

Charlotte-Mecklenburg Planning, Design, & Development

DATE: September 3, 2020

TO: Sonja Sanders FROM: Taiwo Jaiyeoba

Zoning Supervisor Planning Director

SUBJECT: Administrative Approval for Petition No. 2012-102 Eastway Holdings

Attached is the revised site plan for the petition above. This request allows the modification of the proposed site plan as listed below. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 <u>Alterations to Approval</u>, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

• To show the location of a proposed financial institutional use on the overall site plan.

Staff supports of the request because:

• The site plan complies with the conditional notes and still meets the intent of the original approval by the City Council.

Note: All other Zoning, Subdivision, Tree, PCSO Ordinances, conditional requirements and building codes still apply.

Signage was not reviewed as part of this request.

DEVELOPMENT STANDARDS dministrative Site Plan Amendment

GENERAL PROVISIONS

1. These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by Eastway Holdings, LLC to amend the approved B-1 SCD conditional rezoning plan for an approximately 21.50 acre site located on the southwest corner of the intersection of Eastway Drive and Central Avenue, which site is more particularly depicted on the Rezoning Plan (hereinafter referred to as the "Site").

2. The Site is comprised of Tax Parcel No. 129-091-22 and a portion of Tax Parcel No. 129-091-21.

- The Site is an approximately 21.50 acre portion of an approximately 30.5 acre site (the "Original Rezoning Site") that was rezoned to the B-1 SCD zoning district and the R-9 (CD) zoning district by the Charlotte City Council in 1990 pursuant to Rezoning Petition No. 1989-96. The purpose of this rezoning was to accommodate the development of a maximum 293,847 square foot shopping center with outparcels on the approximately 29.56 acre portion of the Original Rezoning Site that was rezoned to the B-1 SCD zoning district (the "Original B-1 SCD Rezoning Site"), and a shopping center currently known as Eastway Crossings is located on the Original B-1 SCD Rezoning Site. Pursuant to this Rezoning Petition, the Petitioner is requesting an amendment to the approved B-1 SCD conditional rezoning plan associated with Rezoning Petition No. 1989-96 relating to the Site to accommodate the potential redevelopment of portions of the Site as more particularly depicted on the Rezoning Plan. The requested amendment applies only to the Site and not to any other portions of the Original Rezoning Site.
- Except as otherwise provided herein, the existing use and development of the Site and any new development of the Site will be governed by the Rezoling Plan, these Development Standards and the applicable provisions of the City of Charlotte Zoning Ordinance in effect as of the date that Rezoning Petition No. 1989-96 was approved by the Charlotte City Council (the "1990 Ordinance"). Accordingly, the regulations established under the 1990 Ordinance for the B-1 SCD zoning district shall govern the existing use and development of the Site and any new development of the Site.
- 5. The development depicted on the Rezoning Plan is schematic in nature and intended to depict the general arrangement of uses and improvements on the Site. Accordingly, the configurations, placements and sizes of the building footprints as well as the parking areas and internal drive network depicted on the Rezoning Plan are schematic in nature and, subject to the terms of these Development Standards and the 1990 Ordinance, may be altered or modified during design development and construction document phases.

PERMITTED USES

1. The Site may be devoted to any uses allowed by right or under prescribed conditions in the B-1 SCD zoning district and to any incidental or accessory uses relating thereto that are permitted in the B-1 SCD zoning district.

DEVELOPMENT LIMITATIONS

2. Notwithstanding anything contained herein to the contrary, a maximum of two uses located on the Site may have accessory drive-thru windows. 1. Under the approved B-1 SCD conditional rezoning plan relating to Rezoning Petition No. 1989-96, a maximum of 293,847 square feet of gross floor

area was permitted to be developed on the entire Original B-1 SCD Rezoning Site.

2. Pursuant to this Rezoning Plan, a maximum of 225,753 square feet of gross floor area may be located on the Site.

Pursuant to this Rezoning Plan, the Petitioner may (but shall not be required to) demolish that existing building located on the no

Site that is designated as Building E on Demolition Inset A on the Rezoning Plan, and build a new maximum 16,500 square foot heestanding building "Proposed New Building E") in the location generally depicted on the Rezoning Plan. A South Start Star Pursuant to this Rezoning Plan, the Petitioner may build a new maximum 1,900 square foot freestanding building ("Proposed New Building I") on the

Site generally at the northwest corner of the intersection of Eastway Crossing Drive and Eastway Drive as generally depicted on the Rezoning Plan. 5. In the event that the construction of Proposed New Building E and/or the construction of Proposed New Building L would cause the total gross floor area on the Site to exceed 225,753 square feet of gross floor area, then the Pentioner will be required to demolish sisting gross floor area on the Site to reduce the total gross floor area on the Site to 225,753 square feet in order to obtain permits and approvals to build Proposed New Building E and/or

Proposed New Building E may have accessory drive-thru windows and it may be a single tenant building or a multi-tenant building

Proposed New Building I may have accessory drive-thru windows and it may be a single tenant building or a multi-tenant building.

That portion of the Site on which Proposed New Building I is proposed to be located may be subdivided from the Site such that Proposed New Building I is proposed to be located may be subdivided from the Site such that Proposed New Building I is proposed to be located may be subdivided from the Site such that Proposed New Building I is proposed to be located may be subdivided from the Site such that Proposed New Building I is proposed to be located may be subdivided from the Site such that Proposed New Building I is proposed to be located may be subdivided from the Site such that Proposed New Building I is proposed to be located may be subdivided from the Site such that Proposed New Building I is proposed to be located may be subdivided from the Site such that Proposed New Building I is proposed to be located may be subdivided from the Site such that Proposed New Building I is proposed to be located may be subdivided from the Site such that Proposed New Building I is proposed New Buil

Building I is located on a separate lot ("Proposed New Building I Parcel"). The property lines for Proposed New Building I Parcel depicted on the Rezoning Plan are illustrative and the final locations of the property lines shall be determined during the subdivision process. SETBACKS

1. Building setbacks shall be a minimum of 35 feet from all public streets, and a minimum of 25 feet from all other property lines, excluding property lines entirely internal to the Original B-1 SCD Rezoning Site.

Parking and vehicular circulation and maneuvering areas shall be setback a minimum of 20 feet from all public streets.

BUFFER AREAS

1. All development within the Site shall be subject to the buffer areas established by and depicted on the Rezoning Plan.

The buffer areas extending around the perimeter of the Site are to remain as open space, except to the extent necessary to accommodate pedestrian pathways access points, walks, berms, grading, storm water retention ponds, signs and graphics (as permitted by the Sign Ordinance), and drainage or utility construction. Grading may be performed and slopes and berms may be installed within buffer areas. All undisturbed buffer areas will be marked and protected during grading. The Petitioner reserves the right to clear and grub the undergrowth in undisturbed areas.

49,742 SF

(EXISTING BUILDING 'A1')

(B-D CD)

(EXISTING BUILDING 'A2' - INCLUDE GARDEN CENTER)

(B-1SCD SPA)

No building, roadway or parking lot may be placed within any buffer areas.

BUFFER AREA

B-D(CD) ZONING

— EXISTING R-9(CD) TO REMAIN

3. In all buffer areas, except retention pond areas, where existing trees and natural vegetation have been cleared to accommodate walls, berms, grading, signs, graphics, and the installation of utility construction, the cleared unimproved areas will be landscaped and grassed in accordance with the program specified on the Rezoning Plan.

MAXIMUM BUILDING HEIGHT No structure constructed on the Site may exceed one story and its height may not exceed 40 feet above average grade

1. Adequate fire protection in the form of fire hydrants will be provided to the Charlotte Fire Marshal's specifications. Plans for each building will be submitted to the Fire Marshall's office for approval before the construction of any building commences.

2. Fire hydrants shall be installed so that a fire truck does not have to travel more than 500 feet to the most remotely accessible point of all buildings. ACCESS POINTS (DRIVEWAYS)/RIGHT OF WAY DEDICATION

Three of the existing driveways into the Site (designated as driveways 2, 3 and 4 on the Rezoning Plan) will be eliminated in the event that Proposed New Building Elis constructed on the Site. These existing driveways must be eliminated prior to the issuance of a certificate of occupancy for Proposed New Building E.

2. The configuration of driveways and access points within the Site are subject to minor shifts and other modifications that may be required to accommodate final site engineering and construction plans and designs and are further subject to approval by the North Carolina Department of Transportation and the Charlotte Department of Transportation.

Prior to the issuance of a certificate of occupancy for Proposed New Building E. Petitioner shall dedicate and convey to the City of Charlotte right of way on the Site located on the southwest quadrant of the intersection of Central Avenue and Eastway Drive as follows:

(a) An area in size of 12 feet by 115 feet on Central Avenue; and

(b) An area in size of 19 feet by 125 feet on Eastway Drive. This right of way area is generally depicted on the Rezoning Plan

1. The parking areas depicted on this Rezoning Plan may vary. The number of off-street parking spaces required to be provided on the Site shall meet the requirements of the City of Charlotte Zoning Ord

effect as of the date of the approval of this administrative site plan amendment (the "Current Ordinance"). (3.) No parking shall be permitted within the designated buffer areas.

Prior to the issuance of a certificate of occupancy for Proposed New Building E. Petitioner shall provide a bus shelter pad at a location to be determined with CATS along the Site's frontage on Central Avenue.

CATS along the Site's frontage on Central Avenue. LANDSCAPING AND SCREENING

Buffering and/or screening shall conform to the standards and treatments specified on this Rezoning Plan and, in all instances, shall meet or exceed the requirements of the 1990 Ordinance. New trees planted within each designated buffer area shall be a minimum of 2 inches in caliper and 8 feet in height at planting. Shrubs planted within each designated buffer area shall be a minimum of 3 feet in height or 4 gallon plants at planting.

2. Landscaping areas within the Site will be planted and improved in sequences which are keyed to the development taking place in phases.

All dumpsters and service areas will be screened from public streets and from adjacent properties. 4. All landscaping will comply with the City of Charlotte Tree Ordinance effective as of the date of the approval of Rezoning Petition No. 1989-96.

5. Petitioner agrees to provide an irrigation system servicing the berm area behind the new development. In addition, Petitioner agrees to provide reasonable maintenance of this berm area.

ned herein to the contrary, parking and vehicular circulation and maneuvering areas associated with Proposed Ne Building E or Proposed New Building I will be screened in accordance with the requirements of the Current Ordinance rather than the 1990 Ordinance. ARCHITECTURAL CONTROLS

1. The Petitioner intends to achieve compatibility of visual aesthetics and architectural design of buildings constructed within the Site through the use of one or a combination of color, material, texture, architectural facades, rooflines, building mass, scale and similar criteria.

2. The rear of the shopping center is to be painted with a finish material compatible with the appearance of the front and side elevations of the center.

LIGHTING 1. A uniform lighting system will be employed throughout the Site.

2. All direct lighting will be designed in a manner that minimizes glare toward adjacent streets and properties.

All site lighting installed on the Site after the approval of this site plan amendment shall be "full-cut off" type fixtures. Light trespass shields shall be used on site lighting installed after the approval of this site plan amendment to avoid light spill across property lines. No new flood lights or unshielded wall-pack type lighting may be installed on the Site after the approval of this site plan amendment.

1. No more than two project identification signs may be erected on the Site.

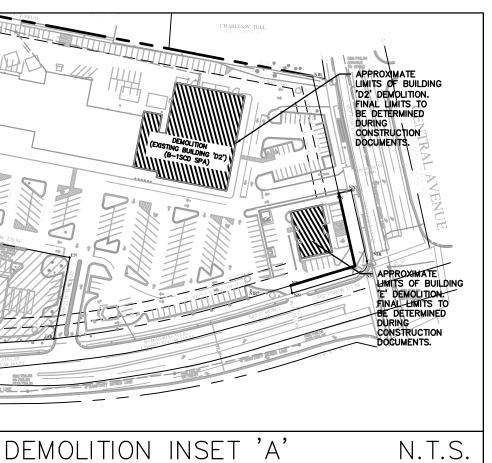
2. All signs shall conform to the City of Charlotte Sign Ordinance.

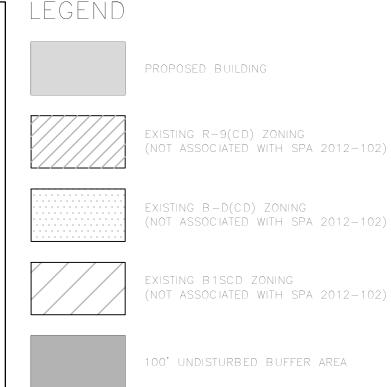
New development occurring on the Site shall comply with the Charlotte City Council approved Post Construction Controls Ordinance.

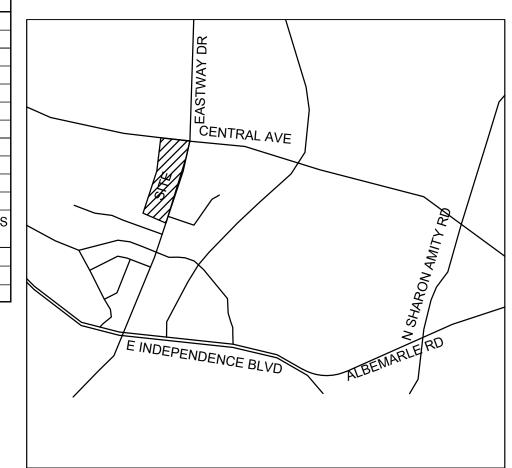
EASTWAY DRIVE

ADJACENT PROPERTY OWNERS

PROPERTY	PARCEL	OWNER	ADDRESS
1	12909144	DOUGLAS FRANKSSON SHERIDAN AND PATRICIA FALKNER	1452 CAROLYN DR CHARLOTTE, NC 28205
2	12909143	JAMES WEDDINGTON AND BLAIR HOPPER WEDDINGTON	1458 CAROLYN DR CHARLOTTE, NC 28205
3	12909142	WILLIAM EDWARD JR IVEY	1466 CAROLYN DR CHARLOTTE, NC 28205
4	12909141	JAMES LAMARR JR DRUMM AND EDWARD GRANT CURTIS JR	1476 CAROLYN DR CHARLOTTE, NC 28205
5	12909140	JOHN R JR ASBURY AND CAROL W	1482 CAROLYN DR CHARLOTTE, NC 28205
6	12909139	CAROL ASBURY	1490 CAROLYN DR CHARLOTTE, NC 28205
7	12909138	MARVIN P FRANCIS AND MARCIA C FRANCIS	3621 THACKERY LN CHARLOTTE, NC 28205
8	12909136	JUSTIN L MALLETTE AND LAUREN MALLETTE	1510 CAROLYN DR CHARLOTTE, NC 28205
9	12909135	ROBERT ALLEN RIGGSBEE	1518 CAROLYN DR CHARLOTTE, NC 28205
10	12909127	PROJECT 658 INC	3646 CENTRAL AVENUE CHARLOTTE, NC 28205
11	12909158	SAVVY INVESTMENT GROUP LLC	PO BOX 30336 CHARLOTTE, NC 28236
			ROZABELLA 6 EDIFICIO PARIS 1 PLANTA OFICINA 7 LAS
12	12909163	3058 EASTWAY DRIVE LLC	ROZAS MADRID 28290
13	12909162	% THOMAS B MORRIS-SR FIRST-CITIZENS BANK & TRUST CO	16 EAST ROWAN ST RALEIGH, NC 27609
14	12909121	EASTWAY II HOLDINGS LLC	PO BOX 36799 CHARLOTTE, NC 28236
15	12909164	QUICKTRIP CORPORATION	PO BOX 3475 TULSA OK 74101
_	_		







VICINITY MAP

PETITIONER:

EASTWAY HOLDINGS, LLC P.O. BOX 36799 CHARLOTTE, NORTH CAROLINA 28236

TAX PARCEL #: 12909122/12909121(PORTION OF)

PROPOSED ZONING: B-1SCD SPA

MAX. BUILDING HEIGHT: 40 FEET, AS DEFINED BY THE ORDINANCE

EX. BUILDING (A1) SF (B-D): ± 49,742 SF EX. BUILDING (F,G,H*) SF (B-1SCD): ± 18,352 SF EX. BUILDING (A2,B,C,D1,D2,E) SF (B-1SCD SPA)**: ±212,654 SF

TOTAL EX. BUILDING SF ON-SITE: ±280,748 SF

APPROVED SITE PLAN AMENDMENT 1989-096. **THE B-1SCD SPA BUILDING SQUARE FOOTAGE IS THE EXISTING BUILDING SQUARE FOOTAGE WITHIN THE SITE PLAN AMENDMENT PETITION 2012-102. THIS SQUARE FOOTAGE ALSO INCLUDES BUILDINGS D2, AND/OR E TO BE DEMOLISHED (EXTENTS OF DEMOLITION TO BE DETERMINED SEE DEVELOPMENT LIMITATION

EX. BUILDING (A2,B,C,D1,D2,E) SF: ±212,654 SF PR. BUILDING ADDITION (PR. A): ± 16,500 SF PR. BUILDING ADDITION (PR. I): ± 1,900 SF ±225,753 SF

N.T.S.

ACREAGE:

EXISTING ZONING: B-1SCD

EXISTING USES: COMMERCIAL / RETAIL PROPOSED USE: COMMERCIAL / RETAIL

SEE DEVELOPMENT NOTES - PARKING, NOTE 2 - FOR PARKING RATIO.

EXISTING DEVELOPMENT SUMMARY:

35' SETBACK

BY CDOT AND NCDOT.

BEFORE THE PROPOSED NEW BUILDING 'E' CERTIFICATE OF OCCUPANCY IS

AVENUE AND EXISTING BUILDING F. THE LOCATION OF DRIVEWAY #5 WILL

BE DETERMINED IN THE CONSTRUCTION PERMITTING PHASE AND APPROVED

ISSUED, ONLY ONE DRIVEWAY WILL BE PERMITTED BETWEEN CENTRAL

*10.000 SF IS TO BE RESERVED FOR OUTPARCEL H BASED ON ORIGINAL

NOTE 3). REFER TO DEMOLITION INSET 'A' FOR APPROXIMATE MINIMUM LIMITS. PROPOSED DEVELOPMENT SUMMARY (B-1SCD SPA):

Revised

Attached to Administrative Approval

ColeJenest

Shaping the Environment

Realizing the Possibilities

200 South Tryon Street, Suite 1400

p+ 704 376 1555 f+ 704 376 7851

HOLDINGS, LLC.

Charlotte, North Carolina 28202

url+ www.coleieneststone.com

EASTWAY

North Carolina 28236

EASTWAY

North Carolina 28284

SITE PLAN

PETITION # 2012-102

ACCELA RECORD RZAAMI-2020-00032

REVIEW

Project No.

Issued

08/19/2020

FOR ADMINISTRATIVE

CROSSINGS II

EASTWAY RD/CENTRAL AVE

PO BOX 36799

Charlotte

Charlotte

Landscape Architecture

& Stone

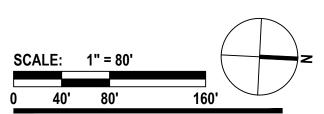
Land Planning

Civil Engineering

Urban Design

July A. Foots \$F Solomon A. Fortune

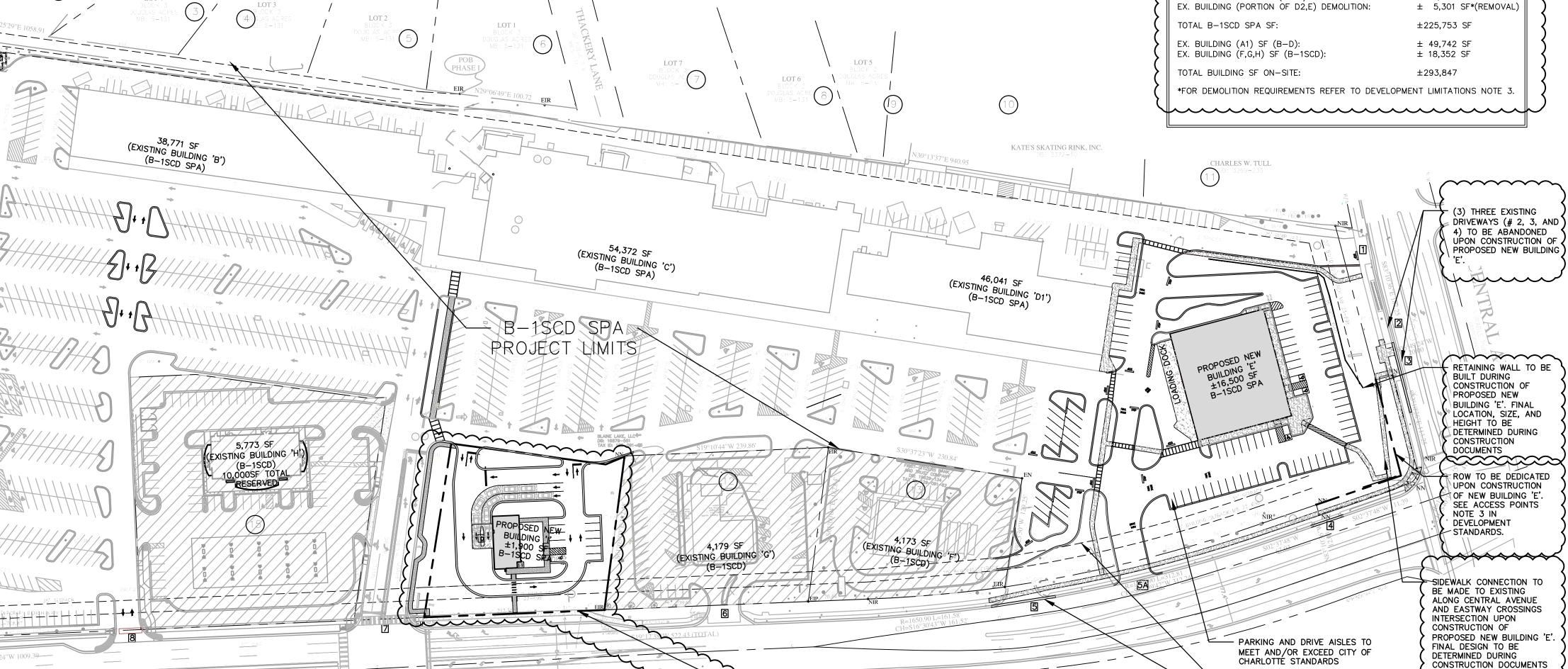




SPA1.0

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STANDARDS.

- NEW BUILDING "I" PARCEL. DEVELOPMENT OF

PARCEL TO COMPLY WITH CURRENT ZONING



Charlotte-Mecklenburg Planning Department

DATE: September 3, 2020

TO: Sonja Sanders FROM: Taiwo Jaiyeoba

Zoning Supervisor Planning Director

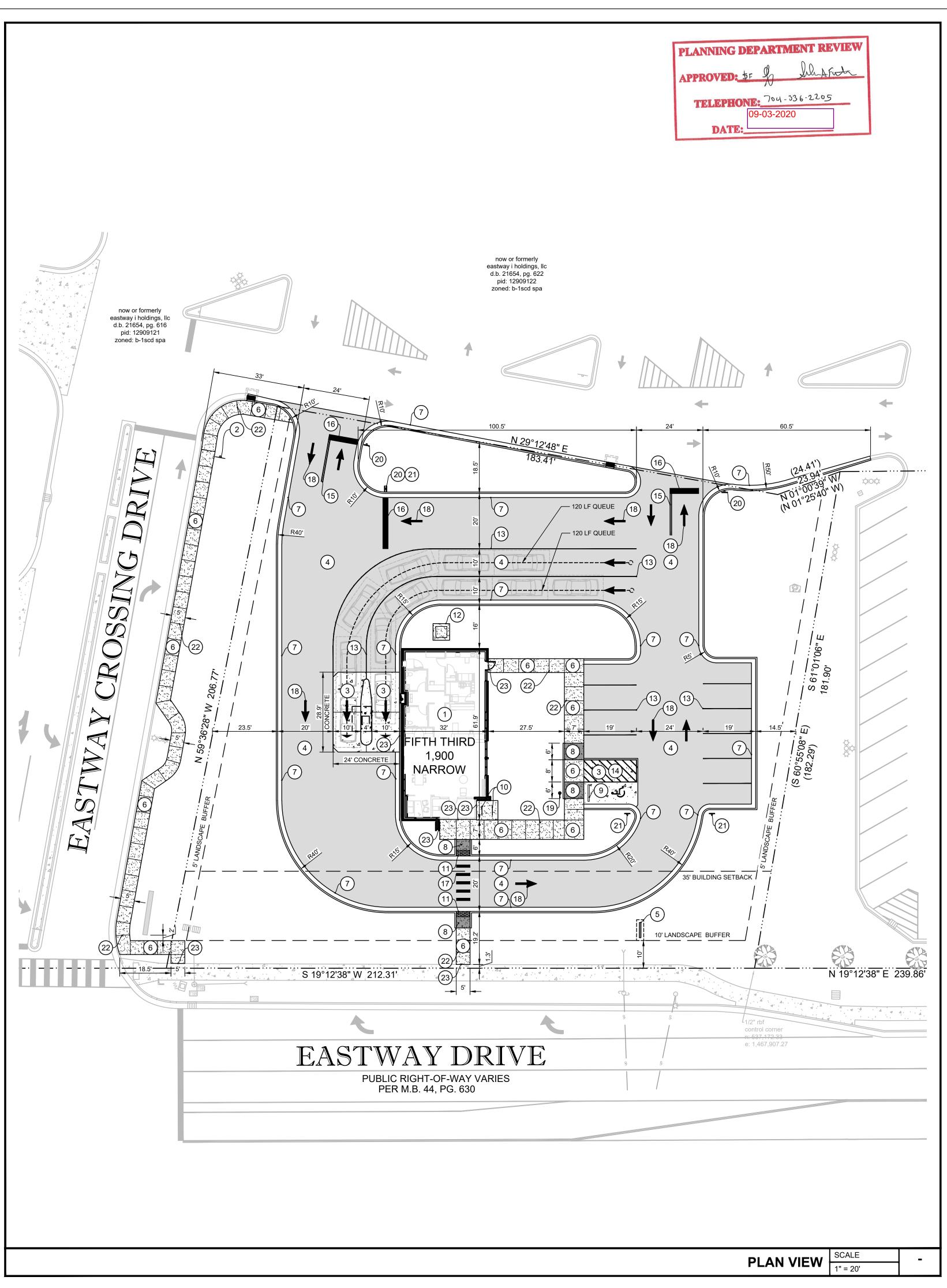
SUBJECT: Site Review Petition: 2012-102 Eastway Holdings

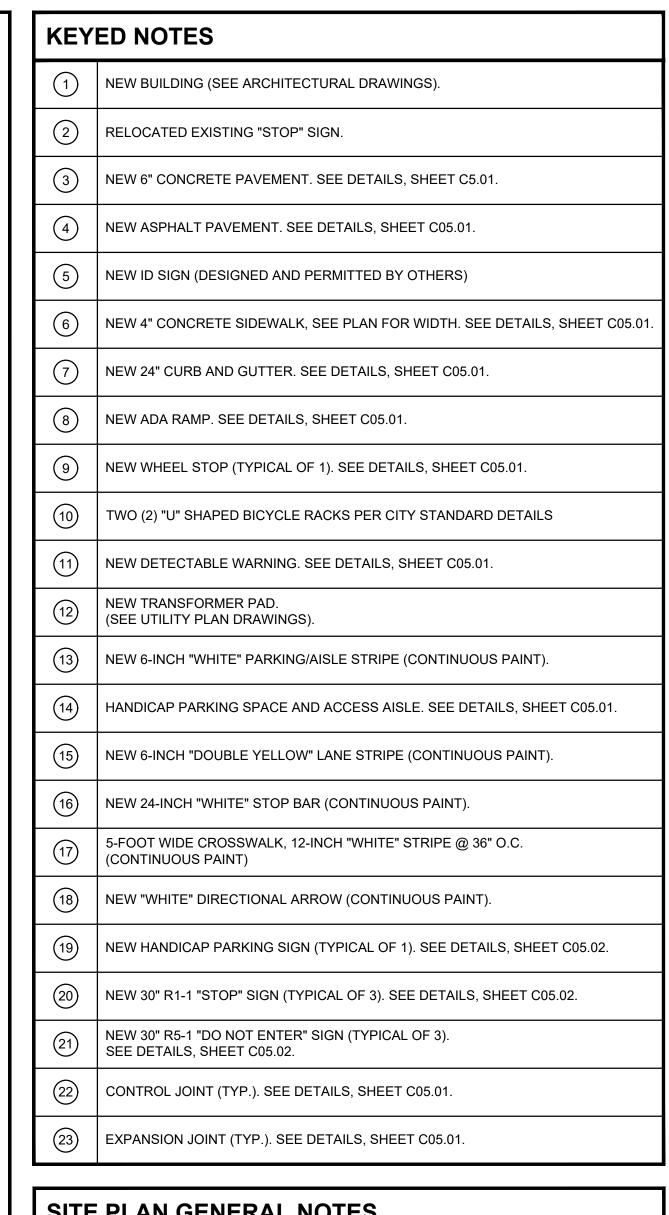
Attached is the proposed site plan for the petition above.

- Site Layout (Fifth Third Bank)
- Landscaping Plan
- Elevations

Note: A full zoning review was not completed. Setbacks, Screening and all other Zoning, Subdivision, Tree Ordinances, conditional requirements and Building Codes still apply and will be reviewed during the City / County Land Development Review processes.

Signage was note reviewed as part of this request.





SITE PLAN GENERAL NOTES

- 1. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB. BUILDING DIMENSIONS ARE TO FACE OF BUILDING.
- 2. EXISTING IMPROVEMENTS SHOWN ARE TAKEN FROM BOUNDARY & TOPOGRAPHIC SURVEY.
- 3. BUILDING AND SIDEWALK DIMENSIONS ARE TO OUTSIDE EDGE OF WALL
- ALL TIES TO THE PROPERTY LINE ARE BASED ON THE BOUNDARY & TOPOGRAPHIC SURVEY.
- 5. ALL CURB RADIUS ARE 3' UNLESS OTHERWISE NOTED

LANDSCAPE NOTE

- CONTRACTOR TO RE-GRADE SURROUNDING GRADE ELEVATION AND RE-SOD AS NEED TO MEET PROPOSED TOP OF SIDEWALK ELEVATIONS.
- CONTRACTOR SHALL REPLACE ALL DISTURBED LANDSCAPING TO MATCH EXISTING.
- CONTRACTOR SHALL TIE INTO EXISTING IRRIGATION SYSTEM AND EXTEND NEW DRIP IRRIGATION AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.

LEGEND PROPERTY LINE _____ ____ ____ EXISTING CONCRETE TO REMAIN EXISTING TO REMAIN PROPOSED CONCRETE LESS THAN 6" PROPOSED CONCRETE 6" OR GREATER NEW ASPHALT PAVEMENT

SETBACK/BUFFER

PROPOSED CURB

| SITE DATA

SITE ADDRESS: 3042 EASTWAY DRIVE CHARLOTTE, NC 28205 PORTION OF 12909122 BUILDING AREA: 1,900 SF BUILDING B-1S CD **EXISTING ZONING:** EXISTING USE: PARKING LOT

BANK WITH DRIVE THRU FUTURE USE:

BANK PARKING REQUIRED: 1 SPACE PER 200 SF OF G.F.A. 1,900 SF x (1 / 200 SF) = 10 SPACES

TOTAL PARKING PROVIDED: STANDARD PARKING = 10 SPACES HANDICAP PARKING = 1 SPACES TOTAL PARKING PROVIDED = 11 SPACES

PARKING SPACE SIZE: 9' x 18.5' MINIMUM DRIVE THROUGH QUEUE: 6 SPACES PER WINDOW

LOADING ZONE:

*NOTE-FINANCIAL INSTITUTIONS DO NOT USE LOADING ZONES FOR SECURITY PURPOSES DELIVERY TRUCK WILL PARK DIRECTLY IN FRONT

OF MAIN ENTRANCE.

LANDSCAPE REQUIREMENTS

REQUIRED LANDSCAPE BUFFER - FRONT (EASTWAY DRIVE, SOUTH) =10' LANDSCAPE BUFFER - SIDE (EASTWAY CROSSING DRIVE, WEST) = 5' LANDSCAPE BUFFER - SIDE (EAST) = 5'

BUILDING REQUIREMENTS: REQUIRED BUILDING SETBACK - FRONT (EASTWAY DRIVE, SOUTH) = 35' BUILDING SETBACK - SIDE (EASTWAY CROSSING DRIVE, WEST) = 0'

BICYCLE PARKING REQUIRED

SHORT-TERM 1 SPACE MINIMUM

BUILDING SETBACK - SIDE (EAST)

FLOOD ZONE:

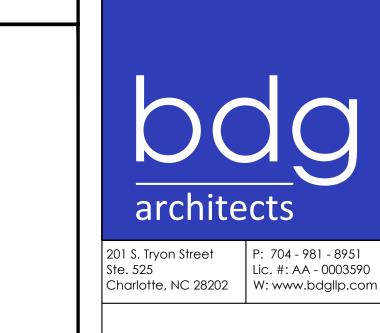
THIS PROPERTY IS LOCATED IN ZONE 'X'. F.E.M.A FLOOD INSURANCE RATE MAP NUMBER 3710456300K, DATED

LANDSCAPE BUFFER - REAR (ACCESS DRIVE, NORTH)

BUILDING SETBACK - REAR (ACCESS DRIVE, NORTH)

SITE AREAS

SIIE AREAS			
AREAS	SQUARE FEET (SF)	ACRE (AC)	PERCENT %
GROSS SITE	38,995	0.90	100.00%
BUILDING (FLOOR AREA RATIO)	1,900	0.04	4.87%
VEHICULAR USE (INCL. CURBLINE)	18,431	0.42	47.27%
SIDE WALK / PATIO	1,406	0.03	3.61%
WET POND (IMPERVIOUS)	0	0.000	0.00%
TOTAL IMPERVIOUS	21,737	0.50	56%
TOTAL PERVIOUS (LS + DRY POND AREA)	17,258	0.40	44%





Lic. #: AA - 0003590



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1336 Harding Place Charlotte, NC 28204

[p]: 813.434.4770 [f]: 813.445.4211 www.iegroup.net NC Firm Certificate No. P-1836

IEG JOB NO. 15-132.00

= 0'

NISIT SAPPARKHAO, P.E. NC REG. NO. 38066

DATE

ISSUE	BY	DATE	DESCRIPTION	
		XX.XX.XX	ISSUE FOR REVIEW	
PROJECT INFORMATION BLOCK				
JOB # 193457				
DATE:			03/23/2020	

CHECKED BY: SHEET TITLE

DRAWN BY:

SITE PLAN

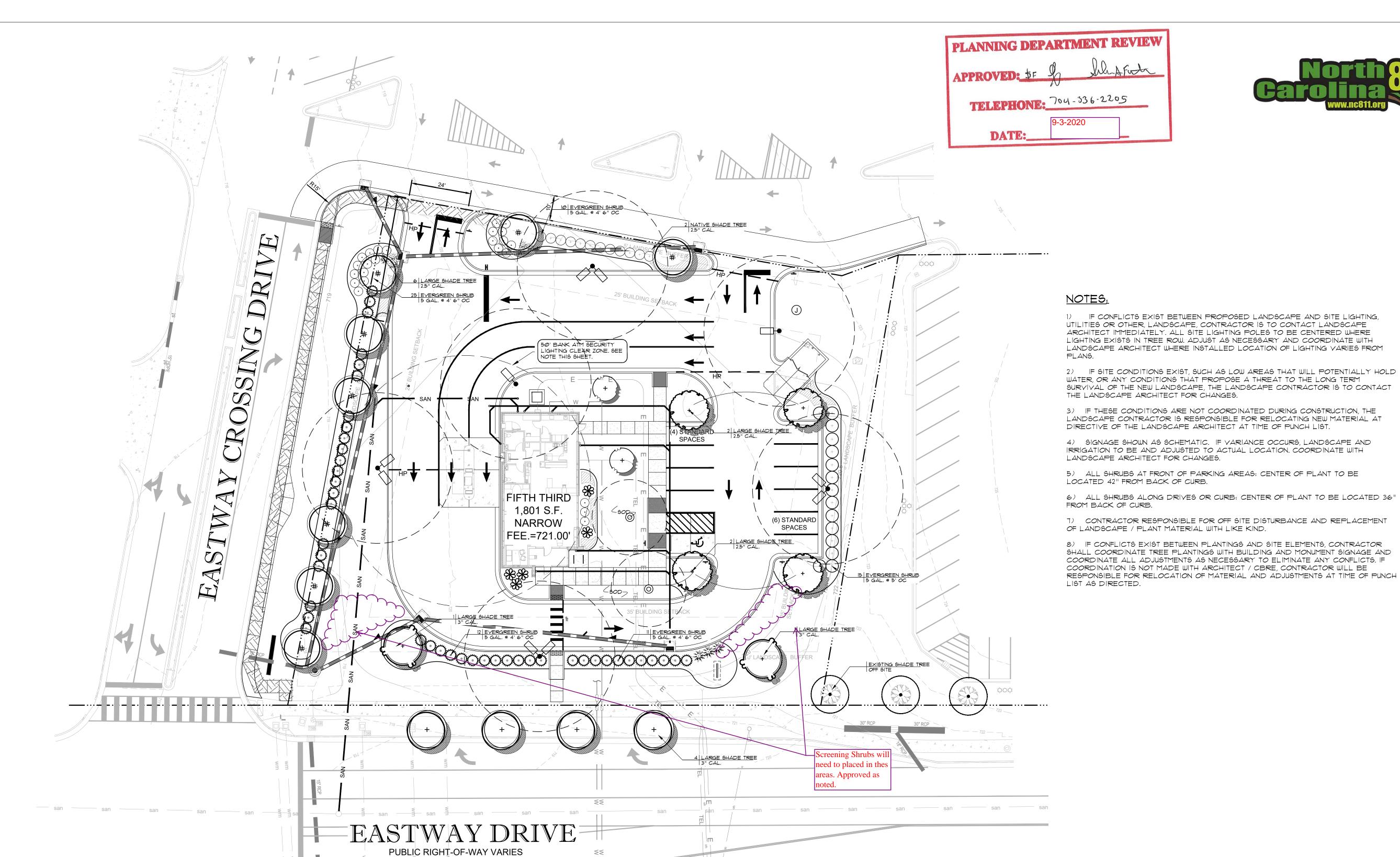
SHEET NUMBER

60 '

C02.01











P: 704 - 981 - 8951 201 S. Tryon Street Ste. 525 Lic. #: AA - 0003590 Charlotte, NC 28202 | W: www.bdgllp.com



DRIVE 3 28205 3130 EASTW, CHARLOTTE,

INFINITY INFINITY ENGINEERING GROUP, PLLC

1336 Harding Place Charlotte, NC 28204

[p]: 813.434.4770 [f]: 813.445.4211 www.iegroup.net NC Firm Certificate No. P-1836 IEG JOB NO. 15-132.00

WILLIAM R. JOHNSON, JR., ASLA

DATE

08.12.20 ADMIN. AMENDMENT

ISSUE BY DATE DESCRIPTION

PRC)JE(CT INFOR	rmation bloc
JOB :	#		1934
DATE	:		08/12/20
DRAV	WN B	Y:	JC
CHEC	~KED	BV.	14

CHECKED BY: SHEET TITLE

> Conceptual Landscape Plan

SHEET NUMBER

L-110

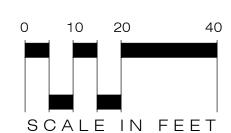
ALL MATERIAL TO BE 'GRADE A' MEETING NURSERY STANDARDS PLANTING REQUIREMENTS AND PLANT LIST SPECIFICATIONS. MATERIAL NOT MEETING SPECIFICATIONS OR NOT SUPERIOR QUALITY WILL BE REJECTED AT TREE SAVE REQUIREMENTS - NONE TIME OF REVIEW AND SUBJECT TO REPLACEMENT BY CONTRACTOR TREE REQUIREMENT -ONE (1) TREE PER 40 LF OF STREET FRONTAGE EASTWAY DRIVE - 212 LF / 40 = 5.3 TREES REQUIRED ANY LANDSCAPE WITHIN 50 FEET OF THE ATM OR NIGHT DROP 6 TREES PROVIDED SHALL BE NO HIGHER THAN 24" ABOVE GRADE AND SHALL BE MAINTAINED AT THIS HEIGHT THROUGHOUT THE LIFE OF THE PLANT. EASTWAY CROSSING - 201 LF / 40 = 5.2 TREES REQUIRED 6 TREES PROVIDED ONE (1) TREE PER 10,000 SF. IMPERVIOUS SURFACE TOTAL SITE AREA 38,995 SF IMPERVIOUS SURFACE 36,374 SF 93% 2,621 SF PERVIOUS SURFACE 6% 36,374 / 1*0,000* 3.6 TREES REQUIRED

<u>PARKING SPACE REQ.</u>

6 TREES PROVIDED

ALL SPACES WITHIN 40' OF TREE CANOPY

AT HIS OR HER EXPENSE.

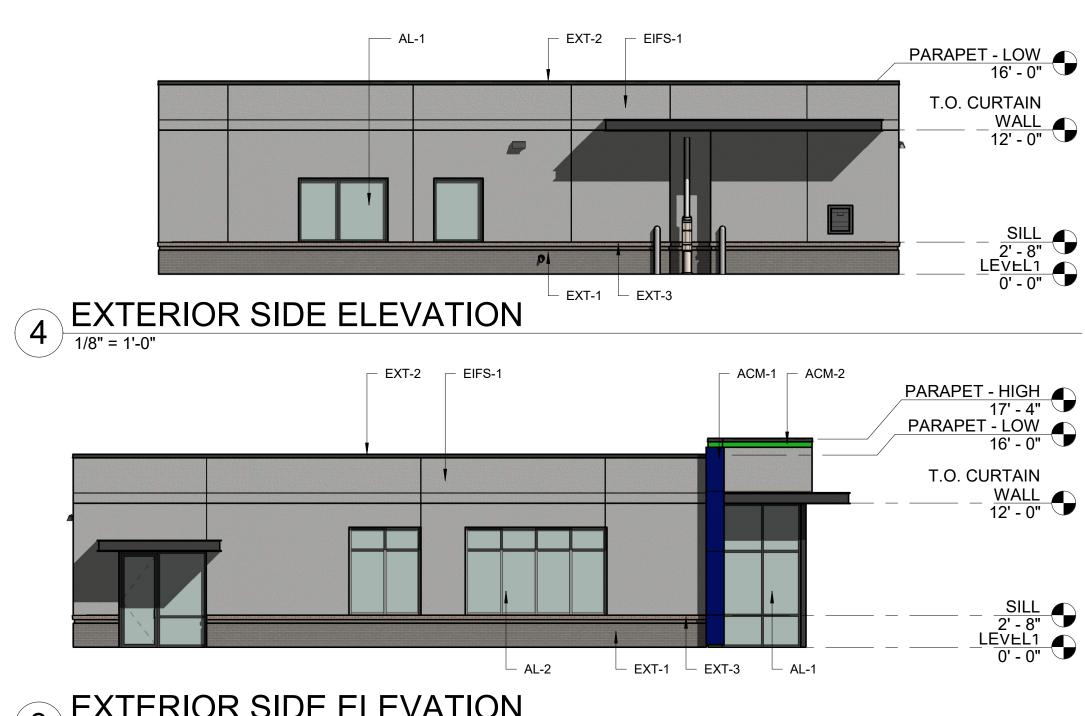




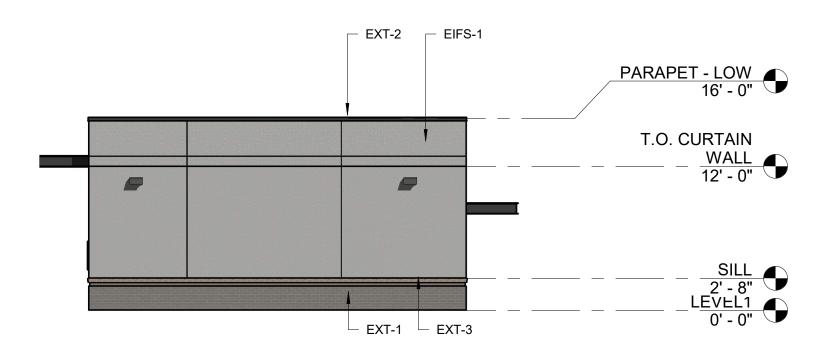


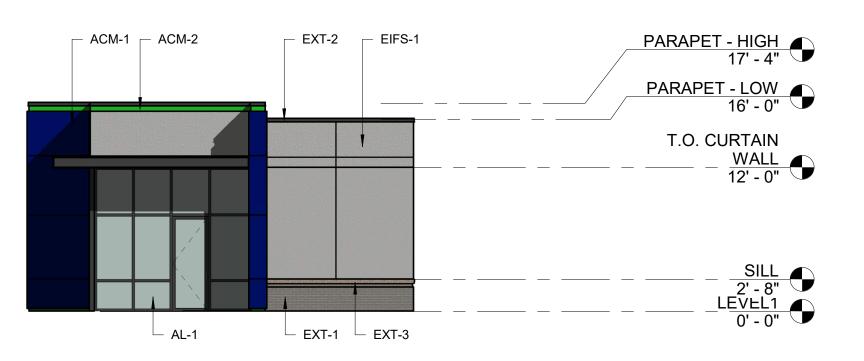
2115 1ST AVENUE NORTH / BIRMINGHAM, AL 35203 PH: (205) 324-4447 • FAX: (205) 324-8068 WEB: JOHNSON-CO.NET

FINISH SCHEDULE - EXTERIOR				
EXTERIOR FINISH	INDENTIFI CATION	MANUFACTURER	COLOR	COMMENTS
ALUMINUM COMPOSITE METAL PANEL ALUMINUM COMPOSITE METAL PANEL	ACM-1 ACM-2	ALCOA ARCHITECTURAL REYNOBOND ALCOA ARCHITECTURAL REYNOBOND	CUSTOM FIFTH THIRD BLUE CUSTOM FIFTH THIRD GREEN	
ALUMINUM CURTAINWALL SYSTEM ALUMINUM STOREFRONT SYSTEM	AL-1	KAWNEER KAWNEER	CLEAR ANODIZED CLEAR ANODIZED	
EIFS BARRIER SYSTEM	EIFS-1	DRYVIT	DOVER SKY	6" EIFS BARRIER SYSTEM
MODULAR STANDARD BRICK VENEER	EXT-1	ACME BRICK	SLATE GRAY	MORTAR MANUFACTURER: COOSA , MORTAR COLOR: COOSA OLD LIME PUTTY
PRE-FINISHED METAL COPING	EXT-2	PAC-CLAD	ANODIC CLEAR	
BRICK SILL	EXT-3	ACME BRICK	SLATE GRAY	MORTAR MANUFACTURER: COOSA , MORTAR COLOR: COOSA OLD LIME PUTTY



3 EXTERIOR SIDE ELEVATION
1/8" = 1'-0"





EXTERIOR REAR ELEVATION 1/8" = 1'-0"

EXTERIOR FRONT ELEVATION 1/8" = 1'-0"

ARCHITECT/ ENGINEER OF RECORD

BDG ARCHITECTS 400 North Ashley Dr Ste. 600 Tampa, FL 33602

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J BANK NARROW HIRD 900 GEN PRO C

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