



**Charlotte-Mecklenburg Planning, Design, & Development**

**DATE:** September 3, 2020

**TO:** Sonja Sanders  
Zoning Supervisor

**FROM:** Taiwo Jaiyeoba  
Planning Director

**SUBJECT:** Administrative Approval for Petition No. 2012-102 Eastway Holdings

Attached is the revised site plan for the petition above. This request allows the modification of the proposed site plan as listed below. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

- To show the location of a proposed financial institutional use on the overall site plan.

Staff supports of the request because:

- The site plan complies with the conditional notes and still meets the intent of the original approval by the City Council.

**Note: All other Zoning, Subdivision, Tree, PCSO Ordinances, conditional requirements and building codes still apply.**

**Signage was not reviewed as part of this request.**





## Charlotte-Mecklenburg Planning Department

**DATE:** September 3, 2020

**TO:** Sonja Sanders  
Zoning Supervisor

**FROM:** Taiwo Jaiyeoba  
Planning Director

**SUBJECT:** Site Review Petition: 2012-102 Eastway Holdings

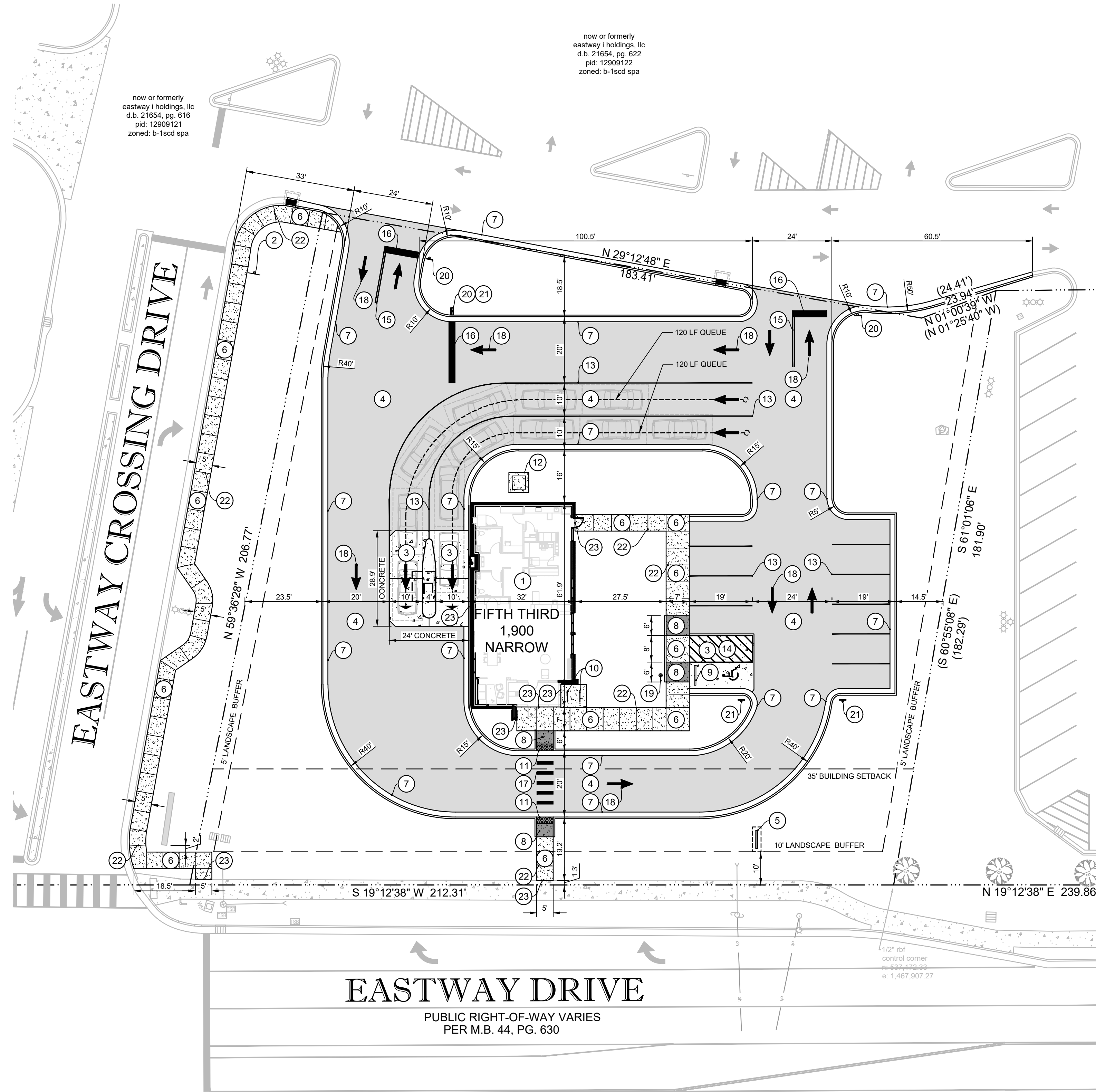
Attached is the proposed site plan for the petition above.

- Site Layout (Fifth Third Bank)
- Landscaping Plan
- Elevations

**Note: A full zoning review was not completed. Setbacks, Screening and all other Zoning, Subdivision, Tree Ordinances, conditional requirements and Building Codes still apply and will be reviewed during the City / County Land Development Review processes.**

**Signage was note reviewed as part of this request.**

**PLANNING DEPARTMENT REVIEW**  
**APPROVED:** *[Signature]*  
**TELEPHONE:** 704-336-2205  
**DATE:** 09-03-2020



**EASTWAY DRIVE**  
 PUBLIC RIGHT-OF-WAY VARIES  
 PER M.B. 44, PG. 630

PLAN VIEW SCALE 1" = 20'

**KEYED NOTES**

- 1 NEW BUILDING (SEE ARCHITECTURAL DRAWINGS).
- 2 RELOCATED EXISTING "STOP" SIGN.
- 3 NEW 6" CONCRETE PAVEMENT. SEE DETAILS, SHEET C05.01.
- 4 NEW ASPHALT PAVEMENT. SEE DETAILS, SHEET C05.01.
- 5 NEW ID SIGN (DESIGNED AND PERMITTED BY OTHERS)
- 6 NEW 4" CONCRETE SIDEWALK, SEE PLAN FOR WIDTH. SEE DETAILS, SHEET C05.01.
- 7 NEW 24" CURB AND GUTTER. SEE DETAILS, SHEET C05.01.
- 8 NEW ADA RAMP. SEE DETAILS, SHEET C05.01.
- 9 NEW WHEEL STOP (TYPICAL OF 1). SEE DETAILS, SHEET C05.01.
- 10 TWO (2) "U" SHAPED BICYCLE RACKS PER CITY STANDARD DETAILS
- 11 NEW DETECTABLE WARNING. SEE DETAILS, SHEET C05.01.
- 12 NEW TRANSFORMER PAD. (SEE UTILITY PLAN DRAWINGS).
- 13 NEW 6-INCH "WHITE" PARKING/AISLE STRIPE (CONTINUOUS PAINT).
- 14 HANDICAP PARKING SPACE AND ACCESS AISLE. SEE DETAILS, SHEET C05.01.
- 15 NEW 6-INCH "DOUBLE YELLOW" LANE STRIPE (CONTINUOUS PAINT).
- 16 NEW 24-INCH "WHITE" STOP BAR (CONTINUOUS PAINT).
- 17 5-FOOT WIDE CROSSWALK, 12-INCH "WHITE" STRIPE @ 36" O.C. (CONTINUOUS PAINT)
- 18 NEW "WHITE" DIRECTIONAL ARROW (CONTINUOUS PAINT).
- 19 NEW HANDICAP PARKING SIGN (TYPICAL OF 1). SEE DETAILS, SHEET C05.02.
- 20 NEW 30" R1-1 "STOP" SIGN (TYPICAL OF 3). SEE DETAILS, SHEET C05.02.
- 21 NEW 30" R5-1 "DO NOT ENTER" SIGN (TYPICAL OF 3). SEE DETAILS, SHEET C05.02.
- 22 CONTROL JOINT (TYP.). SEE DETAILS, SHEET C05.01.
- 23 EXPANSION JOINT (TYP.). SEE DETAILS, SHEET C05.01.

**SITE PLAN GENERAL NOTES**

- 1. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB. BUILDING DIMENSIONS ARE TO FACE OF BUILDING.
- 2. EXISTING IMPROVEMENTS SHOWN ARE TAKEN FROM BOUNDARY & TOPOGRAPHIC SURVEY.
- 3. BUILDING AND SIDEWALK DIMENSIONS ARE TO OUTSIDE EDGE OF WALL
- 4. ALL TIES TO THE PROPERTY LINE ARE BASED ON THE BOUNDARY & TOPOGRAPHIC SURVEY.
- 5. ALL CURB RADIUS ARE 3' UNLESS OTHERWISE NOTED

**LANDSCAPE NOTE**

- CONTRACTOR TO RE-GRADE SURROUNDING GRADE ELEVATION AND RE-SOD AS NEED TO MEET PROPOSED TOP OF SIDEWALK ELEVATIONS.
- CONTRACTOR SHALL REPLACE ALL DISTURBED LANDSCAPING TO MATCH EXISTING.
- CONTRACTOR SHALL TIE INTO EXISTING IRRIGATION SYSTEM AND EXTEND NEW DRIP IRRIGATION AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.

**LEGEND**

- PROPERTY LINE
- [Symbol] EXISTING CONCRETE TO REMAIN
- [Symbol] EXISTING TO REMAIN
- [Symbol] PROPOSED CONCRETE LESS THAN 6"
- [Symbol] PROPOSED CONCRETE 6" OR GREATER
- [Symbol] NEW ASPHALT PAVEMENT
- [Symbol] SETBACK/BUFFER
- [Symbol] PROPOSED CURB

**SITE DATA**

**SITE ADDRESS:** 3042 EASTWAY DRIVE CHARLOTTE, NC 28205  
**PIN:** PORTION OF 12909122  
**BUILDING AREA:** 1,900 SF BUILDING  
**EXISTING ZONING:** B-1S CD  
**EXISTING USE:** PARKING LOT  
**FUTURE USE:** BANK WITH DRIVE THRU

**PARKING DATA**

**BANK PARKING REQUIRED:** 1 SPACE PER 200 SF OF G.F.A. 1,900 SF x (1 / 200 SF) = 10 SPACES  
**TOTAL PARKING PROVIDED:** STANDARD PARKING = 10 SPACES  
 HANDICAP PARKING = 1 SPACES  
**TOTAL PARKING PROVIDED = 11 SPACES**

**PARKING SPACE SIZE:** 9' x 18.5' MINIMUM  
**DRIVE THROUGH QUEUE:** 6 SPACES PER WINDOW  
**LOADING ZONE:** \*NOTE-FINANCIAL INSTITUTIONS DO NOT USE LOADING ZONES FOR SECURITY PURPOSES DELIVERY TRUCK WILL PARK DIRECTLY IN FRONT OF MAIN ENTRANCE.

**LANDSCAPE REQUIREMENTS:**

REQUIREMENT	REQUIRED
LANDSCAPE BUFFER - FRONT (EASTWAY DRIVE, SOUTH)	= 10'
LANDSCAPE BUFFER - SIDE (EASTWAY CROSSING DRIVE, WEST)	= 5'
LANDSCAPE BUFFER - SIDE (EAST)	= 5'
LANDSCAPE BUFFER - REAR (ACCESS DRIVE, NORTH)	= 5'

**BUILDING REQUIREMENTS:**

REQUIREMENT	REQUIRED
BUILDING SETBACK - FRONT (EASTWAY DRIVE, SOUTH)	= 35'
BUILDING SETBACK - SIDE (EASTWAY CROSSING DRIVE, WEST)	= 0'
BUILDING SETBACK - SIDE (EAST)	= 0'
BUILDING SETBACK - REAR (ACCESS DRIVE, NORTH)	= 0'

**BICYCLE PARKING REQUIRED**

SHORT-TERM 1 SPACE MINIMUM

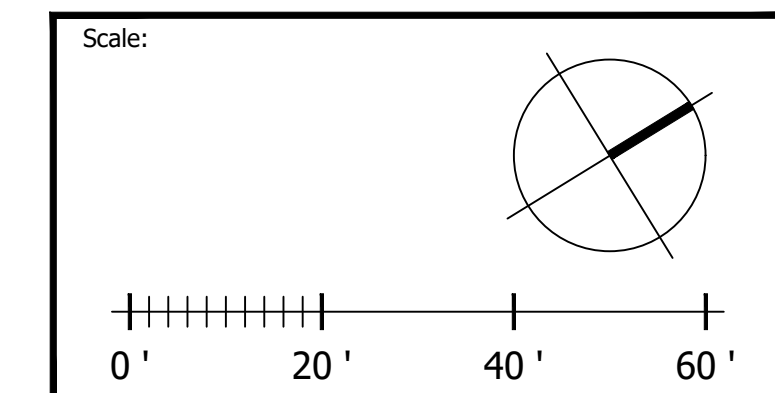
**FLOOD ZONE:**  
 THIS PROPERTY IS LOCATED IN ZONE "X".  
 F.E.M.A FLOOD INSURANCE RATE MAP NUMBER 3710456300K, DATED

**SITE AREAS**

AREAS	SQUARE FEET (SF)	ACRE (AC)	PERCENT %
GROSS SITE	38,995	0.90	100.00%
BUILDING (FLOOR AREA RATIO)	1,900	0.04	4.87%
VEHICULAR USE (INCL. CURBLINE)	18,431	0.42	47.27%
SIDE WALK / PATIO	1,406	0.03	3.61%
WET POND (IMPERVIOUS)	0	0.000	0.00%
TOTAL IMPERVIOUS	21,737	0.50	56%
TOTAL PERVIOUS (LS + DRY POND AREA)	17,258	0.40	44%



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 W: www.bdgllp.com



**FIFTH THIRD BANK  
 EASTWAY OUTLOT**  
 3042 EASTWAY DRIVE  
 CHARLOTTE, NC 28205



**INFINITY ENGINEERING GROUP, PLLC**  
 1336 Harding Place  
 Charlotte, NC 28204  
 [p]: 813.434.4770  
 [f]: 813.445.4211  
 www.infngrp.net  
 NC Firm Certificate No. P-1836  
 IEG JOB NO. 15-132.00

**SEAL**  
 NISIT SAPPARKHAO, P.E.  
 NC REG. NO. 38066

ISSUE	BY	DATE	DESCRIPTION
		XX.XX.XX	ISSUE FOR REVIEW

**PROJECT INFORMATION BLOCK**  
**JOB #** 193457  
**DATE:** 03/23/2020  
**DRAWN BY:** PV  
**CHECKED BY:** MS

**SHEET TITLE**  
 SITE PLAN

**SHEET NUMBER**  
 C02.01

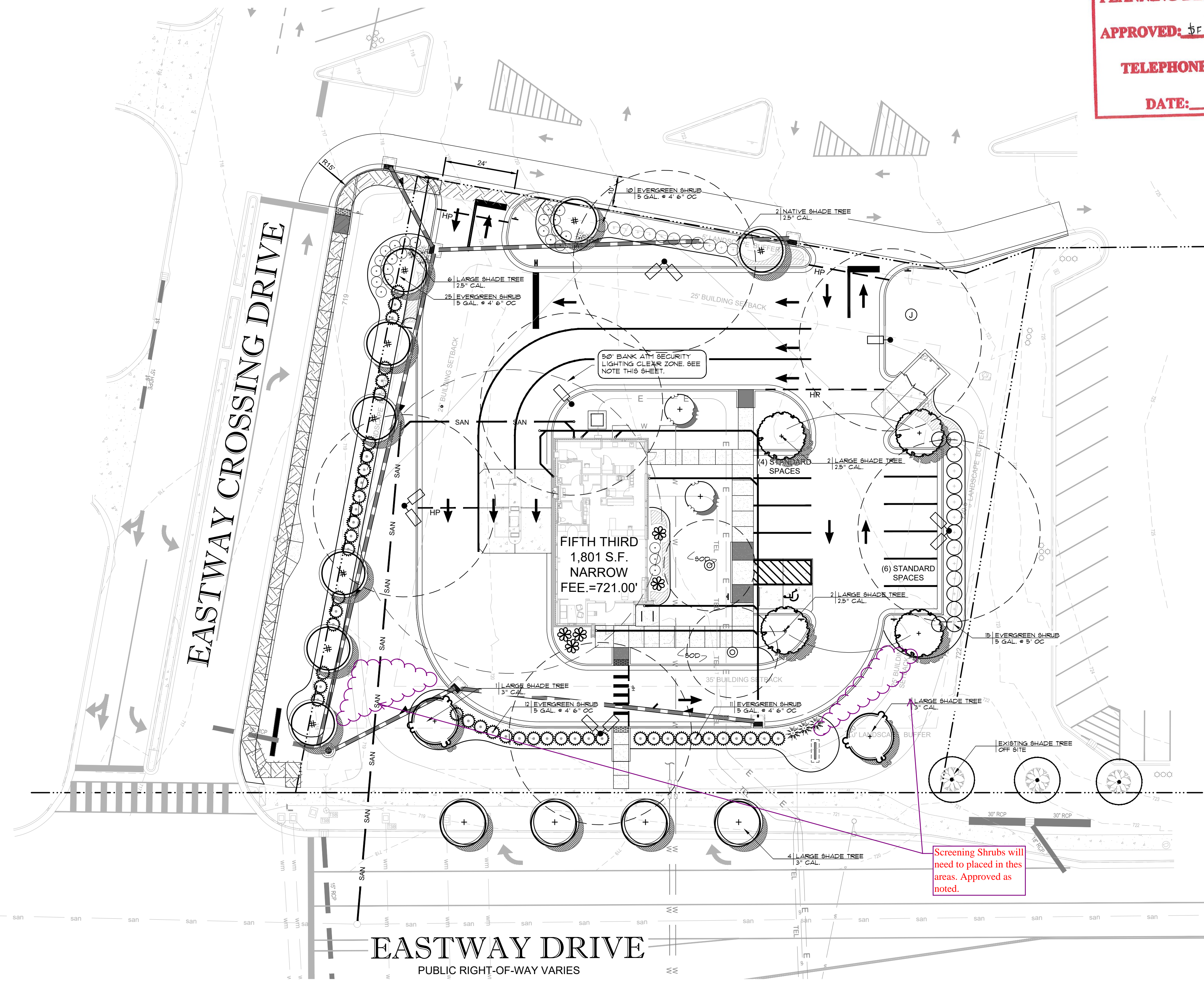
**PLANNING DEPARTMENT REVIEW**  
**APPROVED:** *[Signature]*  
**TELEPHONE:** 704-336-2205  
**DATE:** 9-3-2020



201 S. Tryon Street  
 Ste. 525  
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**FIFTH THIRD BANK  
 EASTWAY OUTLOT**  
 3130 EASTWAY DRIVE  
 CHARLOTTE, NC 28205



**NOTES:**

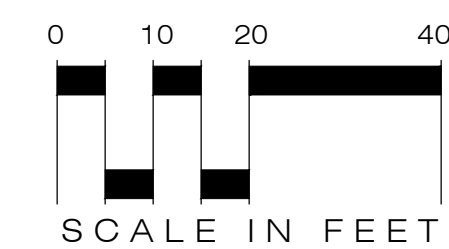
- IF CONFLICTS EXIST BETWEEN PROPOSED LANDSCAPE AND SITE LIGHTING, UTILITIES OR OTHER, LANDSCAPE CONTRACTOR IS TO CONTACT LANDSCAPE ARCHITECT IMMEDIATELY. ALL SITE LIGHTING POLES TO BE CENTERED WHERE LIGHTING EXISTS IN TREE ROW. ADJUST AS NECESSARY AND COORDINATE WITH LANDSCAPE ARCHITECT WHERE INSTALLED LOCATION OF LIGHTING VARIES FROM PLANS.
- IF SITE CONDITIONS EXIST, SUCH AS LOW AREAS THAT WILL POTENTIALLY HOLD WATER OR ANY CONDITIONS THAT PROPOSE A THREAT TO THE LONG TERM SURVIVAL OF THE NEW LANDSCAPE, THE LANDSCAPE CONTRACTOR IS TO CONTACT THE LANDSCAPE ARCHITECT FOR CHANGES.
- IF THESE CONDITIONS ARE NOT COORDINATED DURING CONSTRUCTION, THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR RELOCATING NEW MATERIAL AT DIRECTIVE OF THE LANDSCAPE ARCHITECT AT TIME OF PUNCH LIST.
- SIGNAGE SHOWN AS SCHEMATIC. IF VARIANCE OCCURS, LANDSCAPE AND IRRIGATION TO BE AND ADJUSTED TO ACTUAL LOCATION. COORDINATE WITH LANDSCAPE ARCHITECT FOR CHANGES.
- ALL SHRUBS AT FRONT OF PARKING AREAS; CENTER OF PLANT TO BE LOCATED 42" FROM BACK OF CURB.
- ALL SHRUBS ALONG DRIVES OR CURB; CENTER OF PLANT TO BE LOCATED 36" FROM BACK OF CURB.
- CONTRACTOR RESPONSIBLE FOR OFF SITE DISTURBANCE AND REPLACEMENT OF LANDSCAPE / PLANT MATERIAL WITH LIKE KIND.
- IF CONFLICTS EXIST BETWEEN PLANTINGS AND SITE ELEMENTS, CONTRACTOR SHALL COORDINATE TREE PLANTINGS WITH BUILDING AND MONUMENT SIGNAGE AND COORDINATE ALL ADJUSTMENTS AS NECESSARY TO ELIMINATE ANY CONFLICTS. IF COORDINATION IS NOT MADE WITH ARCHITECT / CBRE, CONTRACTOR WILL BE RESPONSIBLE FOR RELOCATION OF MATERIAL AND ADJUSTMENTS AT TIME OF PUNCH LIST AS DIRECTED.

Screening Shrubs will need to be placed in these areas. Approved as noted.

ALL MATERIAL TO BE 'GRADE A' MEETING NURSERY STANDARDS AND PLANT LIST SPECIFICATIONS. MATERIAL NOT MEETING SPECIFICATIONS OR NOT SUPERIOR QUALITY WILL BE REJECTED AT TIME OF REVIEW AND SUBJECT TO REPLACEMENT BY CONTRACTOR AT HIS OR HER EXPENSE.

ANY LANDSCAPE WITHIN 50 FEET OF THE ATM OR NIGHT DROP SHALL BE NO HIGHER THAN 24" ABOVE GRADE AND SHALL BE MAINTAINED AT THIS HEIGHT THROUGHOUT THE LIFE OF THE PLANT.

PLANTING REQUIREMENTS	
TREE SAVE REQUIREMENTS - NONE	
TREE REQUIREMENT -	ONE (1) TREE PER 40 LF OF STREET FRONTAGE
	EASTWAY DRIVE - 212 LF / 40 = 5.3 TREES REQUIRED 6 TREES PROVIDED
	EASTWAY CROSSING - 201 LF / 40 = 5.2 TREES REQUIRED 6 TREES PROVIDED
IMPERVIOUS SURFACE	ONE (1) TREE PER 10,000 SF.
TOTAL SITE AREA	38,995 SF
IMPERVIOUS SURFACE	36,374 SF 93%
PERVIOUS SURFACE	2,621 SF 6%
	36,374 / 10,000 = 3.6 TREES REQUIRED 6 TREES PROVIDED
PARKING SPACE REQ.	ALL SPACES WITHIN 40' OF TREE CANOPY



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SEAL  
 WILLIAM R. JOHNSON, JR., ASLA

ISSUE	BY	DATE	DESCRIPTION
		08.12.20	ADMIN. AMENDMENT

PROJECT INFORMATION BLOCK  
 JOB # 193457  
 DATE: 08/12/2020  
 DRAWN BY: JCO  
 CHECKED BY: WRJ

SHEET TITLE  
 Conceptual Landscape Plan

SHEET NUMBER  
 L-110

# FINISH SCHEDULE - EXTERIOR

EXTERIOR FINISH	IDENTIFICATION	MANUFACTURER	COLOR	COMMENTS
ALUMINUM COMPOSITE METAL PANEL	ACM-1	ALCOA ARCHITECTURAL REYNOBOND	CUSTOM FIFTH THIRD BLUE	
ALUMINUM COMPOSITE METAL PANEL	ACM-2	ALCOA ARCHITECTURAL REYNOBOND	CUSTOM FIFTH THIRD GREEN	
ALUMINUM CURTAINWALL SYSTEM	AL-1	KAWNEER	CLEAR ANODIZED	
ALUMINUM STOREFRONT SYSTEM	AL-2	KAWNEER	CLEAR ANODIZED	
EIFS BARRIER SYSTEM	EIFS-1	DRYVIT	DOVER SKY	6" EIFS BARRIER SYSTEM
MODULAR STANDARD BRICK VENEER	EXT-1	ACME BRICK	SLATE GRAY	MORTAR MANUFACTURER: COOSA , MORTAR COLOR: COOSA OLD LIME PUTTY
PRE-FINISHED METAL COPING	EXT-2	PAC-CLAD	ANODIC CLEAR	
BRICK SILL	EXT-3	ACME BRICK	SLATE GRAY	MORTAR MANUFACTURER: COOSA , MORTAR COLOR: COOSA OLD LIME PUTTY

ARCHITECT/ ENGINEER OF RECORD

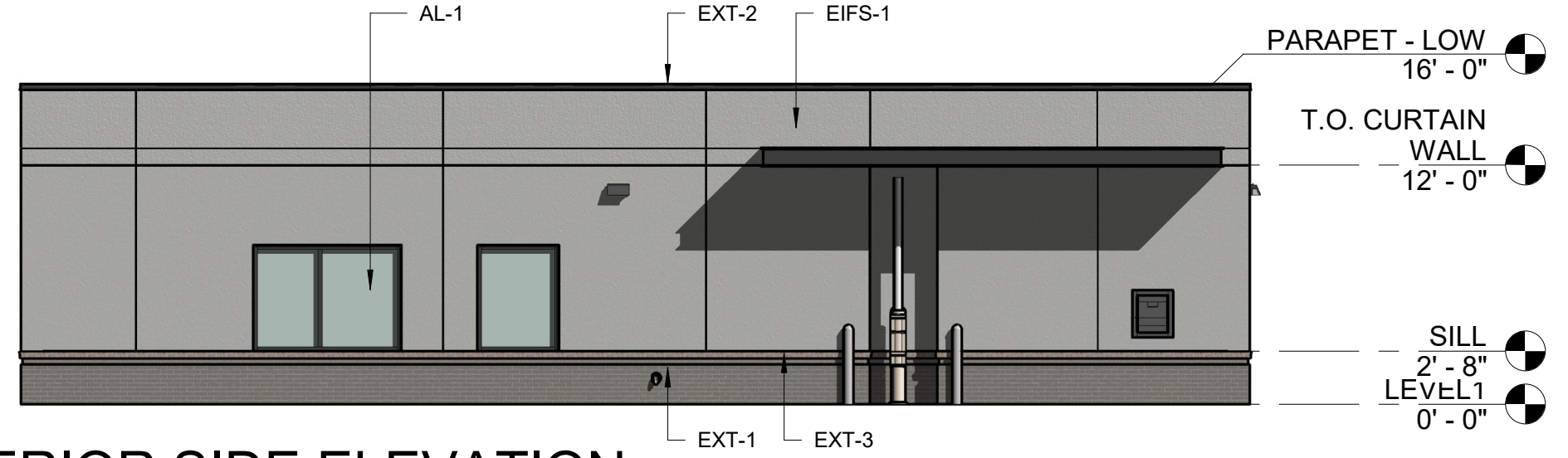
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architects

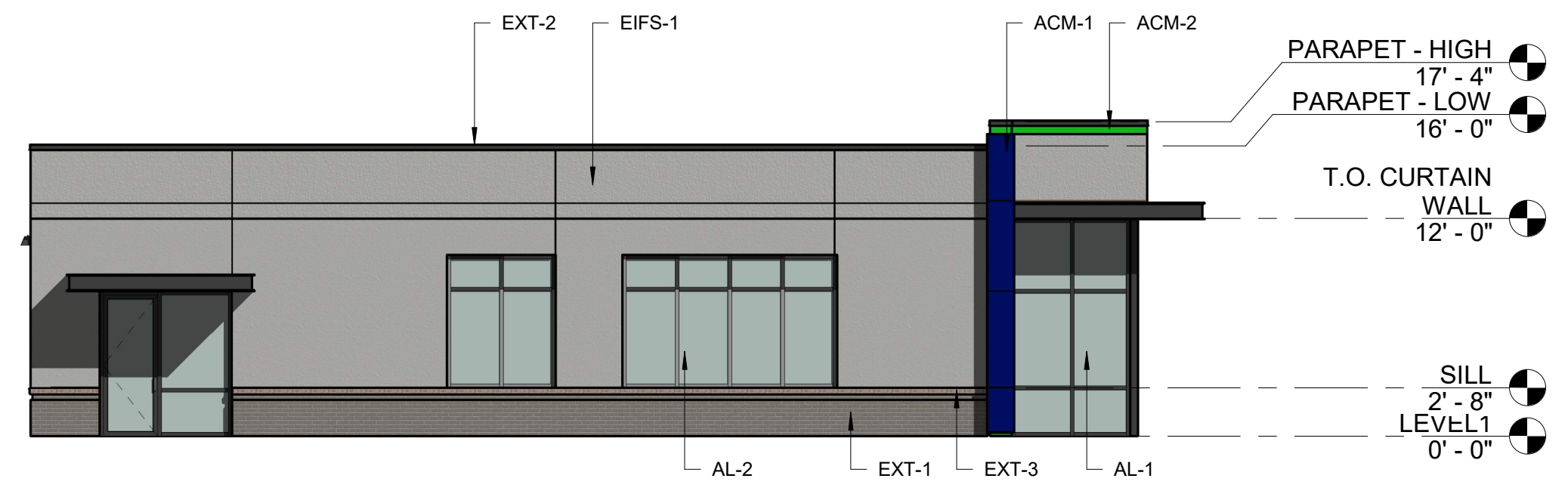
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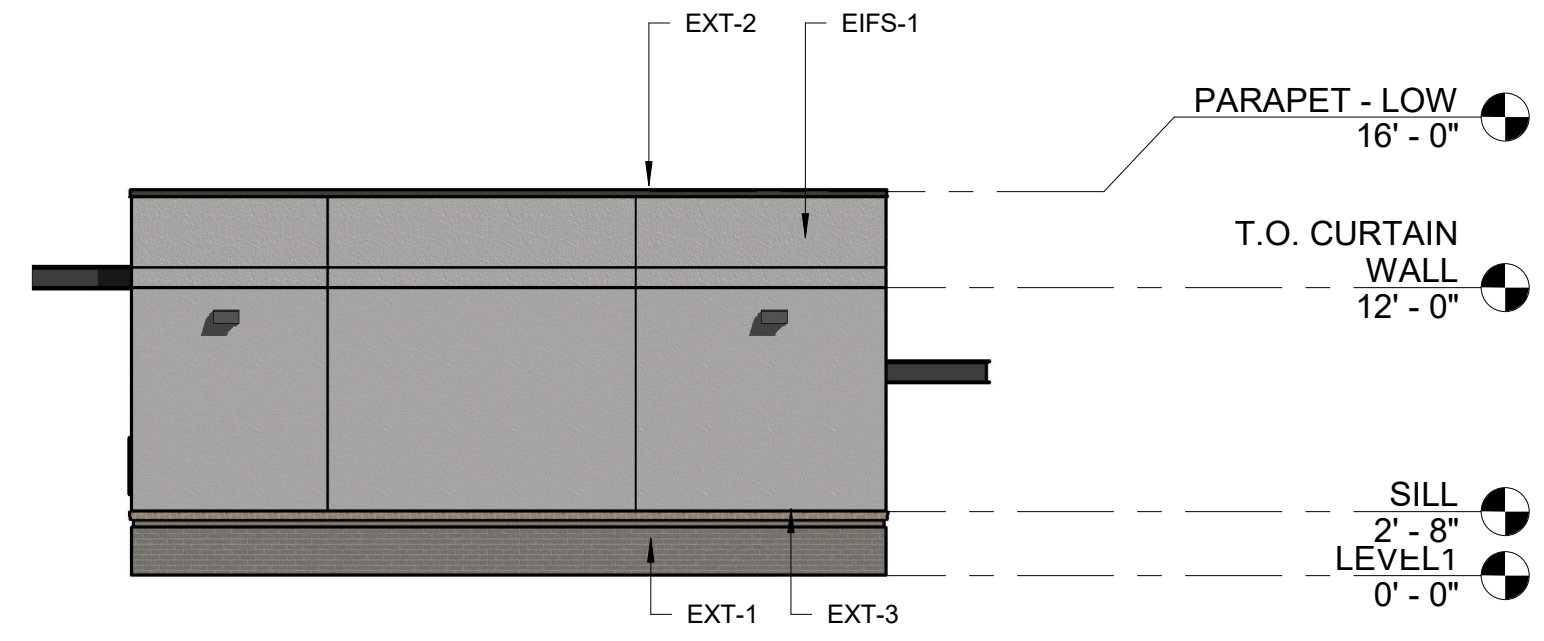
FIFTH THIRD BANK  
NEXT GEN 1900 NARROW  
PROTOTYPE



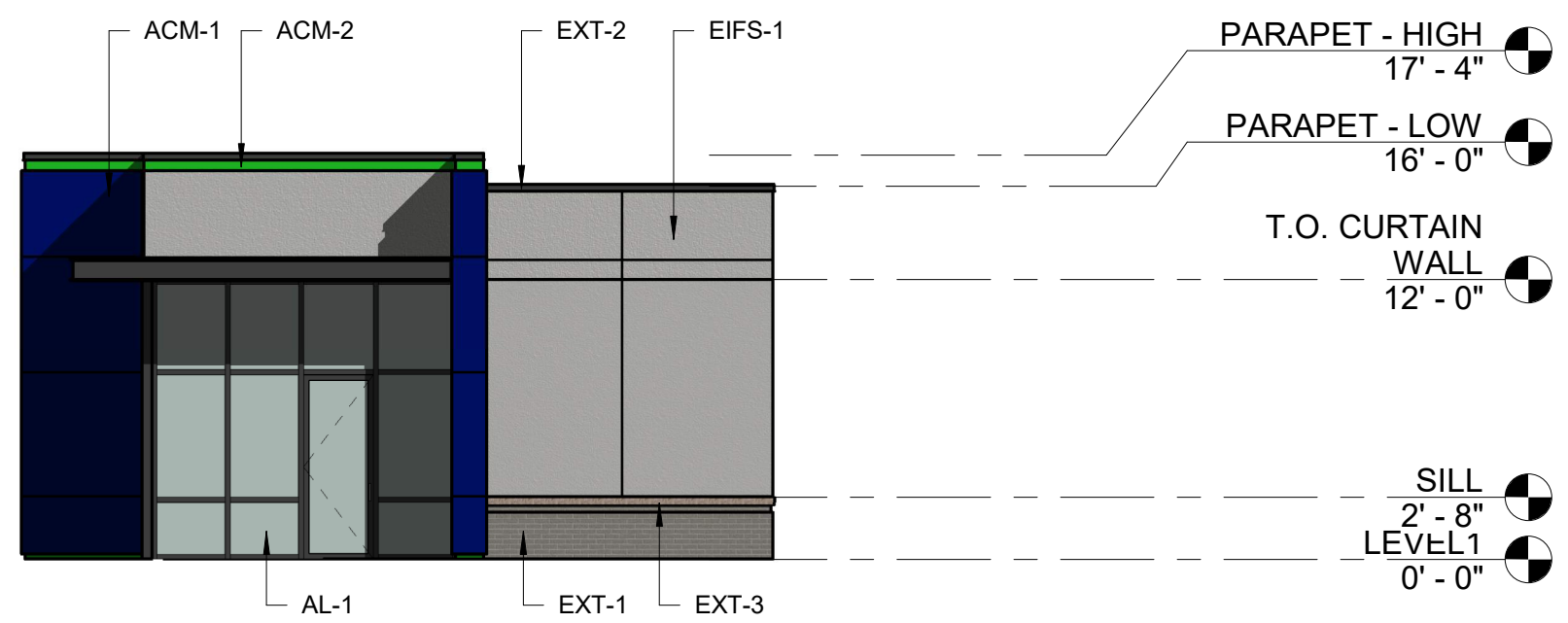
**4** EXTERIOR SIDE ELEVATION  
1/8" = 1'-0"



**3** EXTERIOR SIDE ELEVATION  
1/8" = 1'-0"



**2** EXTERIOR REAR ELEVATION  
1/8" = 1'-0"



**1** EXTERIOR FRONT ELEVATION  
1/8" = 1'-0"

ISSUE	BY	DATE	DESCRIPTION

BDG JOB NO. \_\_\_\_\_

DATE: \_\_\_\_\_

DRAWN BY: \_\_\_\_\_

SHEET TITLE:  
SCHEMATIC ELEVATIONS

SHEET NUMBER:  
**A-0**

ACM PANEL - GENERAL NOTES

- A. ALL ACM PANELS MUST BE ANCHORED TO MINIMUM 16 GA METAL STUD FRAMING. REFER TO STRUCTURAL. METAL STUD FRAMING NOT BY CA SYSTEMS.
- B. METAL STUDS MUST ALIGN WITH PANEL JOINTS AS REQUIRED FOR METAL COMPOSITE PANEL ATTACHMENT.
- C. FIXED STUDS MAY BE USED TO SUPPORT METAL COMPOSITE PANELS (G.C. TO COORDINATE)
- D. 5/8" GYP. BD SHEATHING AND/OR GLASS MAT SHEATHING WILL NOT SUPPORT METAL COMPOSITE PANEL ATTACHMENT (SHEATHING NOT BY CA SYSTEMS)
- E. ALL FLATSTOCK FABRICATED FLASHING REQUIRED FOR METAL COMPOSITE PANEL DETAILS TO BE PREFINISHED ALUMINUM. COLOR TO MATCH U.N.O.
- F. ALL DIMENSIONS AND QUANTITIES ARE TO BE FIELD VERIFIED PRIOR TO THE FABRICATION (RELEASE) OF ANY & ALL METAL COMPOSITE PANEL AND ASSOCIATED FLASHINGS.
- G. ALL SKYWARD ACM PANEL JOINTS TO HAVE BACKER ROD AND CAULK. APPLY DOWN PAST WOOD BLOCKING, TYP.
- H. USE BACKER ROD AND CAULK AT ALL VERTICAL PANEL END (JAMB) CONDITIONS AT DISSIMILAR MATERIALS (IE, STUCCO, WINDOW MULLIONS)
- I. ALL SKYWARD ACM PANEL JOINTS TO HAVE BACKER ROD AND CAULK. APPLY DOWN PAST WOOD BLOCKING, TYP. USE BACKER ROD AND CAULK AT ALL VERTICAL PANEL END (JAMB) JOINT CONDITIONS AT DISSIMILAR MATERIALS (IE STUCCO, WINDOW MULLION)



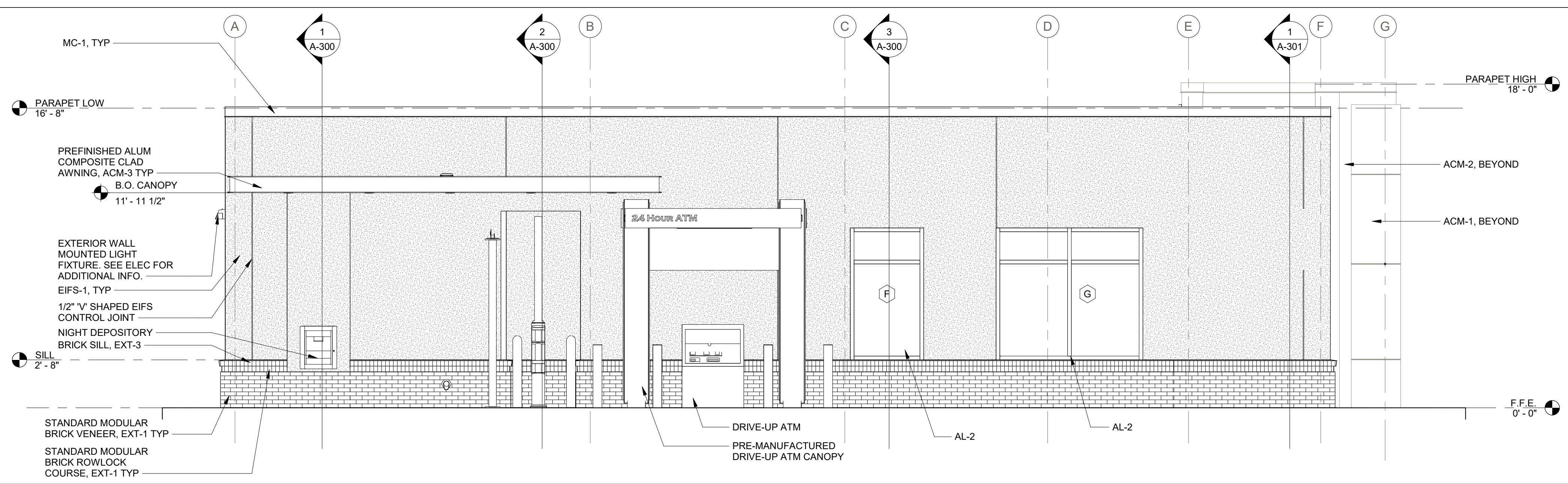
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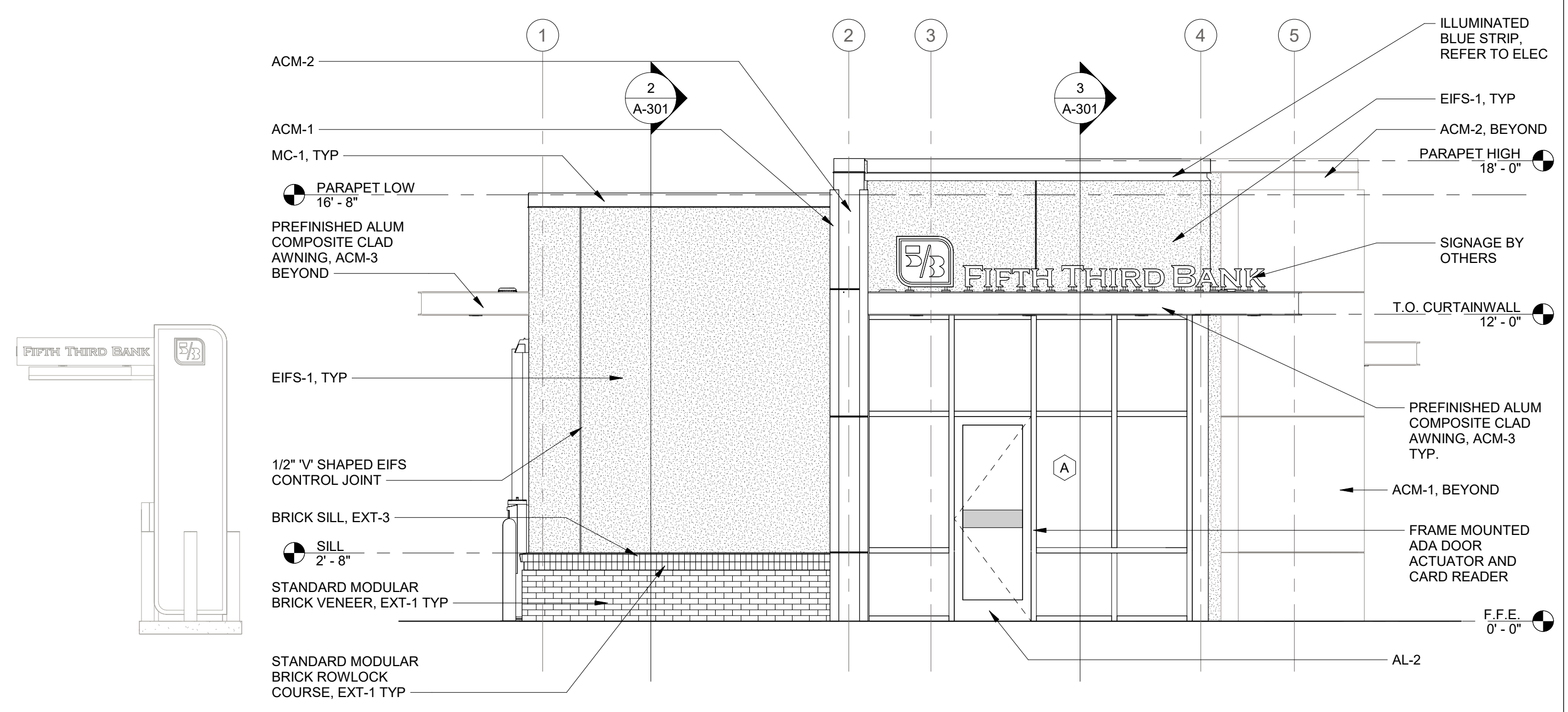


FIFTH THIRD BANK  
 EASTWAY CROSSING  
 3098 EASTWAY DRIVE  
 CHARLOTTE, NC 28205

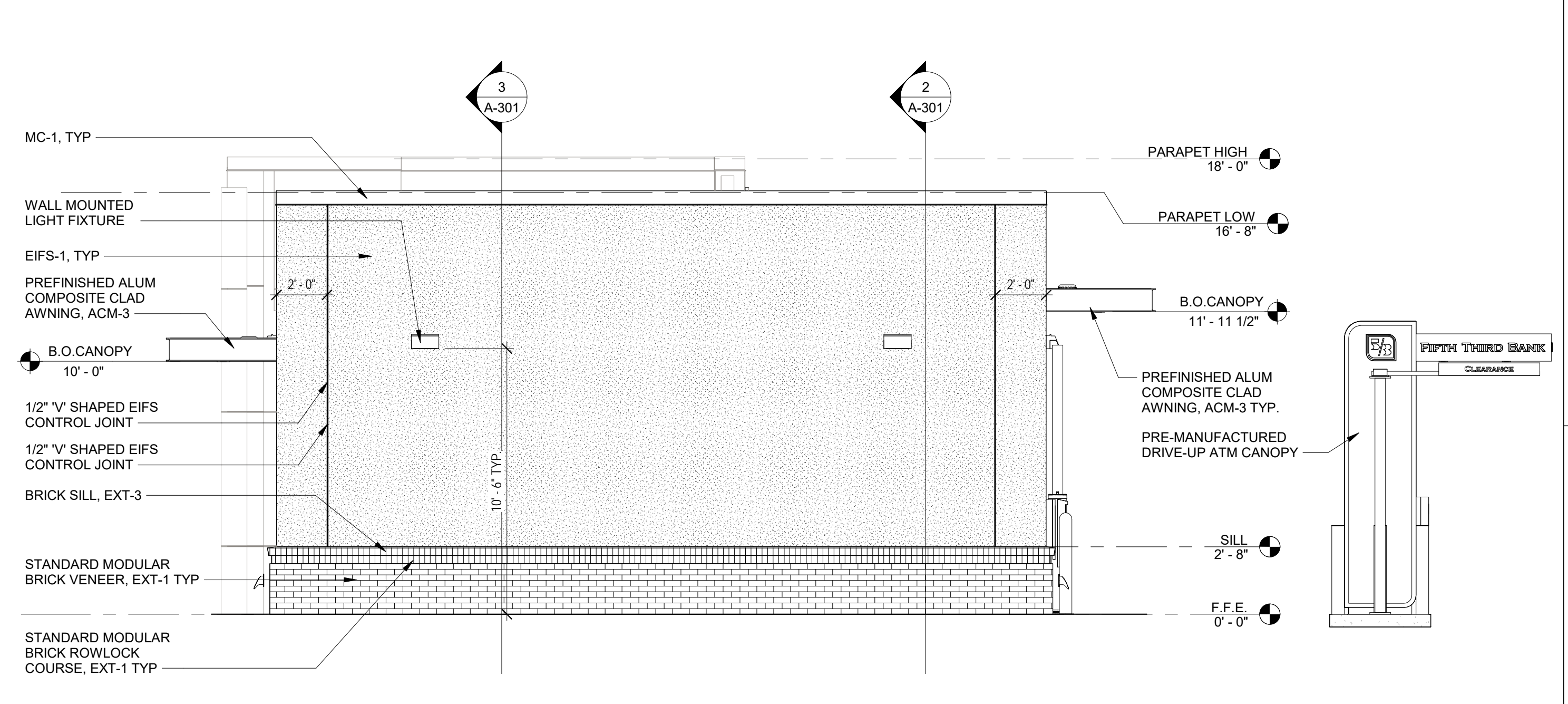
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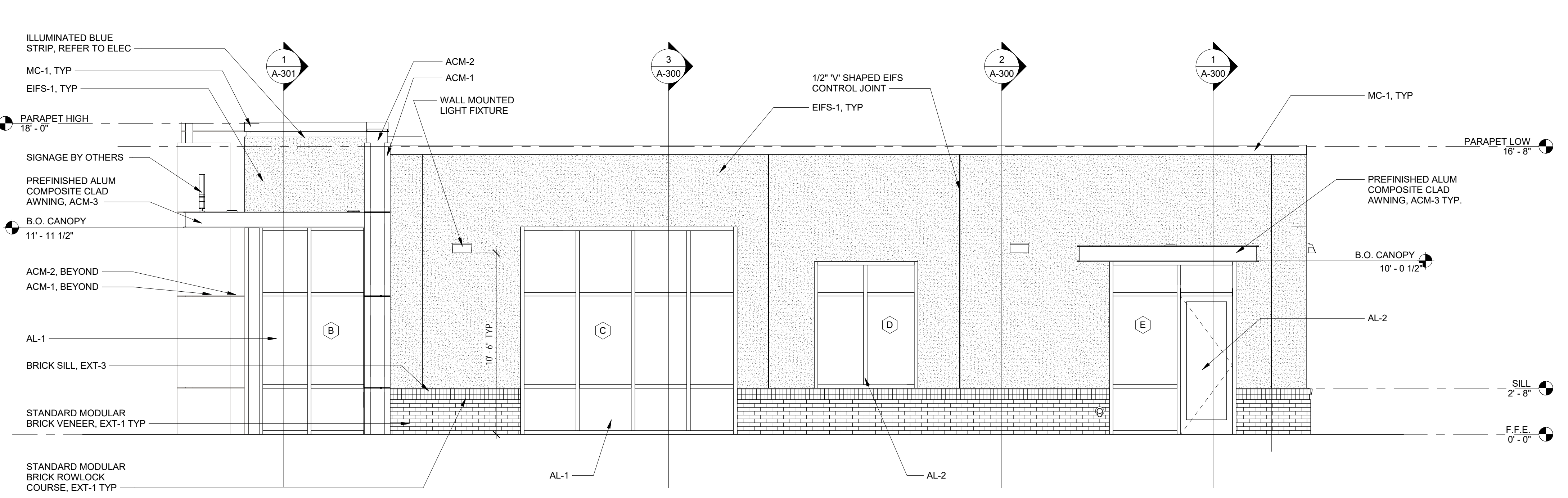
WEST ELEVATION 1/4" = 1'-0" 4



SOUTH ELEVATION 1/4" = 1'-0" 3



NORTH ELEVATION 1/4" = 1'-0" 2



EAST ELEVATION 1/4" = 1'-0" 1

EXTERIOR FINISH SCHEDULE				
ITEM	EXTERIOR FINISH	MANUFACTURER	COLOR	COMMENTS
ACM-1	ALUMINUM COMPOSITE METAL PANEL	ALCOA ARCHITECTURAL REYNOBOND	CUSTOM FIFTH THIRD BLUE	
ACM-2	ALUMINUM COMPOSITE METAL PANEL	ALCOA ARCHITECTURAL REYNOBOND	CUSTOM FIFTH THIRD GREEN	
ACM-3	ALUMINUM COMPOSITE METAL PANEL	ALCOA ARCHITECTURAL REYNOBOND	CLEAR ANODIZED METAL	
AL-1	ALUMINUM CURTAINWALL SYSTEM	KAWNEER	CLEAR ANODIZED	
AL-2	ALUMINUM STOREFRONT SYSTEM	KAWNEER	CLEAR ANODIZED	
EIFS-1	EIFS BARRIER SYSTEM	DRYVIT (FINE FINISH)	DOVER SKY	3" EIFS SYSTEM
EIFS-2	EIFS BARRIER SYSTEM	DRYVIT (FINE FINISH)	DOVER SKY	2" EIFS SYSTEM
EXT-1	STANDARD MODULAR BRICK VENEER	ACME BRICK	SLATE GRAY	MORTAR MANUFACTURER: COOSA, MORTAR COLOR: OLD LIME PUTTY
EXT-2	PREFINISHED METAL COPING	PAC-CLAD PETERSON	ANODIC CLEAR	
EXT-3	STANDARD MODULAR BRICK ROWLOCK	ACME BRICK	SLATE GRAY	MORTAR MANUFACTURER: COOSA, MORTAR COLOR: OLD LIME PUTTY

SEAL

ISSUE	BY	DATE	DESCRIPTION
	JR	08.17.20	SITE SUBMITTAL
	JR	08.17.20	BUILDING SUBMITTAL

PROJECT INFORMATION BLOCK	
JOB #	193457
DATE	08/17/2020
DRAWN BY:	CR
CHECKED BY:	JR

SHEET TITLE  
EXTERIOR ELEVATIONS

SHEET NUMBER

A-200



FIFTH THIRD 1900 NARROW  
PROTOTYPE







FIFTH THIRD 1900 NARROW  
PROTOTYPE





FIFTH THIRD 1900 NARROW  
PROTOTYPE





FIFTH THIRD 1900 NARROW  
PROTOTYPE





FIFTH THIRD 1900 NARROW  
PROTOTYPE

