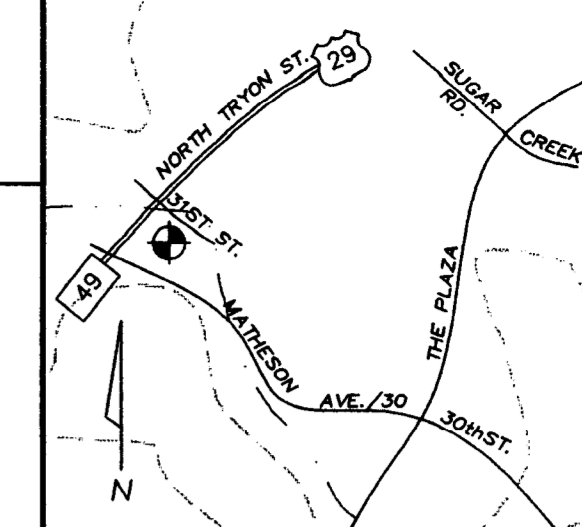


OWNER: FIRST INDUSTRIAL B & L, LLC  
 2420 Bank of America Plaza  
 Charlotte, NC 28280  
 (704) 376-9921

VICINITY MAP



**DEVELOPMENT SUMMARY:**  
 TAX PARCEL NUMBERS - 083-021-01, 083-031-15  
 SITE AREA - 15.99 AC.  
 EXISTING ZONING - I-2  
 PROPOSED ZONING - UR3 (CD)  
 MAXIMUM UNITS - 327  
 PROPOSED DENSITY - 20.45 DU/A  
 PROPOSED USE - MIXED USE RESIDENTIAL (ATTACHED TOWNHOMES AND FLATS) AND GROUND FLOOR OFFICE AND RETAIL  
 PROPOSED OFFICE/RETAIL: MIN. 0 SF, MAX. 44,000 S.F.  
 FLOOR AREA RATIO: 0.35

**REQUIRED YARDS:**  
 MIN. SETBACK - 14' FROM BACK OF CURB  
 MIN. SIDE YARD - 5'  
 MIN. REAR YARD - 20'  
 MAX. HEIGHT - 60' (5 STORY BUILDINGS, MAX.)  
 MIN. SETBACK AT R/R - 0' @ RAILROAD

**PROPOSED DEVELOPMENT:**  
 239 RESIDENTIAL UNITS + 44,000 SF OF OFFICE / RETAIL  
 PARKING REQUIREMENTS FOR MULTIFAMILY AND MAX. OFFICE/RETAIL:  
 RESIDENTIAL - 1 SPACE PER UNIT  
 239 RESIDENTIAL UNITS = 239 SPACES  
 RETAIL/OFFICE - 1 SPACE / 500 SF.  
 MAX. RETAIL/OFFICE - 44,000 SF / 500 SF = 88 SPACES  
 (PARKING PROVIDED SHALL MEET ALL REQUIREMENTS AS SET FORTH IN THE UR-3 ZONING DISTRICT, SECTION 9.408 OF THE CITY OF CHARLOTTE ZONING ORDINANCE.)  
 (USES AND DENSITY SHALL MEET ALL REQUIREMENTS AS SET FORTH IN THE UR-3 ZONING DISTRICT, SECTION 9.404 AND 9.408 RESPECTIVELY.)

**UNIT 13, 1000 SF ON 1ST FLR LEVEL; UNITS 14 AND 15, 4000 SF EACH PER 1ST FLR LEVEL; UNIT 8, 3000SF ON 1ST FLR LEVEL FOR A TOTAL OF 44,000 SF RETAIL/OFFICE ON 1ST FLR LEVEL**

CONVERSION: REMOVAL OF 1000 SF OF OFFICE/RETAIL WOULD EQUAL THE ADDITION OF 2 RESIDENTIAL UNITS.

**B BICYCLE PARKING WILL BE PROVIDED PER CODE:**  
 (a) RESIDENTIAL - 1 SHORT TERM SPACE PER 20 UNITS, NO LONG TERM REQUIRED.  
 (b) OFFICE - LONG TERM - 1 SP / 40,000 SF; SHORT TERM - 3% OF AUTO SPACES REQUIRED FOR THE OFFICE USE.  
 (c) RETAIL - LONG TERM - 1 SP / 10,000 SF; SHORT TERM - 1 SP / 40,000 SF.

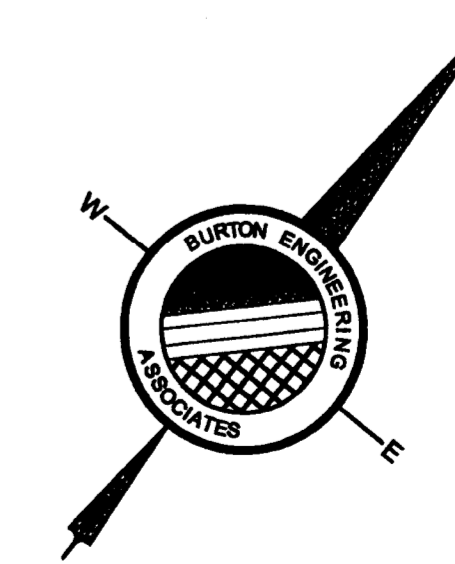
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 5950 Fairview Rd. • Suite 100 • Charlotte, NC 28210  
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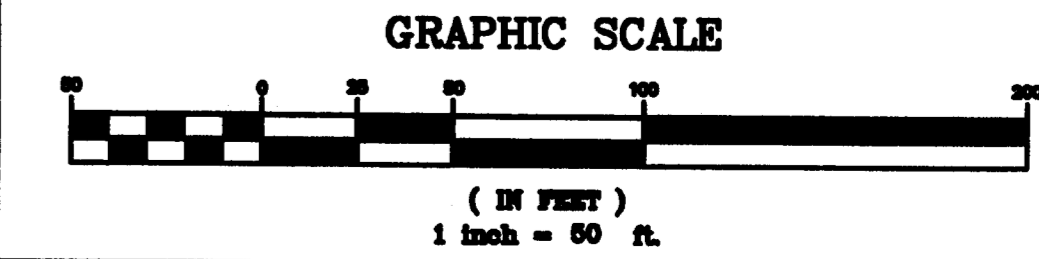
**MATHESON AVENUE/30th STREET**  
 CHICK GODLEY RD. AND DRIVEWAY ACCESS PLAN  
**TECHNICAL DATA SHEET**  
 PETITION NO. 2008-082

Project	WGF
Engineer	WGF
Drawn By	02/26/08
Date	
Revisions	
<ul style="list-style-type: none"> <li>△ - REV PER CMPC</li> <li>△ - REV PER CMPC 08-23-08</li> <li>△ - REV PER CMPC 10-22-08</li> <li>△ - ADDED AIR QUALITY NOTE 12-30-08</li> </ul>	
Project Number	433.004
Sheet	of
1	4

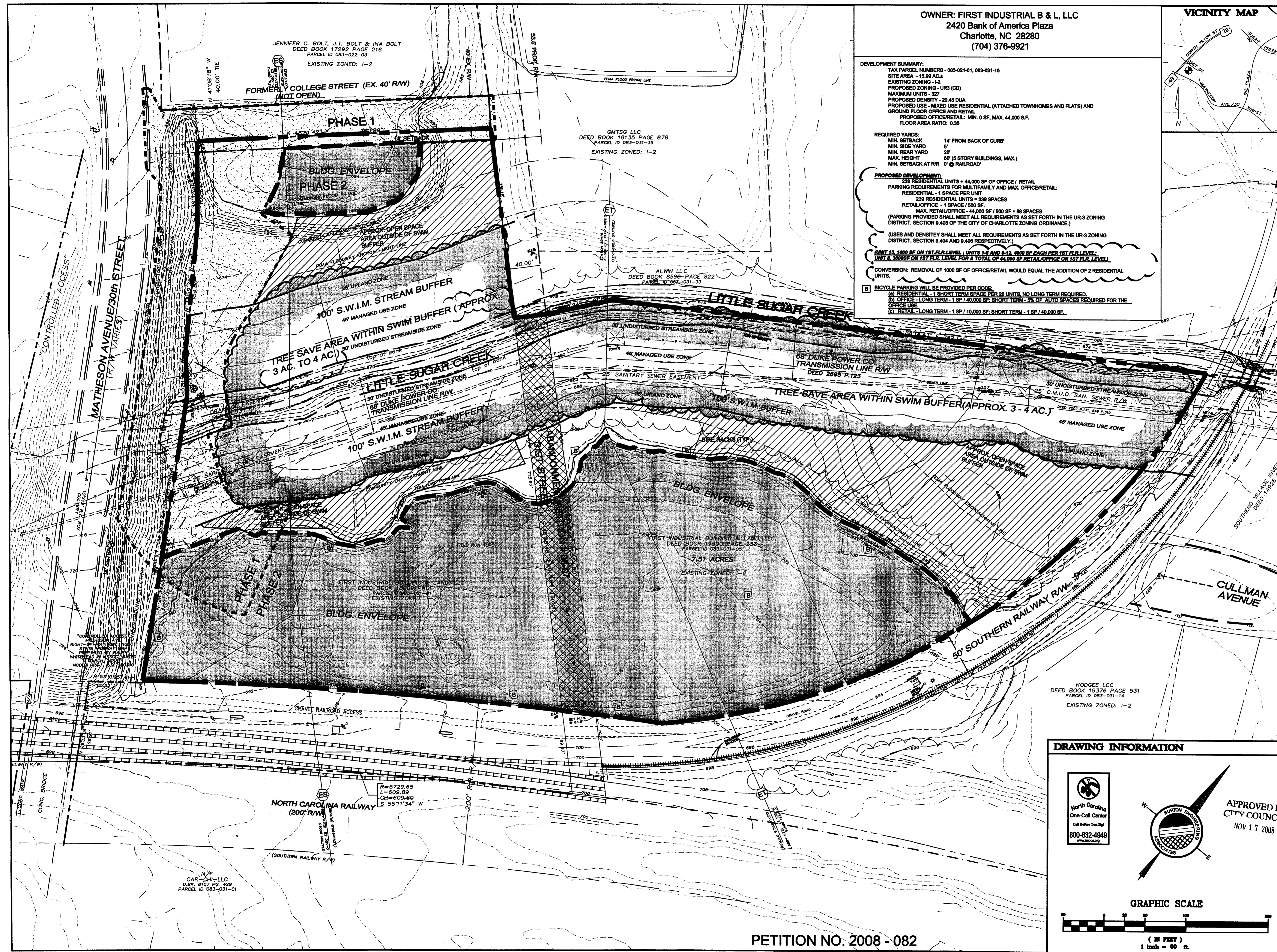
DRAWING INFORMATION



APPROVED BY  
 CITY COUNCIL  
 NOV 17 2008



PETITION NO. 2008 - 082



JENNIFER C. BOLT, J.T. BOLT & INA BOLT  
 DEED BOOK 17292 PAGE 216  
 PARCEL ID 083-022-03  
 EXISTING ZONED: I-2

GMTSG LLC  
 DEED BOOK 18135 PAGE 878  
 PARCEL ID 083-031-35  
 EXISTING ZONED: I-2

ALWIN LLC  
 DEED BOOK 8598 PAGE 822  
 PARCEL ID 083-031-33

KODGEE LCC  
 DEED BOOK 19376 PAGE 531  
 PARCEL ID 083-031-14  
 EXISTING ZONED: I-2

N/F  
 CAR=CHI-LLC  
 D.B.K. 8107 PG. 429  
 PARCEL ID 083-031-01

R=5729.65  
 L=609.89  
 CH=609.60  
 S 55°11'34" W

**CONDITIONAL NOTES**

1. DEVELOPMENT OF THE SUBJECT REZONING PARCEL IS IDENTIFIED ON THIS TECHNICAL DATA SHEET, CONSISTING OF 15.99 ACRES, MORE OR LESS (THE "SITE"), WILL BE GOVERNED BY THE STANDARDS ESTABLISHED UNDER THE ZONING ORDINANCE OF CITY OF CHARLOTTE (THE "ORDINANCE") FOR THE UR-3 ZONING DISTRICT UNLESS MORE STRINGENT STANDARDS ARE ESTABLISHED BY THESE DEVELOPMENT STANDARDS OR THE TECHNICAL DATA SHEET.
2. THE BUILDING CONFIGURATIONS, PLACEMENTS, AND SIZES SHOWN ON THE ILLUSTRATIVE SITE PLAN, WHICH ACCOMPANIES THIS TECHNICAL DATA SHEET, ARE SCHEMATIC IN NATURE AND MAY BE ALTERED AND/OR MODIFIED DURING DEVELOPMENT AND CONSTRUCTION. DOCUMENT PHASES WITHIN THE MAXIMUM BUILDING, PARKING AND DEVELOPMENT AREA ARE ESTABLISHED ON THIS TECHNICAL DATA SHEET.
3. IT IS THE INTENTION OF THE PETITIONER TO DEVELOP ATTACHED OR CONDO STYLE (FLATS) MULTI-FAMILY DWELLING UNITS, OFFICE AND/OR B-1 COMMERCIAL USES FOR THIS PROJECT. (PURSUANT TO MEETING ALL REQUIREMENTS IN SECTION 6.207.)
4. UP TO 327 RESIDENTIAL DWELLING UNITS (D.U.'S) MAY BE DEVELOPED ON THE SITE, TOGETHER WITH ANY INCIDENTAL OR ACCESSORY USES ASSOCIATED THEREWITH WHICH ARE PERMITTED UNDER THE ORDINANCE BY RIGHT OR UNDER PRESCRIBED CONDITIONS IN A UR-3 ZONING DISTRICT. THE MIXED PERMITTED USES IN THE UR-3 DISTRICT, RETAIL OR OFFICE USES WILL BE THOSE PERMITTED IN THE B-1 NEIGHBORHOOD BUSINESS DISTRICT AS OUTLINED IN SECTION 9.403(3) OF THE CITY OF CHARLOTTE ZONING ORDINANCE.
5. THE PERMANENT ACCESS POINT TO/FROM CHICK GODLEY RD. (FORMERLY COLLEGE ST.) OR FROM MATHESON AVE. SHALL BE LIMITED TO THAT AS SHOWN ON THE TECHNICAL DATA SHEET AND THE ILLUSTRATIVE SITE PLAN. FINAL LOCATION OF THIS ACCESS POINT IS SUBJECT TO ANY MODIFICATION REQUIRED TO ACCOMMODATE FINAL SITE AND CONSTRUCTION PLANS/DESIGN AND ARE FURTHER SUBJECT TO APPROVAL BY CDOT.
6. IN EVERY INSTANCE, THE SIDE YARD, SETBACK, AND REAR YARD REQUIREMENTS IMPOSED UNDER THE ORDINANCE WILL BE SATISFIED WITH RESPECT TO THE DEVELOPMENT TAKING PLACE WITHIN THE SITE, UNLESS MORE STRINGENT REQUIREMENTS ARE ESTABLISHED UNDER THESE DEVELOPMENT STANDARDS.
7. OFF STREET PARKING SHALL MEET THE MINIMUM STANDARDS ESTABLISHED UNDER THE UR-3 REQUIREMENTS OF THE CITY OF CHARLOTTE ZONING ORDINANCE.
8. THE PETITIONER SHALL COMPLY WITH THE CHARLOTTE CITY COUNCIL APPROVED AND ADOPTED POST CONSTRUCTION CONTROLS ORDINANCE, NC DENR PERMIT SECTION 401 AND US ARMY CORP OF ENGINEERS PERMIT SECTION 404 MUST BE CONTACTED PRIOR TO CONSTRUCTION REGARDING WETLANDS AND WATER QUALITY PERMITS.

**9. REMOVED PREVIOUSLY.**

10. A 6' WIDE SIDEWALK WILL BE INSTALLED ON THE WEST SIDE OF THE PRIVATE ACCESS ROAD AT THE BACK OF CURB ALONG THE CULVERT AND THE AREA IMPACTED BY THE FLOODWAY AND THE REQUIREMENTS FOR "NO RISE" WITHIN THE FLOODWAY. A 6' SIDEWALK AND THE 8' PLANTING AREA WILL BE INSTALLED ALONG THE PRIVATE ACCESS ROAD WHERE THE ROAD IS OUTSIDE THE INFLUENCE OF THE "NO RISE" WITHIN THE FLOODWAY. A MIN. OF A 6' SIDEWALK WILL BE PROVIDED FOR PEDESTRIAN CONVEYANCE AND ACCESS TO BUILDINGS AND PARKING. AN 8' TO 10' WIDE PAVED WALK SHALL BE PROVIDED TO THE GREENWAY.

**11. LANDSCAPING AND SCREENING:**

- (a) LANDSCAPING AND SCREENING SHALL, AT A MINIMUM, SATISFY THE REQUIREMENTS OF SECTION 12.303 OF THE ORDINANCE.
- (b) LANDSCAPING WILL BE INSTALLED IN PHASES IN ACCORDANCE WITH THE ORDINANCE, AS EACH PHASE OF THE SITE IS DEVELOPED.
- (c) COMMON DUMPSTERS, WILL BE SCREENED WITH SOLID ENCLOSURES WITH GATES, PER SCREENING CODE REQUIREMENTS.
- (d) PARKING WILL BE SCREENED FROM ALL PUBLIC RIGHT OF WAYS, PER CODE.

12. ANY MITIGATION FOR TREE REMOVAL ALONG MATHESON AVE. TO ACCOMMODATE THE CONSTRUCTION OF THE ACCESS WILL BE BE REVIEWED AND APPROVED BY URBAN FORESTRY PRIOR TO ANY TREE REMOVAL OR CONSTRUCTION.

**13. REMOVED**

**14. LIGHTING**

- (a) ALL FREESTANDING LIGHTING FIXTURES INSTALLED WILL BE UNIFORM IN DESIGN AND THE MAXIMUM HEIGHT OF ANY SUCH LIGHTING FIXTURE, INCLUDING ITS BASE, MAY NOT EXCEED 20 FEET IN HEIGHT.
- (b) ALL DIRECT LIGHTING WITHIN THE SITE (EXCEPT STREET LIGHTS WHICH MAY BE ERECTED ALONG THE PRIVATE STREET) WILL BE DESIGN SUCH THAT DIRECT ILLUMINATION DOES NOT EXTEND PAST ANY ADJACENT PROPERTY LINE. CONSIDERATION WILL BE GIVEN TO THE IMPACT OF LIGHTING BOTH WITHIN AND WITHOUT THE PERIMETER OF THE SITE. ITEMS FOR CONSIDERATION WILL INCLUDE INTENSITY, FULL CUTOFF ANGLES, COLOR, ENERGY EFFICIENCY, AND SHIELDING SOURCES OF LIGHT, THE INTENT BEING TO ELIMINATE GLARE TOWARDS PUBLIC STREETS AND ADJACENT PROPERTIES.
- (c) NO WALL PAKS WILL BE ALLOWED.

15. IMPROVEMENTS TO THE COMMON OPEN SPACE MAY INCLUDE, BUT NOT BE LIMITED TO PEDESTRIAN PATHS, LANDSCAPING, PICNIC TABLES, PICNIC SHELTER, BENCHES, FOUNTAIN.

16. FIRE HYDRANTS SHALL BE LOCATED WITHIN 750 FEET OF THE MOST REMOTE POINT OF BUILDINGS AS THE TRUCK TRAVELS.

17. THE OWNER OR OWNERS OF THE SITE, IN ACCORDANCE WITH THE ORDINANCE, MAY APPLY FOR FUTURE AMENDMENTS TO THIS TECHNICAL DATA SHEET AND THESE DEVELOPMENT STANDARDS (PURSUANT TO MEETING ALL REQUIREMENTS IN SECTION 6.207.) (SOME DATA ON THIS SHEET IS ALSO NOTED ON SHEET 1 UNDER "DEVELOPMENT SUMMARY.")

**PROPOSED ZONING - UR3 (CD)**

MAXIMUM UNITS - 327 RESIDENTIAL (245,000 SF MAXIMUM, 5 STORY BUILDINGS)  
 PROPOSED DENSITY - 20.45 DUA  
 PROPOSED USE - MIXED USE RESIDENTIAL (ATTACHED TOWNHOMES AND FLATS) AND GROUND FLOOR OFFICE AND RETAIL  
 PROPOSED TOTAL OFFICE AND / OR RETAIL SPACE: MIN. 0 SF, MAX. 44,000 S.F. (44,000 SF CAN BE ANY MIX OF RETAIL OR OFFICE)  
 (REMAINING 201,000 SF WOULD BE RESIDENTIAL YIELDING 239 RESIDENTIAL UNITS)  
 FLOOR AREA RATIO: 0.35

**REQUIRED YARDS:**

MIN. SETBACK	14' FROM BACK OF CURB
MIN. SIDE YARD	5'
MIN. REAR YARD	20'
MAX. HEIGHT	60' (5 STORY BUILDINGS, MAX.)
MIN. SETBACK AT R/R	0' @ RAILROAD

**PROPOSED DEVELOPMENT:**

239 RESIDENTIAL UNITS + 44,000 SF OF OFFICE / RETAIL  
 PARKING REQUIREMENTS FOR MULTIFAMILY AND MAX. OFFICERETAIL:  
 RESIDENTIAL - 1 SPACE PER UNIT  
 239 RESIDENTIAL UNITS = 239 SPACES  
 RETAIL/OFFICE - 1 SPACE / 500 SF  
 MAX. RETAIL/OFFICE - 44,000 SF / 500 SF = 88 SPACES  
 (PARKING PROVIDED SHALL MEET ALL REQUIREMENTS AS SET FORTH IN THE UR-3 ZONING DISTRICT, SECTION 9.408 OF THE CITY OF CHARLOTTE ZONING ORDINANCE.)

(USES AND DENSITY SHALL MEET ALL REQUIREMENTS AS SET FORTH IN THE UR-3 ZONING DISTRICT, SECTION 9.404 AND 9.406 RESPECTIVELY.)

(UNIT 13 MAY HAVE 1000SF ON THE 1ST FLR.; UNITS 1-6 AND 8-12 MAY HAVE 4000 SF EACH OF RETAIL / OFFICE ON 1ST FLOOR LEVEL AND UNIT 8 MAY HAVE 3000 SF OF RETAIL/OFFICE ON THE 1ST FLR. LEVEL. YIELD - 1000 SF + 3000 SF + (10 X 4000SF) = 44,000 SF OF OFFICE/RETAIL, TOTAL ALLOWED.)

CONVERSION: REMOVAL OF 1000 SF OF OFFICERETAIL WOULD EQUAL THE ADDITION OF 2 RESIDENTIAL UNITS.

**BICYCLE PARKING WILL BE PROVIDED PER CODE:**

- (a) RESIDENTIAL - 1 SHORT TERM SPACE PER 20 UNITS, NO LONG TERM REQUIRED.
- (b) OFFICE - LONG TERM - 1 SP / 40,000 SF; SHORT TERM - 5% OF AUTO SPACES REQUIRED FOR THE OFFICE USE.
- (c) RETAIL - LONG TERM - 1 SP / 10,000 SF; SHORT TERM - 1 SP / 40,000 SF.

18. THE ABANDONMENT PETITION #08-07 REQUEST TO REMOVE 31ST STREET FROM DEDICATION IS IN PROGRESS. ABANDONMENT APPROVAL MUST BE OBTAINED PRIOR TO CITY COUNCIL FINAL ACTION.

19. DEDICATION OF THE GREENWAY SHALL BE COORDINATED WITH STORMWATER SERVICES, PARKS AND RECREATION AND DURING THE DESIGN DEVELOPMENT OF FINAL PLANS FOR PHASE 2 OF THIS SITE. GREENWAY SHALL ENCOMPASS THE SWIM BUFFER PLUS 50% OF THE FEMA FLOODWAY MINUS ANY STORMWATER FACILITIES LOCATED IN THE FLOODWAY (AN APPROXIMATION IS BETWEEN 6 AC. AND 8 AC., FINAL DETERMINATION OF AREA WILL BE BASED ON FINAL DESIGN PLANS FOR PHASE 2 OF THIS DEVELOPMENT). GREENWAY SHALL NOT INCLUDE ANY AREAS REQUIRED FOR WATER QUALITY MEASURES INSTALLED WITHIN THE FLOODWAY, NOR SHALL IT INCLUDE ANY OPEN SPACE OR COMMON SPACE AREAS REQUIRED TO MEET THE DEVELOPMENT STANDARDS. GREENWAY DEDICATION WILL BE COORDINATED WITH LUESA; SVS; AND PARK AND RECREATION DEPT. AND WILL REQUIRE SUBMITTALS TO NC DENR PERMIT SECTION 401 AND US ARMY CORP OF ENGINEERS PERMIT SECTION 404 FOR COMPLIANCE WITH ASSOCIATED PERMITS AND APPROVALS. PATHS TO THE GREENWAY WILL BE PROVIDED AS SHOWN ON PLANS AND WILL CONNECT TO THE GREENWAY SYSTEM UPON COMPLETION OF THE GREENWAY BY PARKS AND RECREATION.

20. ALL FINISHED FLOOR ELEVATIONS WILL BE A MINIMUM OF 1' ABOVE THE FUTURE FEMA FLOODWAY ELEVATION.

**21. DELETED.**

22. CHARLOTTE DEPT. OF TRANSPORTATION HAS EXECUTED AN EASEMENT FOR THE ACCESS THROUGH THE MATHESON AVE. RIGHT OF WAY AND ISSUED A CONSTRUCTION EASEMENT FOR THE ACCESS THROUGH THE RIGHT OF WAY. THE EASEMENT FOR THE ACCESS SHALL BE TIED TO THE PROPERTY AND HAVE PERPETUAL RENEWALS. THE MAINTENANCE REQUIREMENTS SET FORTH IN THE EASEMENT SHALL BE PART OF THE PROPERTY OWNERS RESPONSIBILITIES.

23. PEDESTRIAN ACCESS WILL BE PROVIDED ALONG CHICK GODLEY RD. FROM MATHESON AVE. AND ALONG THE PRIVATE STREET INTO THE PROPOSED DEVELOPMENT, AS WELL AS TO THE GREENWAY, AS INDICATED ON THE ILLUSTRATIVE SITE PLAN, SHT. 3.

24. NO SIDEWALK WILL BE PROVIDED ALONG MATHESON AVE. DUE TO THE EXISTING GUARDRAIL AND THE EXTENSIVE SLOPE OUTSIDE OF THE GUARDRAIL. PER CITY CODE ARTICLE VI-SECTION 19-173 (b).

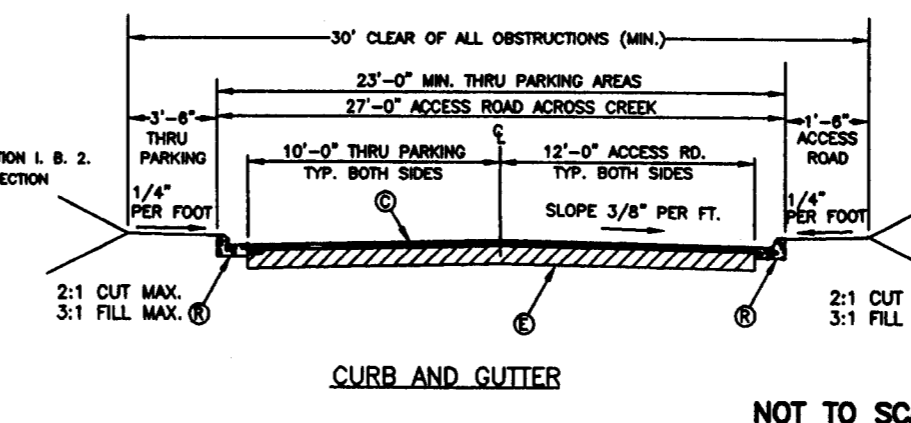
25. ALL PARKING AREAS FOR NEW OR SUBSTANTIALLY IMPROVED NON-SINGLE FAMILY HABITABLE BUILDINGS MUST BE AT AN ELEVATION SUCH THAT WATER DEPTHS WOULD BE LESS THAN 6" DEEP IN ANY PARKING SPACE DURING THE OCCURRENCE OF A COMMUNITY BASE FLOOD. (SECTION 9-102.1(2) OF CURRENT CITY OF CHARLOTTE ORDINANCE)

26. THE PRIVATE ACCESS ROAD MUST BE DESIGNED AND CONSTRUCTED TO ACCOMMODATE A 100 YR. FLOOD.

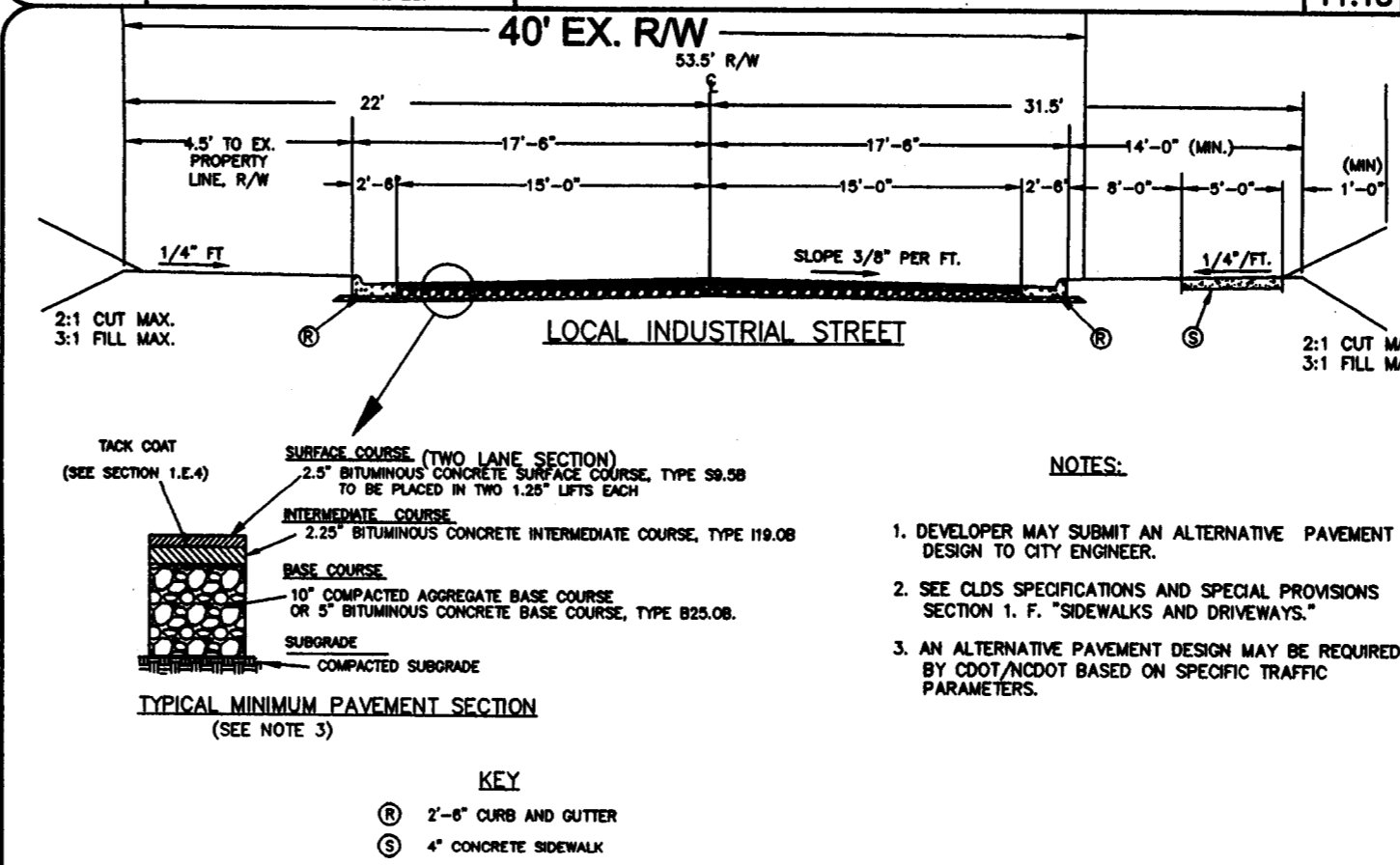
27. ILLUSTRATIVE BUILDING ELEVATION DEPICTS A 4 STORY PROPOSED BUILDING. PROPOSED BUILDINGS WILL BE 3 STORIES. RAILROAD ELEVATIONS WILL BE SIMILAR TO ILLUSTRATIVE BUILDING ELEVATION. ALL RESIDENTIAL BLDGS. WILL NOT HAVE STOREFRONTS AND WILL BE SIMILAR TO THE UPPER FLOORS. BUILDING MATERIALS AND FEATURES WILL BE SIMILAR TO THE ELEVATION USING BRICK AND OTHER MATERIALS.

**NOTES:**

1. DETAILS SHOWN SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY STANDARDS.
2. MINIMUM CURB RADIUS ON INTERIOR DRIVES AND PARKING AREAS IS 10'.
3. GUIDELINES FOR PRIVATE STREET DESIGN:
  - INTERNAL STREET ALIGNMENT: MINIMUM GRADE: 1.0% MINIMUM VERTICAL CURVE "M" VALUES: 10/20 (CREST/240) MINIMUM HORIZONTAL CURVE CENTRAL ANGLE: 30 FT.
  - INTERSECTION WITH PUBLIC STREET: SAME AS FOR PUBLIC STREET. SEE CLDS SPECIFICATIONS AND SPECIAL PROVISIONS NOTES SECTION 1. F. 2. THE MAXIMUM GRADE WITHIN 40 FEET OF PUBLIC STREET INTERSECTION BEGINNING FROM EDGE OF PAVED BIT. 1/4" PER FOOT.
- NOTE: VARIATIONS ON THESE GUIDELINES WILL BE REVIEWED ON A CASE BY CASE BASIS BY CITY STAFF.
- PAVEMENT SCHEDULE
  - 1.5" BITUMINOUS CONCRETE SURFACE COURSE, TYPE SPS-0A
  - 4" COMPACTED AGGREGATE BASE COURSE OR 4" BITUMINOUS CONCRETE BASE COURSE, TYPE BSS-0B
  - CURB AND GUTTER (REFERENCE 10.17A AND B)



**CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS**  
 SECTION CHARLOTTE 017  
**TYPICAL SECTIONS PRIVATE STREET**  
 11.13.1  
 NOT TO SCALE



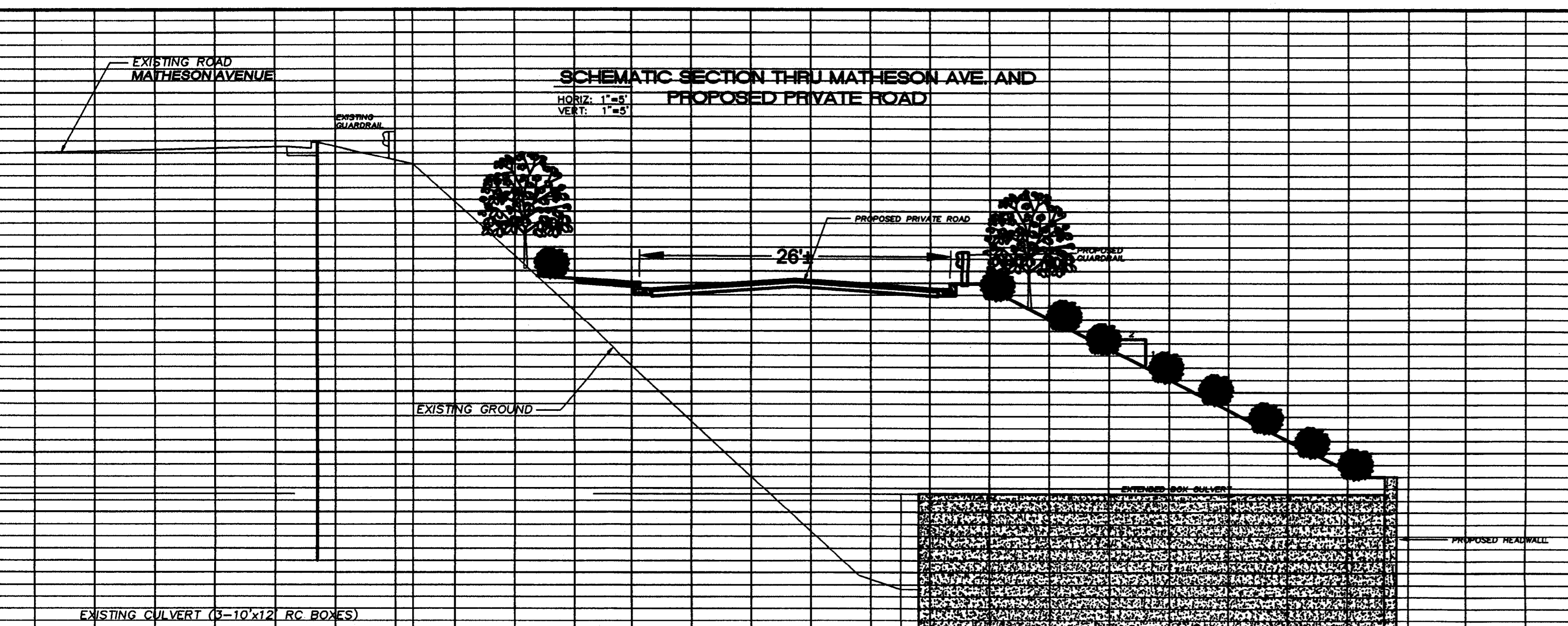
**CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS**  
 SECTION CHARLOTTE 017  
**TYPICAL MINIMUM PAVEMENT SECTION**  
 (SEE NOTE 3)  
 KEY  
 2'-6" CURB AND GUTTER  
 4" CONCRETE SIDEWALK  
 NOT TO SCALE

Any person entering a contract to purchase the subject development, or entering a lease that contains an option to purchase the subject development, will receive the following written disclosure statement or an alternate notice approved by Mecklenburg County Air Quality. Notice will be given prior to the time that the purchaser or lessee executes the contract or lease, as the case may be. In the event that the air pollution facilities identified below are no longer in business or are no longer required to hold air quality permits, disclosure will no longer be required.

**Identified Air Pollution Facilities:**

Facility:	Detrex Corporation
Address:	3114 Cullman Avenue, Charlotte, North Carolina
Description:	A solvent distribution and reclamation facility
Permitted Pollutants:	Volatile Organic Compounds
Compliance Status:	In compliance with regulatory requirements at last inspection in October, 2007.
Facility:	Parts Cleaning Technologies, LLC
Address:	3124 Cullman Avenue, Charlotte, NC
Description:	Parts cleaning facility
Permitted Pollutants:	Volatile Organic Compounds
Compliance Status:	In compliance with regulatory requirements at last inspection in October, 2007.

**Required Disclosure Statement:**  
 This property is located within 1000 feet of two industrial facilities that hold permits issued by Mecklenburg County Air Quality. For more information about specific permitted sources, please refer to the online Mecklenburg County Air Pollution Facility Database at <http://mplanweb.com/mecklenburg.nc.us/eplan/>, or call Mecklenburg County Air Quality at 704-336-5430.



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 NOV 17 2008

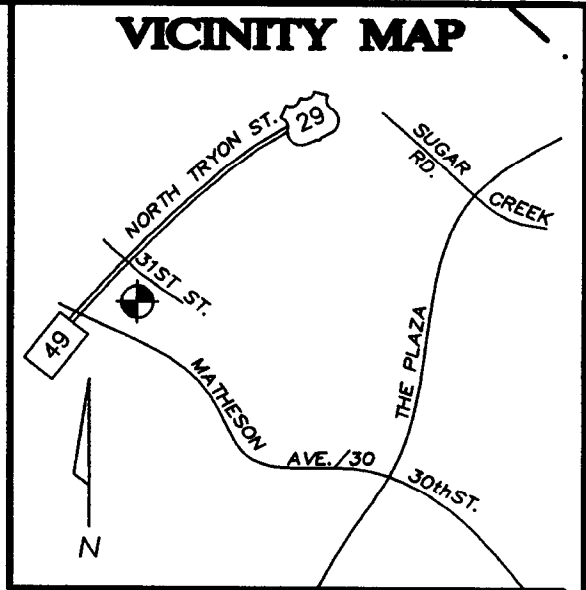
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 5950 Fairview Rd., Suite 100-Charlotte, NC 28210  
 (704) 553-9881 • Fax: (704) 553-9880

**MATHESON AVENUE/30th STREET**  
 CHICK GODLEY RD. AND DRIVEWAY ACCESS PLAN  
**TECHNICAL DATA SHEET NOTES**  
 PETITION NO. 2008-082

Project	WGF
Engineer	WGF
Drawn By	02/26/08
Date	
Revisions	
	Δ - REV PER CMPC
	Δ - REV PER CMPC 08-23-08
	Δ - REV PER CMPC 10-22-08
	Δ - ADDED AIR QUALITY NOTE 12-30-08
Project Number	433.004
Sheet	2 of 4

OWNER: FIRST INDUSTRIAL B & L, LLC  
 2420 Bank of America Plaza  
 Charlotte, NC 28280  
 (704) 376-9921



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 LAND PLANNERS

5950 Fairview Rd., Suite 100 Charlotte, NC 28210  
 (704) 553-8881 • Fax (704) 553-8880

**MATHESON AVENUE/30th STREET**  
 CHICK GODLEY RD. AND DRIVEWAY ACCESS PLAN

**ILLUSTRATIVE SITE PLAN**  
 PETITION NO. 2008-082

Project	WGF
Engineer	WGF
Drawn By	02/26/08
Date	
Revisions	
▲ - REV. PER CMPC	
▲ - REV. PER CMPC 09-23-08	
▲ - REV. PER CMPC 10-22-08	
▲ - ADDED AIR QUALITY NOTE 12-30-08	
Project Number	433.004
Sheet	of
3	4

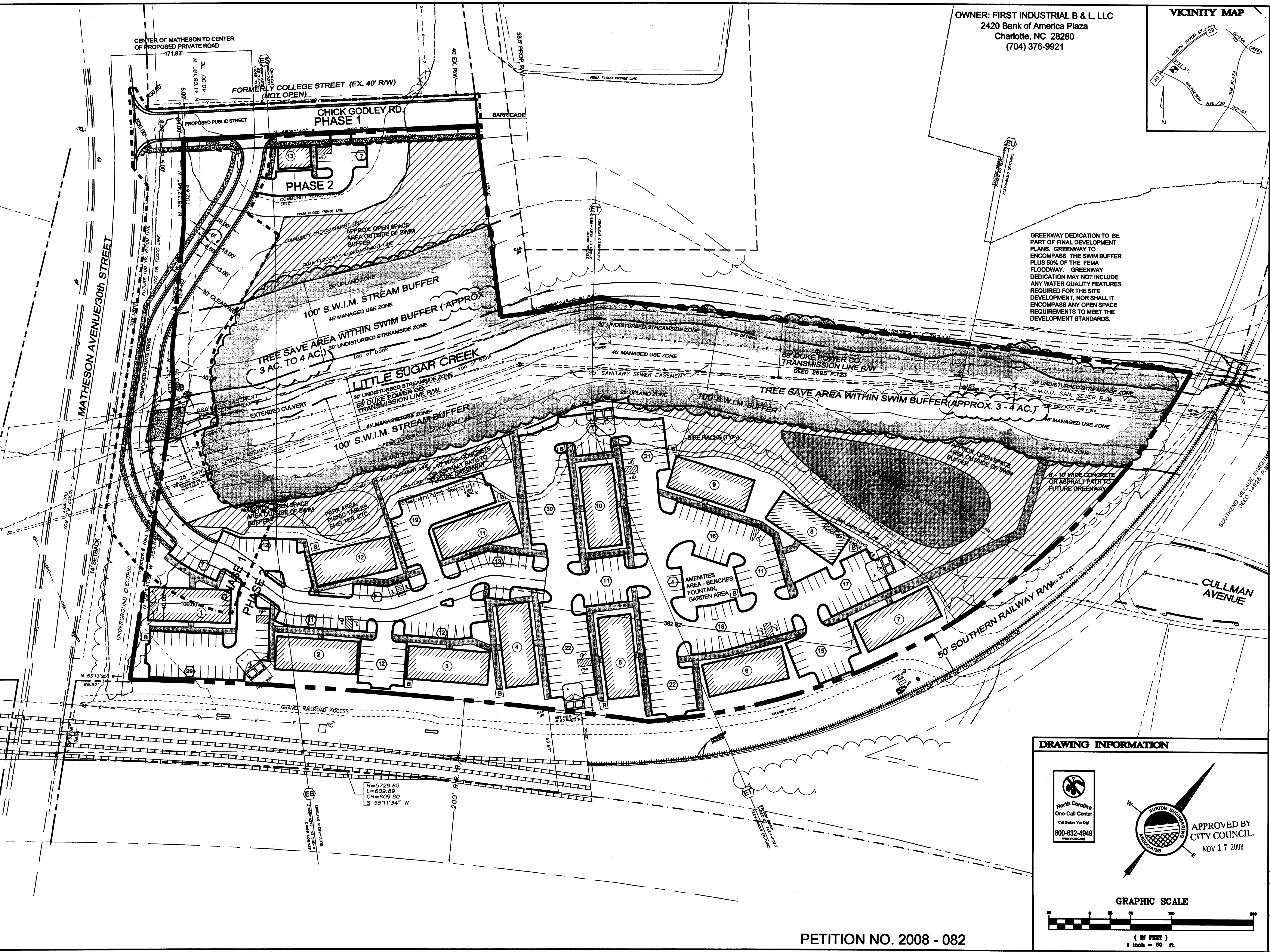
**DRAWING INFORMATION**

800-632-4949  
www.onecall.org

APPROVED BY  
 CITY COUNCIL  
 NOV 17 2008

**GRAPHIC SCALE**  
 ( IN FEET )  
 1 inch = 50 ft.

PETITION NO. 2008 - 082



GREENWAY DEDICATION TO BE PART OF FINAL DEVELOPMENT PLANS. GREENWAY TO ENCOMPASS THE SWIM BUFFER PLUS 50% OF THE FEMA FLOODWAY. GREENWAY DEDICATION MAY NOT INCLUDE ANY WATER QUALITY FEATURES REQUIRED FOR THE SITE DEVELOPMENT, NOR SHALL IT ENCOMPASS ANY OPEN SPACE REQUIREMENTS TO MEET THE DEVELOPMENT STANDARDS.

R=5729.65  
 L=609.89  
 CH=609.60  
 S 55°11'34" W