisition Co., LLC 923 N. PENNSYLVANIA AVE. WINTER PARK, FL 32789 407-629-1091 gtanen123@aol.com	DATE: JAN. 2013 SCALE: 1" = 100' DRAWN BY: MRH CHECKED BY: JLV PROJECT NO: 2012.41	SHEET C1.0
		BRYANT PARK BERRYHILL RD., CHARLOTTE, N.C. 28208 SKETCH PLAN		
1 REMOVED SHORT STREET, CHANGED LOTS TO 28' T.H. REVISIONS DATE	2-11-13			

Charlotte-Mecklenburg Planning Department

DATE: February 19, 2013

TO: Mark Fowler
Zoning Supervisor

FROM: Debra Campbell
Planning Director

SUBJECT: Administrative Approval for Petition No. 2007-058 Bryant Park

Attached is the revised site plans for the above referenced rezoning petition. The site plan shows the proposed layout of the site removing one proposed street and providing a lot layout for the proposed 251 lots. Since this change does not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

Note: All other Zoning, Tree Ordinance and Conditional requirements still apply.



Charlotte-Mecklenburg Planning Department

DATE: March 16, 2015

TO: Mark Fowler
Zoning Supervisor

FROM: Ed McKinney
Interim, Planning
Director

SUBJECT: Administrative Approval for Petition No. 2007-058

Attached is the revised site plan for the petition above. This request allows the modification of the proposed site plan as listed below. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

- Change rear loaded residential units to front loaded residential units.
- Removal of alley and street.

Reasons for Staff's support of the request:

- The site plan complies with the conditional notes and still meets the intent of the approved site plan by the City Council.

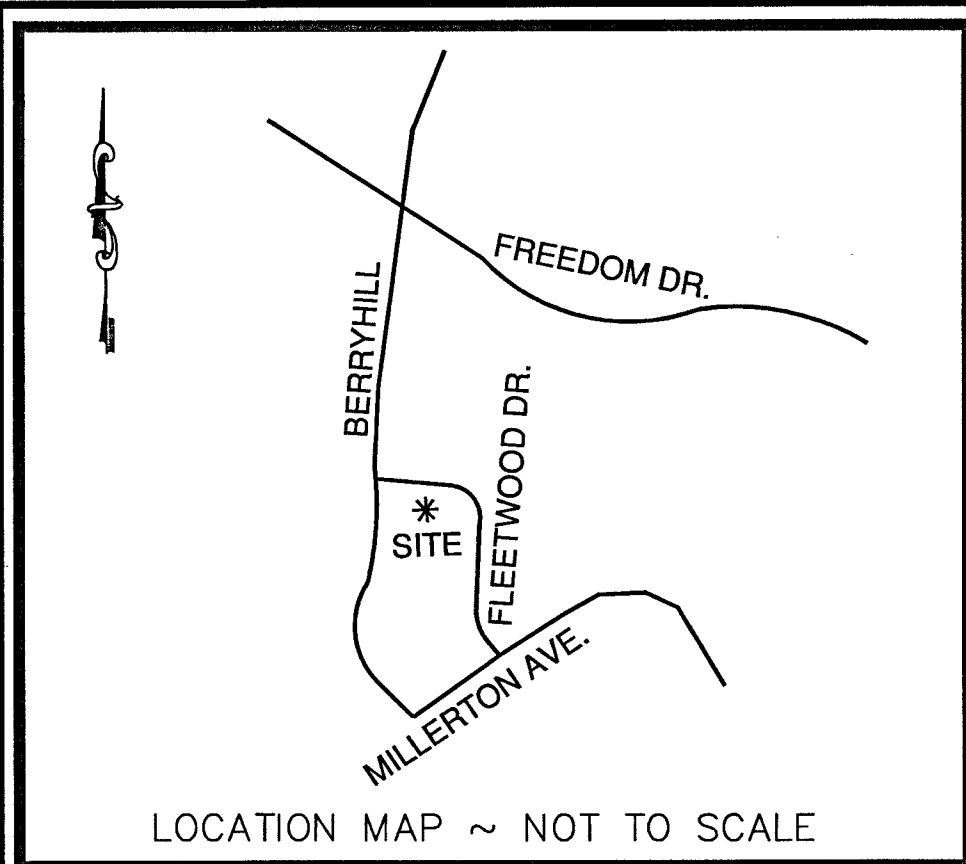
Note: All other Zoning, Subdivision, Tree Ordinances and conditional requirements still apply.

Signage was note reviewed as part of this request.

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

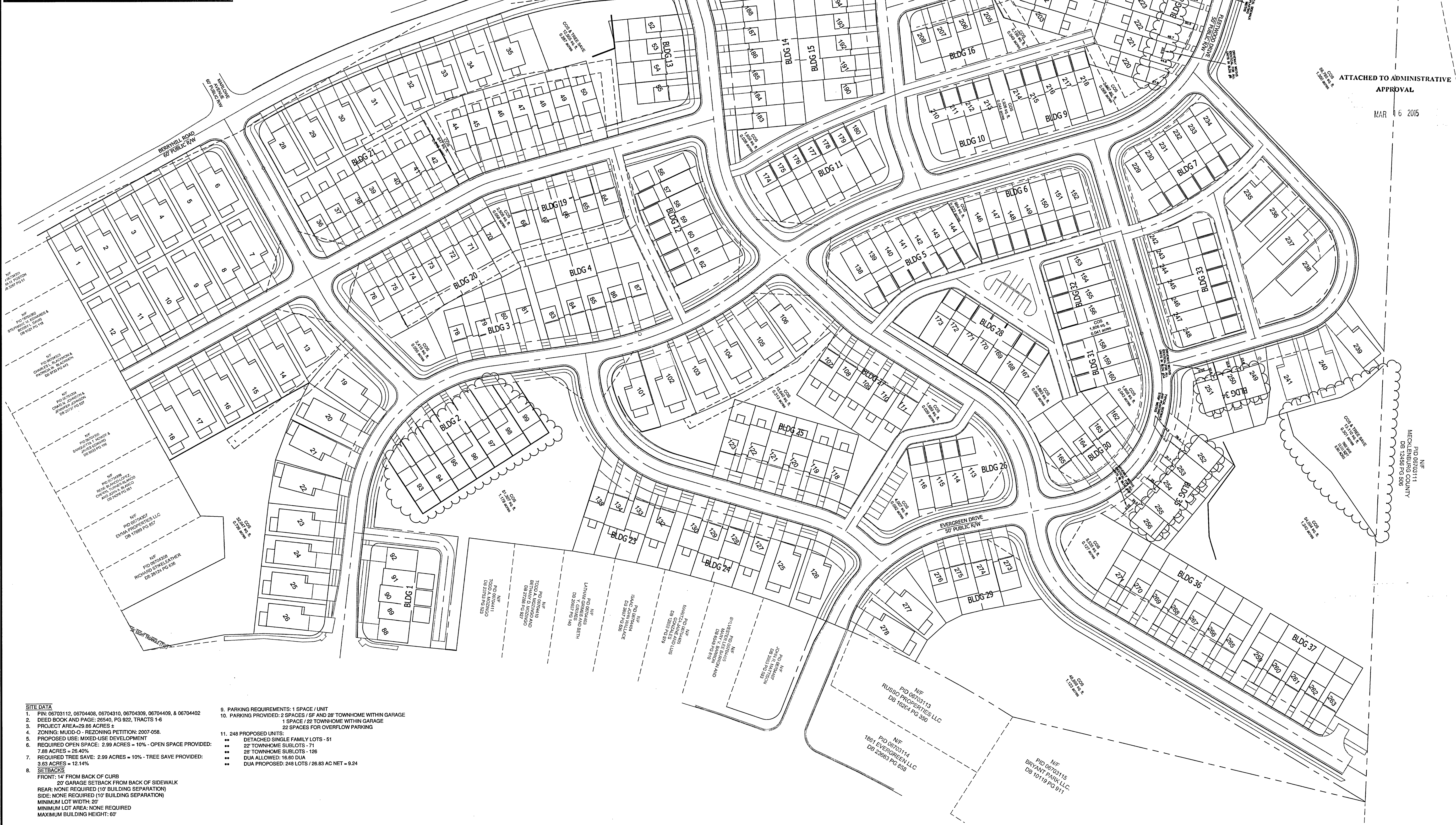
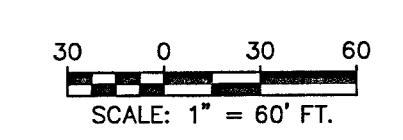
www.charmeck.org

600 East Fourth Street
Charlotte, NC 28202-2853
PH: (704)-336-2205
FAX: (704)-336-5123



NOTES AND SITE DATA:

1. WATERSHED: IRWIN
2. SWIM BUFFER: 100' WATER QUALITY
3. POST CONSTRUCTION CENTRAL CATAWBA DIST., CHARLOTTE JURISDICTION
4. POST CONSTRUCTION 100' POST CONSTRUCTION BUFFER
5. NOTE: PROPERTY IS WITHIN A DISTRESSED BUSINESS DISTRICT
6. FEMA FLOOD PANEL: #3710453400J 03/02/2009
7. A PORTION OF THIS PROPERTY LIES WITHIN THE 100-YEAR FLOOD FRINGE AS RECORDED ON SURVEY PERFORMED BY A.G. ZOUTWELLE SURVEYORS, 1418 E. FIFTH STREET, CHARLOTTE, NC 28204, 704-372-9444.
8. SOILS:
 - MS-MONACAN AND ARENTS SOILS, HYDROLOGIC GROUP C
 - PAE-PACOLET SANDY LOAM, 15 TO 25 PERCENT SLOPES, HYDROLOGIC GROUP B
 - CUD-CECIL-URBAN LAND COMPLEX 8-15 PERCENT SLOPES, HYDROLOGIC GROUP B
 - CUB-CECIL-URBAN LAND COMPLEX 2-8 PERCENT SLOPES, HYDROLOGIC GROUP B
 - UR-URBAN LAND, HYDROLOGIC GROUP N/A
9. ALL UTILITIES WILL BE UNDERGROUND.
10. ANY DETACHED LIGHTING ON THE SITE WILL NOT EXCEED 20 FEET IN HEIGHT, WILL BE FULLY SHIELDED AND AIMED INTO THE SITE, AWAY FROM THE ADJOINING PROPERTIES AND PUBLIC STREETS TO PREVENT GLARE. "WALL PAK" LIGHTING WILL NOT BE UTILIZED.
11. A CATS WAITING PAD WILL BE PROVIDED PER CATS DEVELOPMENT STANDARDS 60.01A ON MILLERTON AVENUE ADJUTING THE PROPOSED SITE PER REZONING PLAN NOTE 22.
12. ALL BACK FLOW PREVENTERS ARE TO BE INSTALLED BEHIND THE SETBACK AND SCREENED FROM THE RIGHT OF WAY.
13. STREET TREES ARE REQUIRED ON PUBLIC STREETS. STREET TREES SHALL BE SPACED 40' ON CENTER AND LOCATED WITHIN THE 8' PLANTING STRIP. EACH STREET SHALL HAVE A DIFFERENT TREE ORDINANCE APPROVED SPECIES TO AVOID MONOCULTURE.
14. ALL BUILDINGS ON PROPERTY LINES WILL MEET ALL FIRE CODE REGULATIONS.



ATTACHED TO ADMINISTRATIVE APPROVAL
MAR 16 2015

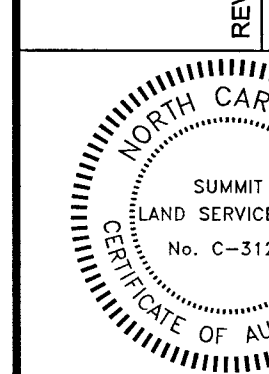
SUMMIT LAND SERVICES
P.O. BOX 7442
CHARLOTTE, NC 28217
OFFICE: 704.504.1717
FAX: 704.504.1122
WWW.SUMMIT-COMPANI

PROJECT:
BRYANT PARK
CHARLOTTE, N.C.

CLIENT:
CAROLINA LAND PARTNERS, LLC
7804 FAIRVIEW ROAD

ORIG. PROJ. DATE: 07/11/11
SCALE:
DRAWN BY:
CHECKED BY:

REVISED SITE PLAN



SEAL DATE:

PROJECT NO:
3117

SHEET
C2.

- SITE DATA**
1. PIN: 06703112, 06704408, 06704310, 06704309, 06704409, & 06704402
 2. DEED BOOK AND PAGE: 26540, PG 922, TRACTS 1-6
 3. PROJECT AREA: 29.88 ACRES ±
 4. ZONING: MUDD-O - REZONING PETITION: 2007-058
 5. PROPOSED USE: MIXED-USE DEVELOPMENT
 6. REQUIRED OPEN SPACE: 2.99 ACRES = 10% - OPEN SPACE PROVIDED: 7.88 ACRES = 26.40%
 7. REQUIRED TREE SAVE: 2.99 ACRES = 10% - TREE SAVE PROVIDED: 3.83 ACRES = 12.14%
 8. **SETBACKS**
FRONT: 14' FROM BACK OF CURB
20' GARAGE SETBACK FROM BACK OF SIDEWALK
REAR: NONE REQUIRED (10' BUILDING SEPARATION)
SIDE: NONE REQUIRED (10' BUILDING SEPARATION)
MINIMUM LOT WIDTH: 20'
MINIMUM LOT AREA: NONE REQUIRED
MAXIMUM BUILDING HEIGHT: 60'

9. PARKING REQUIREMENTS: 1 SPACE / UNIT
10. PARKING PROVIDED: 2 SPACES / SF AND 28' TOWNHOME WITHIN GARAGE
1 SPACE / 22 TOWNHOME WITHIN GARAGE
22 SPACES FOR OVERFLOW PARKING
11. 248 PROPOSED UNITS:
 - DETACHED SINGLE FAMILY LOTS - 51
 - 22' TOWNHOME SUBLOTS - 71
 - 28' TOWNHOME SUBLOTS - 126
 - DUA ALLOWED: 16.60 DUA
 - DUA PROPOSED: 248 LOTS / 26.83 AC NET = 9.24