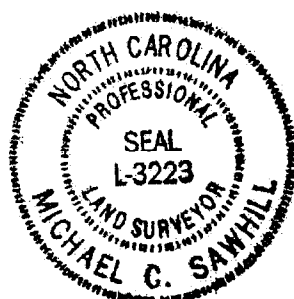


REZONING PETITION#: 2013-58
FIRST SUBMITTAL 04/22/2013

I, MICHAEL C. SAWMILL, HEREBY CERTIFY THAT THIS MAP REPRESENTS THE CONDITIONS EXISTING ON THE GROUND AT THE TIME OF A SURVEY PERFORMED UNDER MY DIRECTION BETWEEN APRIL 03, 2013 AND APRIL 15, 2013, AND THAT THIS MAP AND FIELD SURVEY UPON WHICH IT IS BASED WAS PREPARED UNDER MY SUPERVISION AND CONFORMS WITH THE STANDARDS OF PRACTICE FOR LAND SURVEYS IN NORTH CAROLINA (SECTION 1600 OF THE RULES OF THE BOARD OF REGISTRATION FOR ENGINEERS AND LAND SURVEYORS) THE PROPERTY SHOWN HEREON MAY BE SUBJECT TO EASEMENTS, COVENANTS OR RESTRICTIONS OF WHICH THE UNDERSIGNED HAS NO KNOWLEDGE.

Michael C. Sawmill 7/22/2013
MICHAEL C. SAWMILL, NORTH CAROLINA PROFESSIONAL LAND SURVEYOR L-3223



THE SURVEY COMPANY, INC.
4105-B STUART ANDREW BLVD
CHARLOTTE, NC 28217
(704) 561-9970 (704) 561-9972 FAX
WWW.SURVEYCO.COM
NORTH CAROLINA FIRM
REGISTRATION NUMBER C-1718

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REZONING SITE PLAN
LENGERS AND HERZ COMPANY TRACT
TAX #115-051-05
CITY OF CHARLOTTE
MECKLENBURG COUNTY - NORTH CAROLINA

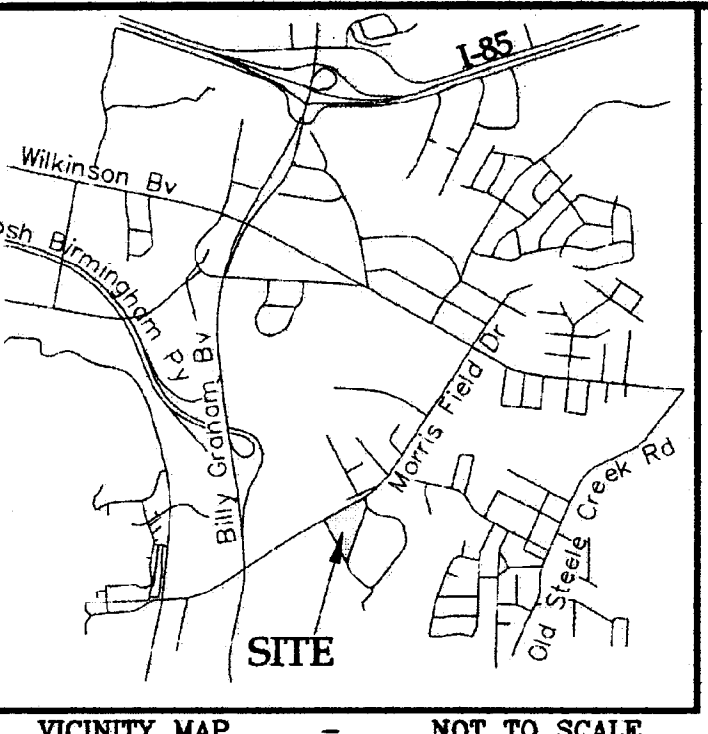
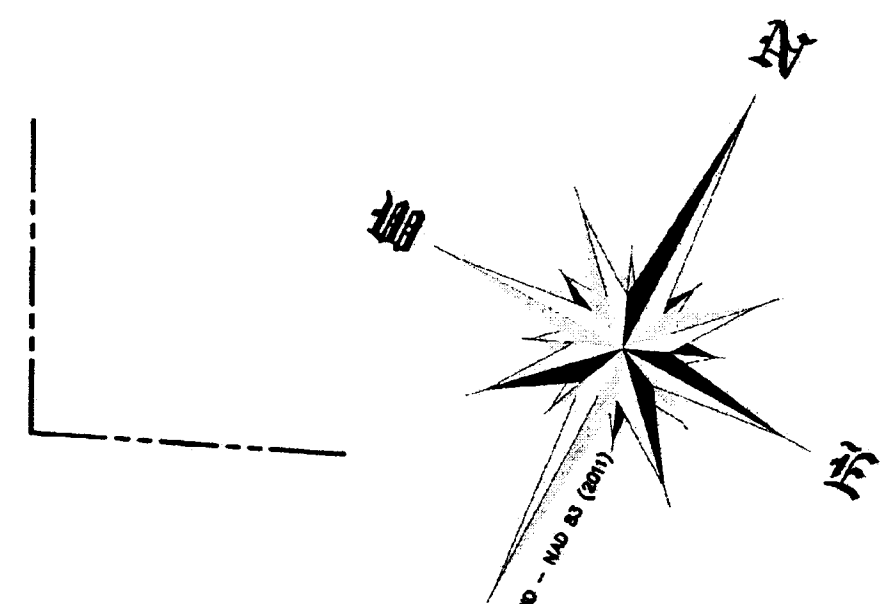
RECEIVED
JUL 22 2013
BY: [Signature]

PROPERTY OWNER:
LENGERS AND HERZ COMPANY
8893 COLLINS ROAD
FT. MILL, SC 29715

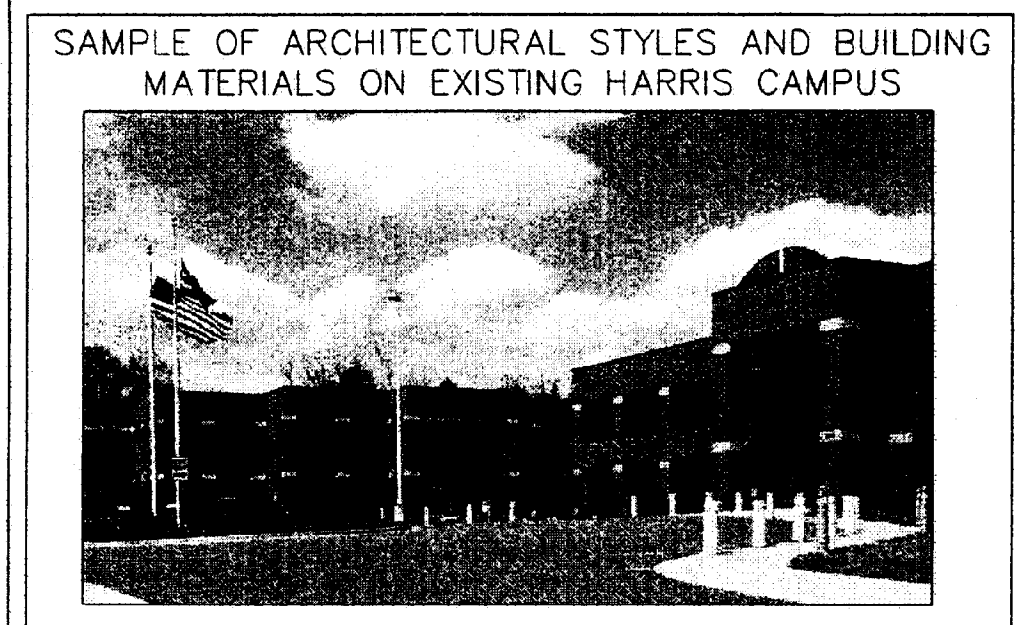
PREPARED FOR:
CPC DESIGN AND CONSTRUCTION DIVISION
1325 S. SEVENTH STREET
CHARLOTTE, NC 28235
CONTACT: DOUG HARDAWAY
PHONE: 704.330.8224

PROJECT NUMBER: CPC 39
SURVEYED BY: RRD/WJ
DRAWN BY: MBS
CHECKED BY: MBS
ISSUE DATE: 04/19/2013
REVISIONS:
① CLIENT COMMENTS - 04/22/2013
② CLIENT COMMENTS - 06/11/2013
③ CLIENT COMMENTS - 06/14/2013
④ CLIENT COMMENTS - 07/19/2013
⑤ CLIENT COMMENTS - 07/22/2013

CAD FILE: CPC39_REZONING.DWG

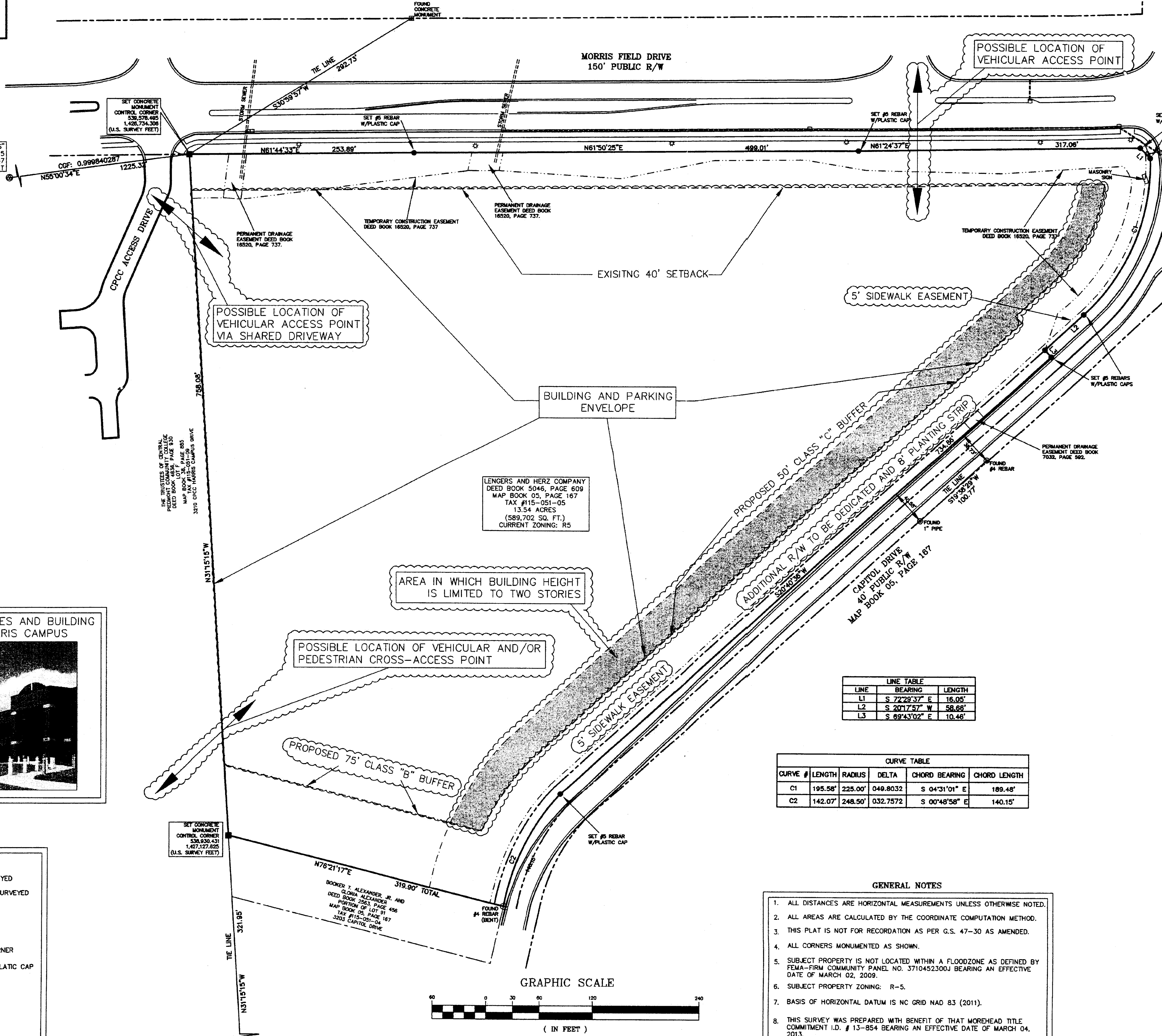


VICINITY MAP - NOT TO SCALE



LEGEND

- CURB
- PROPERTY LINE SURVEYED
- - - PROPERTY LINE NOT SURVEYED
- - - RIGHT-OF-WAY LINE
- - - EASEMENT LINE
- - - SETBACK LINE
- FOUND PROPERTY CORNER
- SET 5/8" REBAR W/PLASTIC CAP
- LIGHT POLE
- CATCH BASIN
- TREE LOCATION
- OLD LOT NUMBERS



LENGERS AND HERZ COMPANY
DEED BOOK 5046, PAGE 609
TAX #115-051-05
13.54 ACRES
(589,702 SQ. FT.)
CURRENT ZONING: R5

LINE TABLE

LINE	BEARING	LENGTH
L1	S 72°23'37" E	18.05'
L2	S 20°17'57" W	58.68'
L3	S 69°43'02" E	10.44'

CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	195.58'	225.00'	049.8032	S 04°31'01" E	189.48'
C2	142.07'	248.50'	032.7572	S 00°48'58" E	140.15'

- GENERAL NOTES
- ALL DISTANCES ARE HORIZONTAL MEASUREMENTS UNLESS OTHERWISE NOTED.
 - ALL AREAS ARE CALCULATED BY THE COORDINATE COMPUTATION METHOD.
 - THIS PLAT IS NOT FOR RECORDATION AS PER G.S. 47-30 AS AMENDED.
 - ALL CORNERS MONUMENTED AS SHOWN.
 - SUBJECT PROPERTY IS NOT LOCATED WITHIN A FLOODZONE AS DEFINED BY FEMA-FIRM COMMUNITY PANEL NO. 3710452300J BEARING AN EFFECTIVE DATE OF MARCH 02, 2009.
 - SUBJECT PROPERTY ZONING: R-5.
 - BASIS OF HORIZONTAL DATUM IS NC GRID NAD 83 (2011).
 - THIS SURVEY WAS PREPARED WITH BENEFIT OF THAT MOREHEAD TITLE COMMITMENT I.D. # 13-854 BEARING AN EFFECTIVE DATE OF MARCH 04, 2013.

DEVELOPMENT CONDITIONS

1. Site Development Data
SITE AREA: 4-13.57 Acres
PARCEL ID NUMBER: 115-051-05
EXISTING ZONING: R-5
EXISTING USE: VACANT
PROPOSED ZONING: INSTITUTIONAL (C3)
PROPOSED USE: COMMUNITY COLLEGE CAMPUS
PROPOSED SQUARE FOOTAGE: MAXIMUM OF 170,000 SQ FT OF BUILDING SPACE FOR COMMUNITY COLLEGE BUILDINGS AND CONFERENCE CENTER
BUILDING HEIGHT: MAXIMUM OF TWO (2) STOREYS FOR ALL PORTIONS OF BUILDINGS WITHIN 100 FEET OF THE CENTER LINE OF CAPITOL DRIVE. OTHER USES, AS PERMITTED BY THE ORDINANCE AS REQUIRED BY THE ORDINANCE
PARKING REQUIRED: AS REQUIRED BY THE ORDINANCE

2. General Provisions
a. These Development Conditions form a part of the rezoning petition filed by Central Piedmont Community College ("Petitioner" or "Owner") to accommodate the development of an approximately 13.57 acre site located at the intersection of Morris Field Drive and Capitol Drive in Charlotte, North Carolina, and which is more particularly depicted on the attached Site Plan (the "Site").
b. These Development Conditions, the Site Plan, Petitioner's Application for Rezoning ("Application") and any revisions thereof are collectively referred to as the "Rezoning Petition" or "Conditional Plan".
c. The development of the Site will be governed by the Rezoning Petition, the Site Plan, and the applicable provisions of the City of Charlotte's Zoning Ordinance (the "Ordinance").
d. Alterations to the Conditional Plan are subject to Section 6.207 Alterations to Approval of the Ordinance.

3. Optional Provisions: N/A

4. Permitted uses
a. Site will be devoted to use as a Community College Campus and Conference Center, together with incidental and/or accessory uses associated therewith, that are permitted under the Ordinance by right or under prescribed conditions in the Institutional Zoning District.

5. Transportation
a. Parking
(1) Location and design of surface parking or loading areas will meet or exceed the standards established under the Ordinance.
(2) Bicycle parking spaces, long term and short term, shall be provided in accordance with the Ordinance.
b. Driveways
(1) Access to the Site shall be provided through an existing driveway on Morris Field Drive (located on parcel # 1150104) or the "Existing Accessway", as well as a second full access driveway on Morris Field Drive in the location as generally depicted on the Site Plan.
(2) Petitioner will provide connectivity of driveways, sidewalks, and/or parking areas located on the Site with those located on the Existing Campus by at least one (1) of the possible locations identified on the Site Plan.
(3) "Star Driveway" located at the Site will be subject to review and approval of the City Department of Transportation (CDOT) and North Carolina Department of Transportation (NCDOT).
(4) Adequate sight triangles shall be provided at the existing/proposed access point(s). All proposed trees, barriers, walls, fences, and/or identification signs must not interfere with sight triangles at the entrance(s).
(5) No access will be provided from Capitol Drive.
c. Right-of-Way
(1) Petitioner will dedicate additional right-of-way along Capitol Drive such that the right-of-way of Capitol Drive will measure 22' from the existing centerline prior to the issuance of the first certificate of occupancy for the Site.
(2) Traffic Study
(i) If required by CDOT, Petitioner will conduct a traffic impact study to determine traffic impacts caused by the development of the Site once a CPCO development plan is adopted and before a building permit is issued for the Site. In the event Petitioner's traffic impact study indicates that traffic mitigation measures are needed, Petitioner agrees to implement reasonably necessary transportation improvements. The necessary transportation improvements, if any, will be mutually agreed upon between Petitioner and CDOT in the reasonable discretion of each.

6. Street Layout, Landscaping and Signage
a. A 50' Class "C" buffer shall be established along Capitol Drive. The buffer shall be regulated by all applicable standards and requirements of the Ordinance; provided, however, Petitioner reserves the right to construct a sidewalk within the buffer as shown on the Site Plan.
b. A 75' Class "B" buffer shall be established as regulated along the common boundary line of parcel # 1150104. The buffer shall be regulated by all applicable standards and requirements of the Ordinance.
c. Water quality basins will be provided as required along the "Existing Accessway" and "Star Driveway".
d. An 8' planting strip will be established within the right-of-way along Capitol Drive that Petitioner will dedicate pursuant to Item 5.c.1 above in the location generally shown on the Site Plan.
e. Petitioner will grant a 5' sidewalk easement within the Class "C" buffer along Capitol Drive, and establish a sidewalk therein, in the location generally shown on the Site Plan. The sidewalk may meander to preserve existing trees.
f. The existing planting strip and sidewalk along Morris Field Drive will remain.
g. Petitioner will either (i) remove the existing neighborhood identification sign at the corner of Capitol Drive and Morris Field Drive, or (ii) seek a variance to allow the sign to remain and allow a new identification sign for the proposed use prior to the issuance of the first certificate of occupancy for the Site.
7. Lighting
a. Footcandle lighting will be limited to twenty five feet (25') in height. All lighting will have full cut-off lighting fixtures.
8. Architectural Standards
a. Building exterior and architectural styles will be consistent with and be complementary to those used by the existing campus and the surrounding area. Exterior building materials will not include vinyl, hardboard, or sheet metal siding.

Amendments to Rezoning Plan:
Future amendments to this Conditional Plan, including these development conditions may be applied for by the Site Owner or Owners of the Site in accordance with the provisions of Chapter 6 of the Ordinance.

Voting:
Pursuant to the provisions of Section 1.110 of the Ordinance and N.C.G.S. §160A-381.1, due to the nature of the redevelopment, the level of investment, the timing of the redevelopment and certain infrastructure, economic cycles and market conditions this Rezoning Petition includes voting of the approved Conditional Plan and conditional zoning district amended with this Rezoning Petition for a five (5) year period.

Binding Effect of the Rezoning Petition:
If this Rezoning Petition is approved, all conditions applicable to development of the Site imposed under these development conditions and the Conditional Plan, will remain in effect in the manner provided under the Ordinance, be binding upon and enforceable by the local government and certain infrastructure, economic cycles and market conditions this Rezoning Petition includes voting of the approved Conditional Plan and conditional zoning district amended with this Rezoning Petition for a five (5) year period.

Respective Interests, Devises, Personal Representatives, Successors in Interest or Assigns, throughout these development conditions, the terms Petitioner and Owner(s) shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of the Petitioner or the owner or owners of the Site from time to time who may be involved in any future development thereof.

APPROVED BY
CITY COUNCIL
SEP 16 2013

