



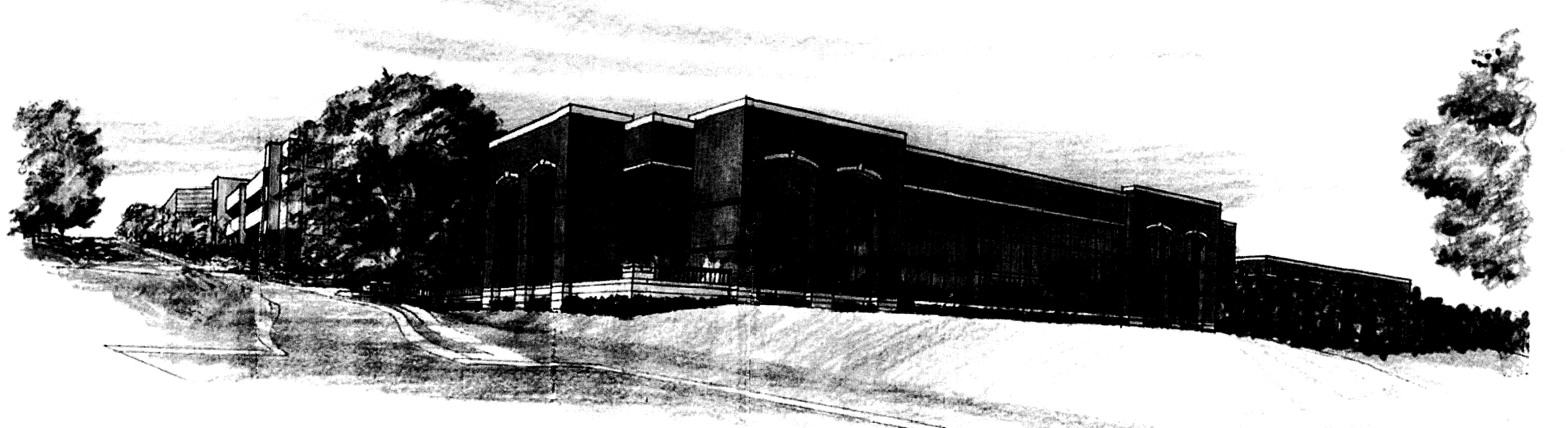
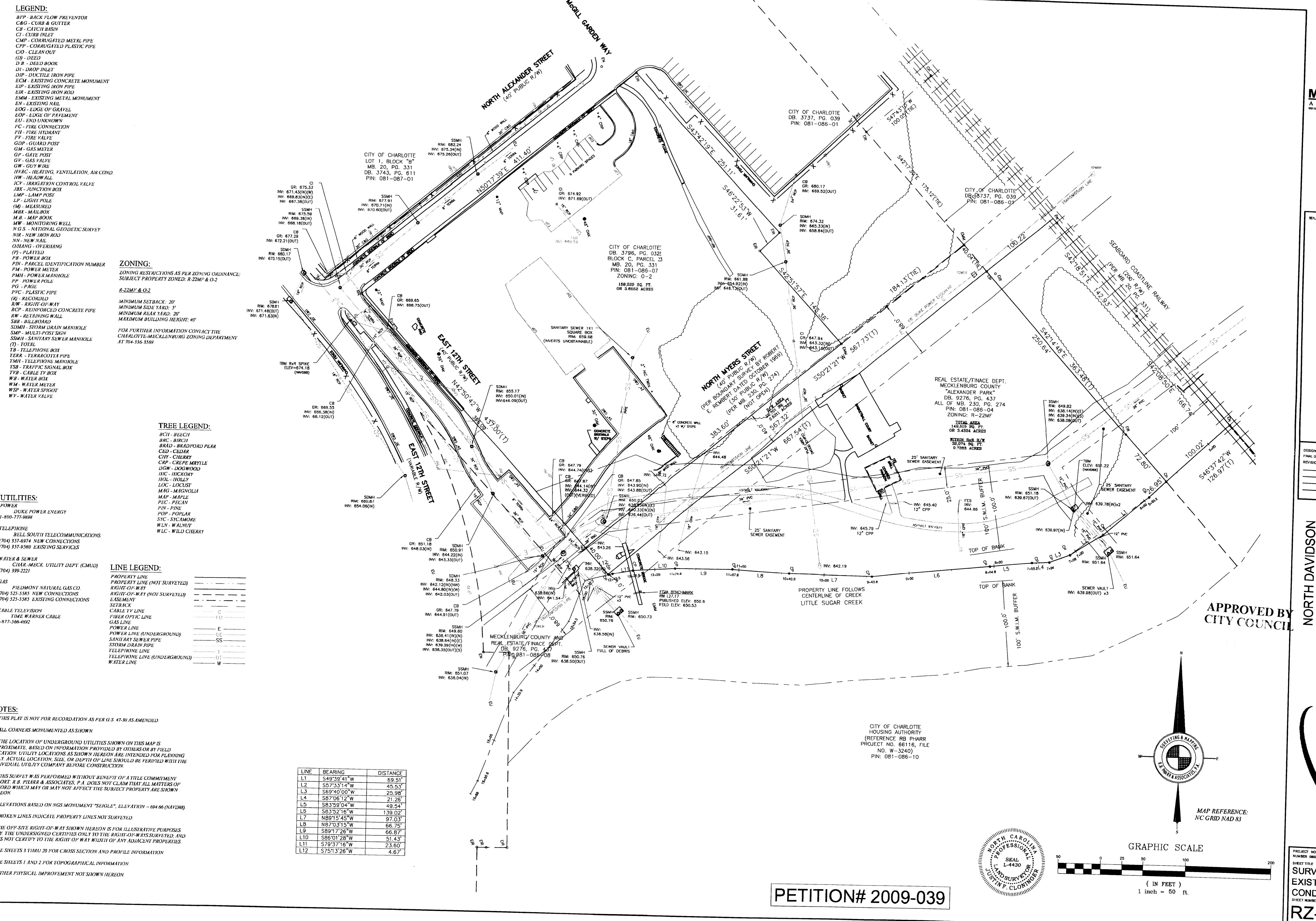
Morris-Berg ARCHITECTS

DATE	12/18/09
PROJECT	RT-224P
LOCATION	CHARLOTTE, NC
SCALE	AS SHOWN
DRAWN	
CHECKED	
APPROVED	

NORTH DAVIDSON
BOD FACILITY
RENOVATION AND
STS EXPANSION

CATS
CHARLOTTE AREA TRANSIT SYSTEM

PROJECT NORTH DAVIDSON
BOD FACILITY
RENOVATION AND
EXISTING
CONDITIONS
SHEET NUMBER
RZ-2
SHEET 2 OF 3



STS FACILITY facing north from Park

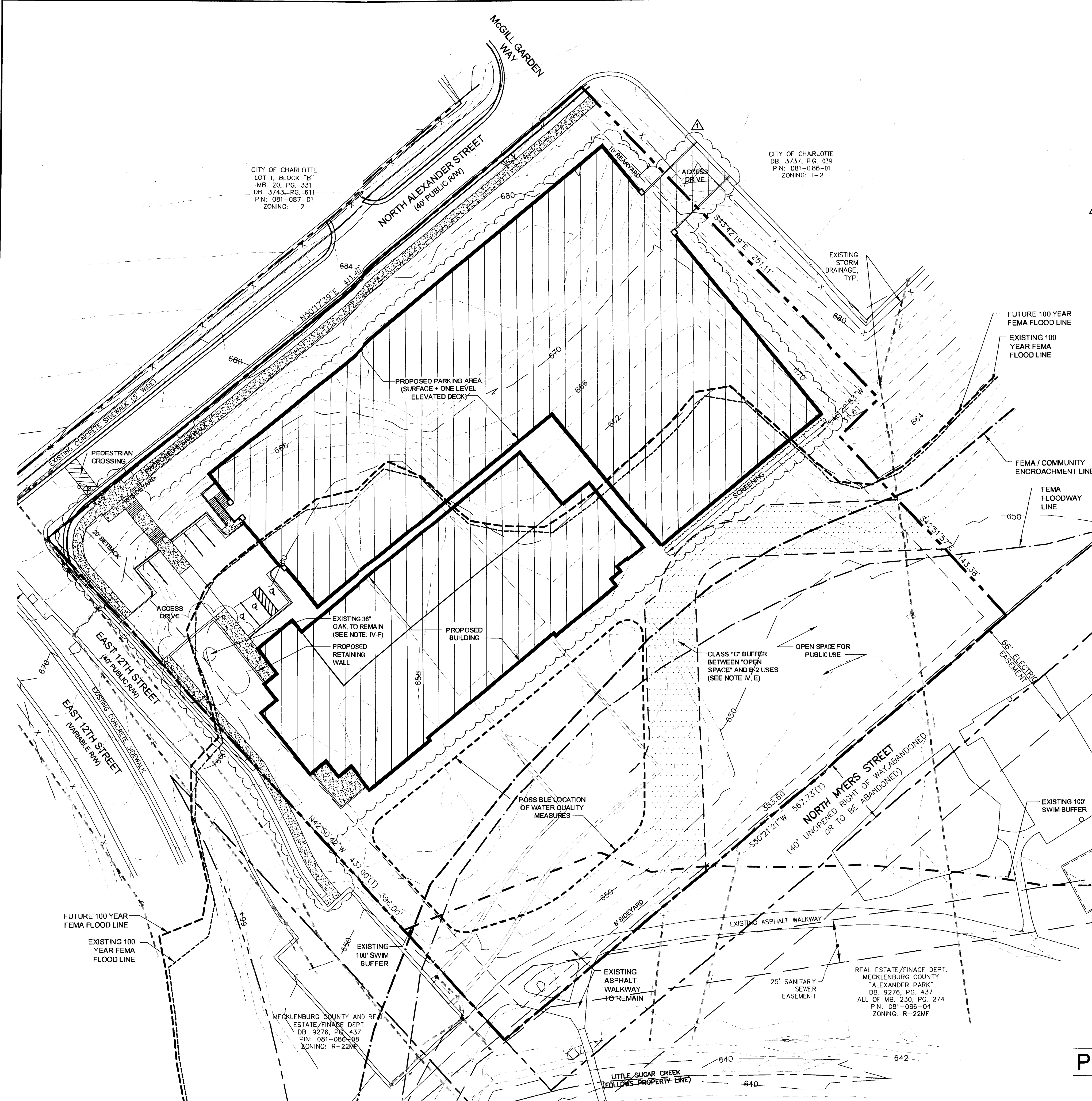
APPROVED BY
CITY COUNCIL



**NORTH DAVIDSON
BOD FACILITY
RENOVATION AND
STS EXPANSION**



Morris-Berg ARCHITECTS



DEVELOPMENT STANDARDS

I. General Commitment:
 A. These development standards form a part of the Rezoning Plan associated with rezoning petition filed by the Charlotte Area Transit System (CATS) to accommodate the development of an approximately 3.66 acre site at the corner of North Alexander Street and East 12th Street (hereinafter referred to as the "Site").

The development of the Site will be governed by the Rezoning Plan, these Development Standards, and the standards established under the City of Charlotte Zoning Ordinance (the "Ordinance") for the B-2 zoning district, unless more stringent standards are established by these development standards or this rezoning plan.

B. The configurations, placements and sizes of buildings and parking decks shown on this Rezoning Plan are schematic and conceptual in nature and may be altered and/or modified based upon the final design development and construction documents, and the site and topographical constraints. Any changes shall be subject to the terms and conditions set out by and in accordance with Section 6.207 of the Ordinance.

C. Site plan shows total development anticipated for this site. The site may be developed in phases such as: surface parking only, building without deck, etc.

D. Building shall be placed so that an "Office Insign" shall be facing public open space (park) and East 12th Street.

II. Permitted Uses:
 A. The Site may be devoted to the following uses: CATS (City of Charlotte) vehicle maintenance, CATS and related City office uses, surface and deck parking related to the CATS uses and related accessory uses. Also allowed will be publicly accessible open space use for the area closest to Sugar Creek as more particularly depicted on the Site Plan.

III. Setbacks and Yards:
 A. Development of the Site shall comply with the setback, height, and yard requirements of the B-2 zoning district.

IV. Landscaping and Screening and Buffering:
 A. Landscaping and screening shall, at a minimum, satisfy the requirements of Section 12.302, Section 12.303, and 12.304 of the Ordinance.
 B. Landscaping may be installed in stages in accordance with the Ordinance as the development is completed.
 C. Development of the Site will comply with the applicable provisions of the City of Charlotte Tree Ordinance in effect at the time of the approval of this rezoning petition.
 D. The business use shall be screened from the public open space use on this site and the adjacent street (hereinafter) by a 10' buffer. Due to the slope of the land and possible phasing of parking (surface, then deck) the location of planting for buffer purposes may be placed anywhere on the site between the uses, taking into account the future construction and best location to accomplish the buffer purpose (visual separation).
 E. Buffer width: Because this rezoned site and the existing I-2 zoning parking lot Northeast of the site will be used together, the buffer width is based upon the size of the "use" area calculated as follows:
 Site of the adjacent parking lot use up to railroad tracks: 1.9 AC.
 Area of this rezoned site after subtracting areas used for "public open space" as shown on plan: 3.2 AC.
 Total Area of Use: 5.1 AC.
 5.1 AC site requires a 30' wide buffer. Buffer width may be reduced 20% as allowed in section 12.302 (B) of the ordinance if screen fence and berm. The fence required or provided as part of deck construction will satisfy the screen fence requirement for buffer width reduction.
 F. Extra effort shall be made during design and construction to save existing 36" Oak near 12th Street entrance.

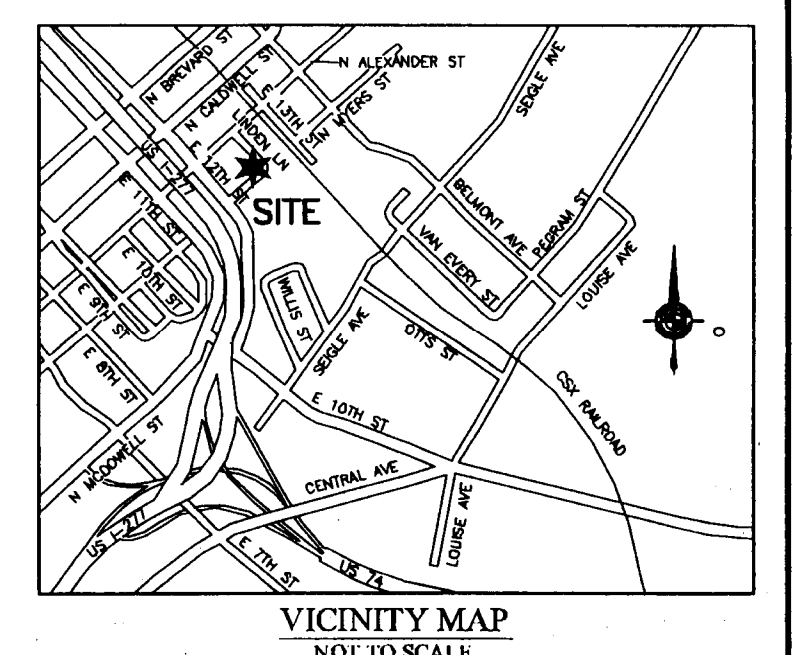
V. Architectural Commitments:
 A. The attached Architectural Conceptual Sketch of the building and parking structure (shown RZ-3) to be constructed on the Site depicts the general conceptual architectural style, character and elements of the various buildings. Changes and alterations which do not materially change the overall conceptual architectural style and character are permitted based upon the final design and construction drawings.
 B. Large exposures of wall exceeding 20' in length will be avoided through the introduction of Art in Transit elements, articulated facades, using various materials such as brick and other masonry products, stone, different colors of paint, glass windows, water table, and/or solar stone.

VI. Lighting:
 A. All exterior lighting fixtures (except street lights) shall be capped and fully shielded with full cutoff and the illumination downwardly directed so that direct illumination does not extend beyond the City-owned property.
 B. All free standing lighting fixtures to be installed within the Site shall have a maximum height of 30 feet, including its base.
 C. No "wall-pier" lighting will be allowed on buildings.

VI. Sidewalk:
 A. Along the Southeast side of North Alexander Street and along the Northeast side of "old" 12th Street, a 6' wide sidewalk shall be constructed behind a 4' wide planting strip measured from the back of curb. Walk shall be completed prior to occupancy of building and will not be required for the use of the site for surface parking only. The planting strip and sidewalk width (less than that recommended for the Urban Streets Design Guidelines) is necessary due to topographic constraints and building design considerations.

VI. Storm Water Management:
 A. Site will comply with Post Construction Controls Ordinance (PCCO).
 B. For the purpose of storm water detention for larger storms, the Petitioner shall comply with the City of Charlotte Storm Water Detention Ordinance, in effect at the time of approval of this petition.

VIII. Amendments to Rezoning Plan:
 A. Future amendments to the Rezoning Plan and these development standards may be applied for by the then Owner or Owners of the Site in accordance with the provisions of Chapter 6 of the Ordinance.



DEVELOPMENT DATA

TAX PARCEL NO.: 081-086-07
 TOTAL SITE AREA: 3.66 AC.
 EXIST. ZONING: O-2
 PROPOSED ZONING: B-2 (CD)
 MAXIMUM BUILDING AREA: 100,000 S.F.
 PARKING AREA: 110,000 S.F.

B-2(CD) STANDARDS

MIN. LOT SIZE: 9,000 S.F.
 MIN. LOT WIDTH: 50 FT.
 FRONT SETBACK: 20 FT.
 SIDE YARD: 8 FT. (10' ON CORNER)
 REAR YARD: 10 FT.

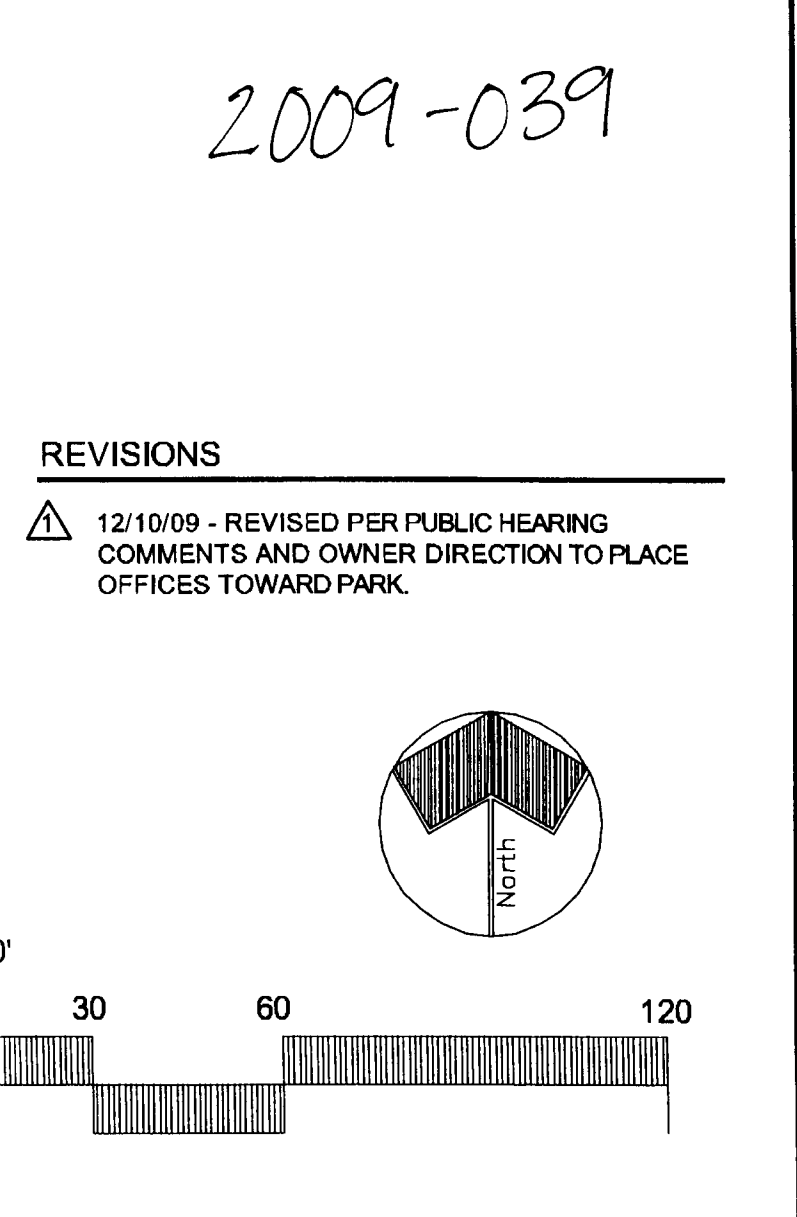
BOUNDARY SURVEY BY RB PHARR SURVEYING & MAPPING, DATED 06-06-08.

REVISIONS

12/10/09 - REVISED PER PUBLIC HEARING COMMENTS AND OWNER DIRECTION TO PLACE OFFICES TOWARD PARK

APPROVED BY CITY COUNCIL

2009-039



PETITION# 2009-039

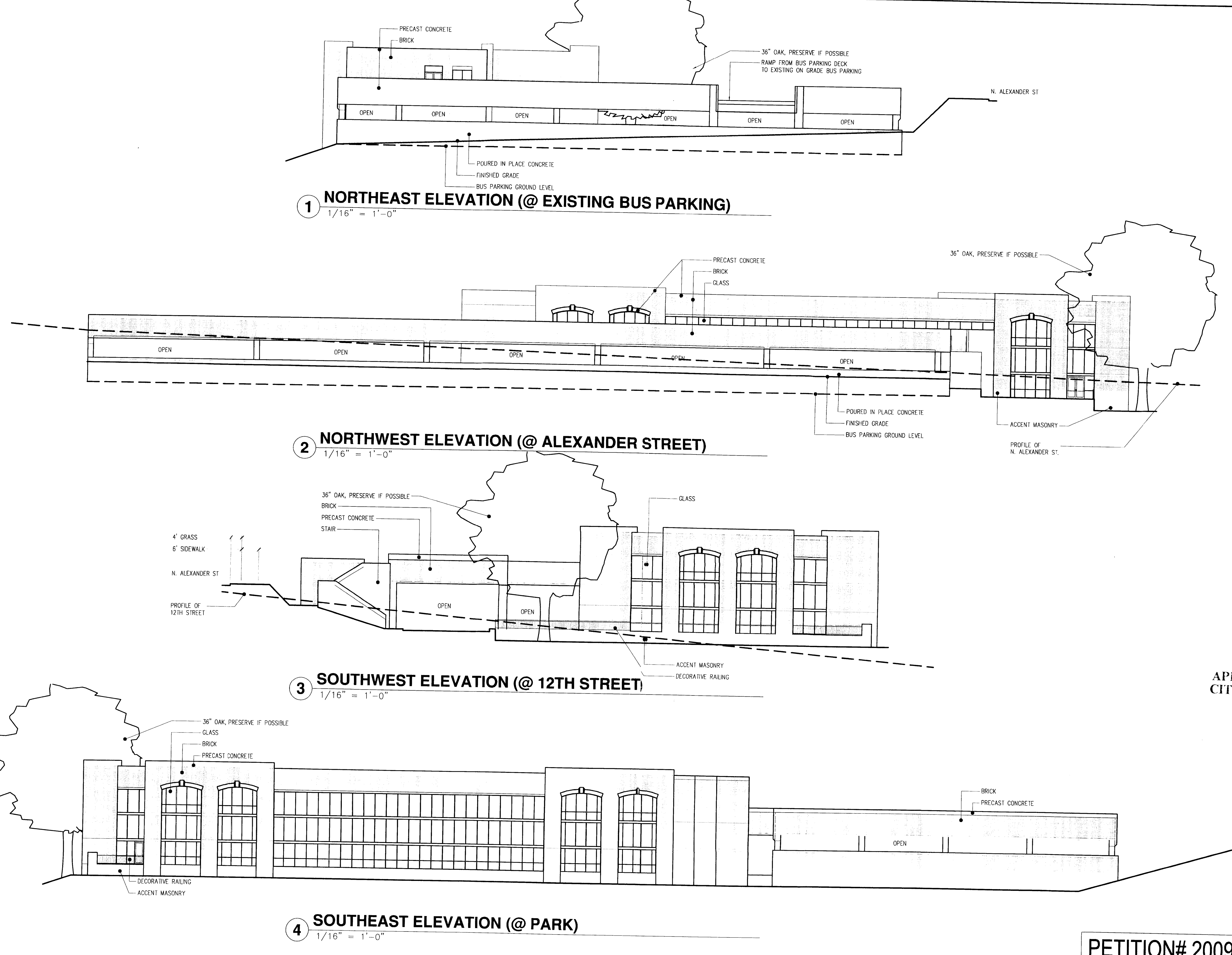
PP 100 YEARS

Morris-Berg ARCHITECTS

NORTH DAVIDSON BOB FACILITY RENOVATION AND STS EXPANSION

CATS CHARLOTTE AREA TRANSIT SYSTEM

PROJECT NUMBER: REZONING SITE PLAN
 SHEET NUMBER: RZ-1
 SHEET 1 OF 1



APPROVED BY CITY COUNCIL

PETITION# 2009-039

PP 100 YEARS

Morris-Berg ARCHITECTS

NORTH DAVIDSON BOB FACILITY RENOVATION AND STS EXPANSION

CATS CHARLOTTE AREA TRANSIT SYSTEM

PROJECT NUMBER: REZONING ELEVATIONS
 SHEET NUMBER: RZ-4
 SHEET 2 OF 2