



Charlotte-Mecklenburg Planning Department

DATE: October 11, 2019

TO: Sonja Sanders
Zoning Supervisor

FROM: Taiwo Jaiyeoba
Planning Director

SUBJECT: Administrative Approval for Petition No. 2016-128 Mt. Island Promenade, LLC

Attached is the revised site plan for the petition above. This request allows the modification of the proposed site plan as listed below. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

- Site Plan for an EDEE (Chic-Fil-a)
- Landscaping Plan
- Elevations

Staff supports of the request because:

- The site plan complies with the conditional notes and still meets the intent of the original approval by the City Council.

Note: All other Zoning, Subdivision, Tree Ordinances and conditional Requirements still apply.

Signage was not reviewed as part of this request.

SITE DEVELOPMENT PLANS



FOR

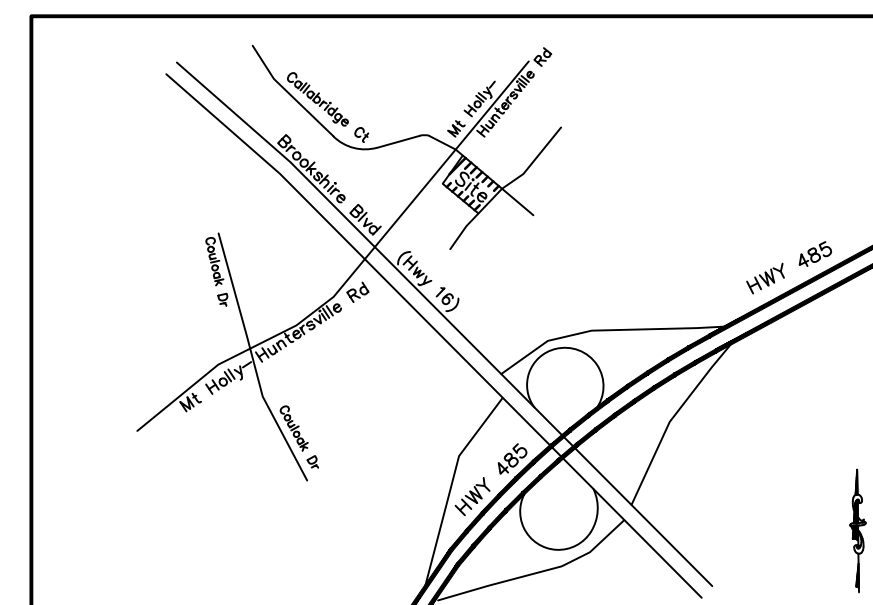
CHICK-FIL-A, INC. LOT B, MT HOLLY-HUNTERSVILLE RD, CHARLOTTE, NC 28216

CONSTRUCTION NOTES:

- ANTICIPATED START PROJECT DATE 06/01/19
- ANTICIPATED COMPLETE PROJECT DATE 09/30/19
- 1. INSTALL EROSION CONTROL FENCE
- 2. DEMOLITION
- 3. CONSTRUCT STORM SYSTEM
- 4. CONSTRUCT WATER AND SEWER SYSTEM
- 5. FINE GRADE SITE
- 6. INSTALL GRASSING AND MULCH (TEMPORARY VEGETATION)
- 7. CONSTRUCT BUILDING
- 8. INSTALL CURB AND GUTTER
- 9. PAVE SITE
- 10. FINAL STABILIZATION (PERMANENT VEGETATION), CLEAN STORM DRAIN SYSTEM
- 11. MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES

ACTIVITY SCHEDULE											
TASK DESCRIPTION:	MONTHS: (2019-2020)										
	Start Date: September 1, 2019										
	SEPTEMBER	OCTOBER	NOVEMBER	DECEMBER							
	1	2	3	4							
CONSTRUCTION EXIT AND PERIMETER SILT FENCE	X										
TEMPORARY SEDIMENT STORAGE FACILITIES	X										
CLEARING & GRUBBING	X										
ROUGH GRADING	X										
TEMPORARY STABILIZATION (GRASSING)			X								
CURB AND GUTTER		X	X								
GRAVEL SUBBASE FOR ROADS AND PARKING AREAS			X								
BUILDING CONSTRUCTION		X	X	X							
FINAL GRADING				X							
PAVING				X							

SEPTEMBER 26, 2019



LOCATION MAP
SCALE: N.T.S.

DESIGN BY:



ENGINEER:
Carter Engineering Consultants, Inc.
3651 Mars Hill Road
Suite 2000
Watkinsville, Georgia 30677
Contact: Mark Campbell, P.E.
Tel.: (770) 725-1200
e-mail: mark@carterengineering.net

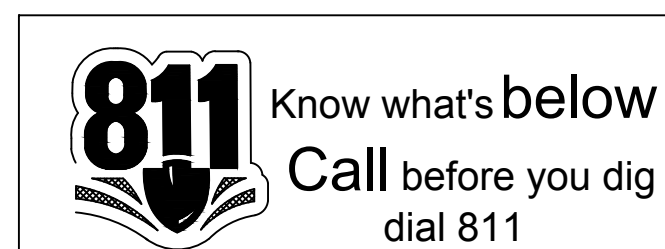
INDEX TO DRAWING

Sheet NO.	TITLE
C-0.0	COVER
C-1.0	SURVEY
C-1.1	DEMO PLAN
C-2.0	SITE PLAN
C-3.0	UTILITY PLAN
C-4.0	GRADING & DRAINAGE PLAN
L-1.0	LANDSCAPE PLAN

DEVELOPMENT DATA:

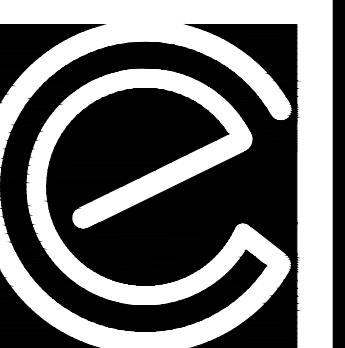
- DEVELOPER: CHICK-FIL-A, INC.
- SITE ADDRESS: LOT B, MT HOLLY-HUNTERSVILLE RD, CHARLOTTE, NC 28216
- ALL IMPROVEMENTS TO CONFORM WITH THE CITY OF CHARLOTTE, NC AND THE MECKLENBURG COUNTY CONSTRUCTION STANDARDS AND SPECIFICATIONS, LATEST EDITION.
- ENGINEER: CARTER ENGINEERING CONSULTANTS, Inc.
- ZONING: NS (LWPA) (SPA)
- SITE ACREAGE: 1.48 ACRES - DISTURBED AREA: 1.4 ACRES

CAUTION
THE UTILITIES SHOWN HEREON ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL CHANGES MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE SOLE RESPONSIBILITY OF THE CONTRACTOR.



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

DATE	DESCRIPTION
04/05/19	INITIAL SUBMITTAL
05/20/19	ADDRESS SITE COMMENTS
07/23/19	SITE/ALTA OVERLAY
08/15/19	PCR
08/27/19	ZONING AMENDMENT APPLICATION
09/18/19	ADDRESS SITE COMMENTS



CARTER ENGINEERING CONSULTANTS

Carter Engineering Consultants, Inc.
3651 Mars Hill Road, Suite 2000
Watkinsville, GA 30677
P: 770.725.1200
F: 770.725.1204
www.carterengineering.net

XXXXXX
STORE # 4388

MT HOLLY-HUNTERSVILLE
RD, CHARLOTTE NC 28216

SHEET TITLE

COVER

REVISION 6 - 2019

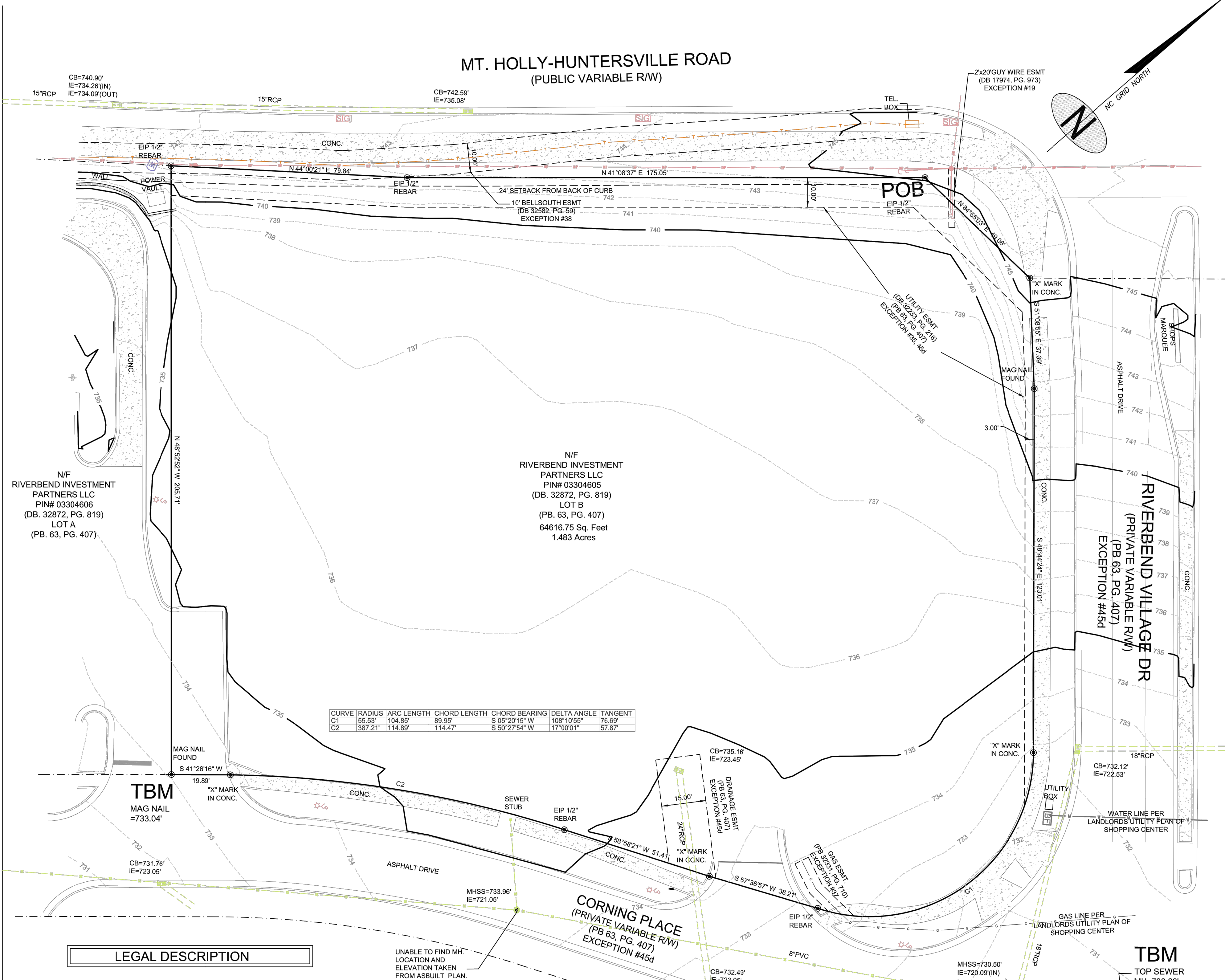
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Store : 4388

Date : 08/15/19

Sheet

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**MT. HOLLY-HUNTERSVILLE ROAD
(PUBLIC VARIABLE RW)**

UTILITY CONTACTS

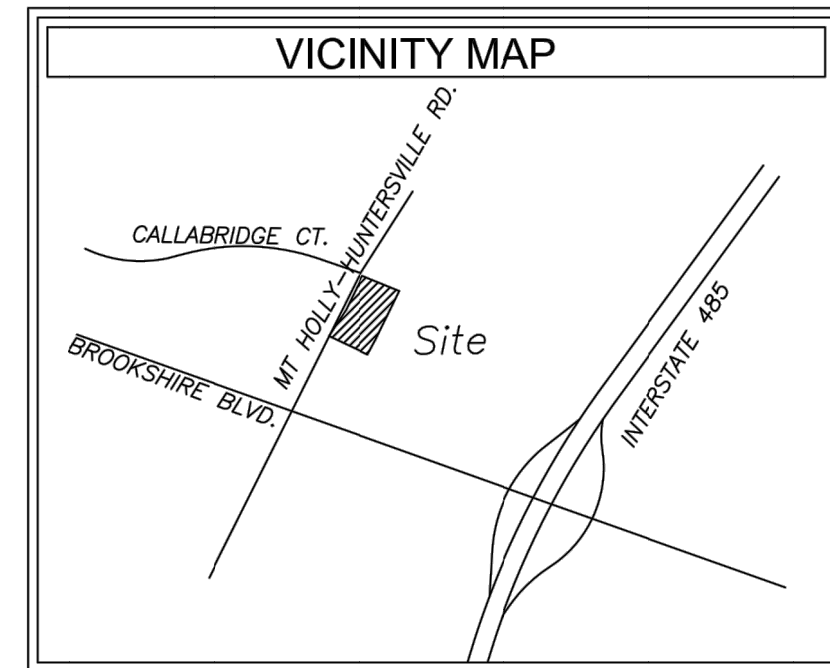
Natural Gas
Piedmont Natural Gas
Mr. Khalid Boston
704-587-6941

Electric
Duke Energy
6325 Wilkinson Blvd.
Charlotte, NC 28214
Mr. Matthew Williams
980-221-7622

Storm Water
City of Charlotte Engineering/
Land Development Department
600 East Fourth Street
Charlotte, NC 28202
Mr. Mark Chapman
704-432-0409

Phone
AT&T
4100 South Stream Blvd.
Charlotte, NC 28217
Mr. Marco Figuerado
980-213-1766

VICINITY MAP



TITLE EXCEPTIONS

- Schedule B Section II Title Exceptions
Chicago Title Insurance Company
Commitment #W0251808807181908ATL : Effective Date: August 23, 2018
- Terms and Conditions of that Master Agreement for Shared Common Facilities by MT Island Promenade, LLC, a North Carolina limited liability company, dated September 2, 2016, recorded in Book 31142, Page 57, aforesaid records as amended in First Amendment to Reciprocal Easement Agreement dated November 7, 2017, recorded November 7, 2017, recorded in Book 32256, Page 198, aforesaid records, limiting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law. (AFFECTS SITE)
 - Terms and conditions of that Reciprocal Easement Agreement by and among Harris Teeter Properties, LLC and MT Fuel Inc. LLC, dated September 2, 2016, recorded in Book 31142, Page 57, aforesaid records as amended in First Amendment to Reciprocal Easement Agreement dated November 7, 2017, recorded November 7, 2017, recorded in Book 32256, Page 198, aforesaid records, limiting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law. (AFFECTS SITE)
 - Easement to Duke Power Company recorded in Book 918, Page 183, (BLANKET ESMT)
 - Easement to Southern Bell Telephone and Telegraph Company recorded in Book 992, Page 538, aforesaid records. (BLANKET ESMT)
 - Terms and conditions of Consent Judgment in the action of Duke Power Company vs. Dunn Development Corporation, filed August 25, 1977 and recorded in Book 3979, Page 320, aforesaid records, as affected by Special Proceedings recorded in 75SP718, filed in the Office of the Clerk of Superior Court for Mecklenburg County. (DOES NOT AFFECT SITE)
 - Terms and conditions of Consent Judgment in the case of Department of Transportation v. Diane C. Laws, and husband Clinton Roy Laws, Jr., as affected by Civil Action No. 89-CVS-8675, recorded in Book 10906, Page 185, Mecklenburg County, North Carolina records. (DOES NOT AFFECT SITE)
 - Terms and conditions of Consent Judgment in the case of Department of Transportation v. Wingspread Investments, LLC, being Civil Action No. 02-CVS-12695, recorded February 25, 2003 in Book 14878, Page 602, aforesaid records. (DOES NOT AFFECT SITE)
 - Easement from Clyde W. Cox and wife, Jewel C. Cox, and Robert E. Perry, Jr., Trustee, and Mutual Savings & Loan Association of Charlotte to James M. Skinner, Sr. and wife, Dianne C. Skinner, dated November 13, 1975 recorded in Book 3801, Page 982, aforesaid records; as affected by that Deed from James M. Skinner, Sr. and wife, Dianne C. Skinner to Curtis Dale Santam, dated April 27, 1984, recorded in Book 4826, Page 998, aforesaid records. (DOES NOT AFFECT SITE)
 - Essements to the City of Charlotte recorded in Book 17329, Page 239; Book 17728, Page 814, as affected by Abandonment of Easement recorded in Book 31784, Page 232; Book 17728, Page 869; and Book 17974, Page 973, all recorded in Mecklenburg County, North Carolina records. (BOOK 17974, Page 973 AFFECTS SITE AS PLOTTED) (ALL OTHER DOCUMENTS IN EXCEPTION DO NOT AFFECT SITE)
 - Essements, Conditions, Rights, Privileges and Restrictions set forth in Deed between the State of North Carolina, Department of Transportation and Dianne Cox Laws, dated January 8, 2004, recorded in Book 16708, Page 292, aforesaid records. (DOES NOT AFFECT SITE)
 - Controlled access provisions set forth in Deeds of Easement to the Department of Transportation recorded as follows:
(a) from Dunn Development Corporation dated July 27, 1979 and recorded in Book 4236, Page 312, aforesaid records; and
(b) from Dunn Development Corporation dated July 27, 1979 and recorded in Book 4236, Page 315, aforesaid records. (DOES NOT AFFECT SITE)
 - Temporary Slope Easements from Dunn Development Corporation to the Department of Transportation recorded as follows:
(a) Book 4236, Page 322, aforesaid records;
(b) Book 4236, Page 324, aforesaid records; and
(c) Book 4236, Page 324, aforesaid records. (DOES NOT AFFECT SITE)
 - Deed of Easement from Joseph B. Dunn and wife, Mrs. Joseph B. Dunn dated May 17, 1979, recorded July 17, 1979 in Book 4211, Page 571, aforesaid records. (DOES NOT AFFECT SITE)
 - Temporary Easement Agreement by and between Strong Willed IV, LLC et al., and Mountain Island Promenade, LLC, dated April 26, 2007 recorded in Book 22204, Page 56, aforesaid records. (DOES NOT AFFECT SITE)
 - Essements for ingress, egress and regress set forth in Deeds recorded in Book 3169, Page 14; and Book 8576, Page 373, all aforesaid records. (DOES NOT AFFECT SITE)
 - Sewer Line Easement between Cox Investment Properties, LTD and D.P. Horton, Inc. - Torrey, dated January 28, 1998, recorded in Book 9469, Page 369, aforesaid records. (DOES NOT AFFECT SITE)
 - Essements recorded as follows:
(a) in favor of Clyde W. Cox, Jr. and wife, Cynthia M. Cox, recorded in Book 4563, Page 621, aforesaid records; (DOES NOT AFFECT SITE)
(b) in favor of Clyde W. Cox and wife, Jewell C. Cox, recorded in Book 5315, Page 854, aforesaid records; and (DOES NOT AFFECT SITE)
(c) in favor of Clyde W. Cox, Jr. and wife, Cynthia M. Cox, recorded in Book 5316, Page 43, all aforesaid records. (DOES NOT AFFECT SITE)
 - Easement Agreement from Clyde W. Cox, Jr. and wife Cynthia M. Cox, dated February 12, 2004, recorded in Book 31784, Page 232, aforesaid records. (DOES NOT AFFECT SITE)
 - Easement Agreement between Mr. Island Promenade LLC and City of Charlotte, a municipal corporation, recorded May 8, 2017 in Book 31784, Page 242, aforesaid records. (DOES NOT AFFECT SITE)
 - Easement Agreement from Mr. Island Promenade LLC to the City of Charlotte, a municipal corporation, recorded May 16, 2017 in Book 31804, Page 834, aforesaid records. (DOES NOT AFFECT SITE)
 - Easement Agreement from Mr. Island Promenade LLC in favor of the City of Charlotte, recorded May 16, 2017 in Book 31804, Page 837, aforesaid records. (DOES NOT AFFECT SITE)
 - Easement Agreement from Mr. Island Promenade LLC and City of Charlotte, recorded May 16, 2017 in Book 31855, Page 308, aforesaid records. (AFFECTS SITE)
 - Temporary Grading and Construction Easement Agreements recorded in Book 32196, Page 585; and Book 32589, Page 500, all aforesaid records. (DOES NOT AFFECT SITE)
 - Release contained in that Quit Claim Deed recorded in Book 32211, Page 204, from the Department of Transportation to MT Island Promenade, LLC, dated June 9, 2017, recorded in Book 32211, Page 204, aforesaid records. (DOES NOT AFFECT SITE)
 - Easement from MT Island Promenade, LLC to Duke Energy Carolinas, LLC, dated October 27, 2017, recorded in Book 32331, Page 216, aforesaid records. (DOES NOT AFFECT SITE)
 - Temporary Construction Easement Agreement by and between Callabridge/Groutie, LLC and MT Island Promenade, LLC, dated October 27, 2017, recorded in Book 32323, Page 609, aforesaid records. (DOES NOT AFFECT SITE)
 - Grant of Easement Distribution in favor of Piedmont Natural Gas Company, Inc. from MT Island Promenade, LLC, dated May 12, 2017, recorded in Book 32331, Page 710, aforesaid records. (AFFECTS SITE AS PLOTTED)
 - Easement in favor of BellSouth Telecommunications, LLC d/b/a AT&T North Carolina, a Georgia limited liability company, recorded April 5, 2016 in Book 32582, Page 59, aforesaid records. (AFFECTS SITE; AS PLOTTED)
 - Private Street Easements recorded in Book 32589, Page 530; Book 32589, Page 679; and Book 32693, Page 558, all aforesaid records. (RIVERBEND VILLAGE DR AS SHOWN)(DO NOT AFFECT THE CFA PARCEL)
 - Revision of Access State Hwy, Project No. 81634801 by Department of Transportation and MT Island Promenade, LLC, dated April 16, 2018, recorded in Book 32683, Page 782, aforesaid records. (DOES NOT AFFECT SITE)
 - Easement Agreement in favor of City of Charlotte from MT Island Promenade LLC, dated May 17, 2018, recorded in Book 32699, Page 58, aforesaid records. (DOES NOT AFFECT SITE)
 - Easement Agreement in favor of the City of Charlotte from MT Island Promenade, LLC dated June 19, 2018, recorded in Book 32766, Page 94, aforesaid records. (DOES NOT AFFECT SITE)
 - Easement Agreement from MT Island Promenade, LLC to City of Charlotte, a municipal corporation, dated June 19, 2018, recorded in Book 32766, Page 99, aforesaid records. (DOES NOT AFFECT SITE)
 - Easement Agreement by and between MT Island Promenade, LLC and the City of Charlotte, dated March 21, 2018, recorded in Book 32861, Page 415, aforesaid records. (DOES NOT AFFECT SITE)
 - All matters as disclosed by the following Plats of Survey:
a. Plat entitled "Revised Recombination Plat" prepared for MT Island Promenade, LLC, recorded in Book 59, Page 788, aforesaid records.
b. Plat entitled "Subdivision Plat" prepared for MT Island Promenade, LLC, recorded in Book 60, Page 847, aforesaid records.
c. Plat entitled "Subdivision Survey - Riverbend Apartments", recorded in Book 62, Pages 459-460, aforesaid records.
d. Plat entitled "Subdivision Plat Riverbend Village", recorded in Plat Book 63, Pages 407-410, aforesaid records. (MATTERS AFFECTING SITE ARE AS SHOWN)

LEGEND

- CB CPP CT DI IE JB MH OT POB POC TBM RCP SS OHP EIP NIP
- CATCH BASIN
- CORRUGATED PLASTIC PIPE
- CRIMPED TOP PIPE
- DROP INLET
- INVERT ELEVATION
- JUNCTION BOX
- MANHOLE
- OPEN TOP PIPE
- POINT OF BEGINNING
- POINT OF COMMENCEMENT
- TEMPORARY BENCHMARK
- REINFORCED CONCRETE PIPE
- SANITARY SEWER
- OVERHEAD POWER
- IRON PIN FOUND
- IRON PIN SET
- WATER VALVE
- GAS VALVE
- TELEPHONE PEDESTAL
- ELECTRICAL BOX
- GUY WIRE
- GAS LINE
- WATER LINE
- POWER LINE
- UNDERGROUND POWER LINE
- SEWER LINE
- FIBER OPTIC LINE
- PHONE LINE
- LIGHT POLE
- POWER POLE
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- CATCH BASIN
- GAS METER
- POWER METER
- BACKFLOW VALVE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1	55.53'	104.85'	89.95'	S 05°20'15" W	108°10'55"	76.89'
C2	387.21'	114.89'	114.47'	S 50°27'54" W	17°00'01"	57.87'

LEGAL DESCRIPTION

All that tract or parcel of land lying and being in Charlotte, Mecklenburg County, North Carolina and being more particularly described as follows:

Beginning at a 1/2" rebar found at the southeastern right-of-way of Mt. Holly Huntersville Rd. (Variable R/W) and the southwestern right-of-way of Riverbend Village Dr. (Private Variable R/W); thence with said private right-of-way of Riverbend Village Dr. the following calls: N 84°55'03" E a distance of 49.08' to a "x" mark in conc. found; thence S 51°08'55" E a distance of 37.39' to a mag nail found; thence S 48°44'24" E a distance of 123.01' to a "x" mark in conc. found; thence with a curve turning to the right with an arc length of 104.85', with a radius of 55.53', with a chord bearing of S 05°20'15" W, with a chord length of 89.95'; to a 1/2" rebar found along the northern right-of-way of Corning Place (Private Variable R/W); thence with said right-of-way the following calls: S 57°36'57" W a distance of 38.21' to a "x" mark in conc.; thence S 58°58'21" W a distance of 51.41' to a 1/2" rebar found; thence with a curve turning to the left with an arc length of 114.89', with a radius of 387.21', with a chord bearing of S 50°27'54" W, with a chord length of 114.47'; to a "x" mark in conc. found; thence S 41°26'16" W a distance of 19.89' to a mag nail found; thence leaving said right-of-way N 48°52'52" W a distance of 205.71' to a 1/2" rebar found along the southeastern right-of-way of Mt. Holly Huntersville Rd. (Variable R/W) thence with said right-of-way the following calls: N 44°00'21" E a distance of 79.84' to a 1/2" rebar found; thence N 41°08'37" E a distance of 175.05' to a 1/2" rebar found, said pin being the Point of Beginning.

Said parcel being Lot B (PB. 63, pg. 407) and having an area of 64616.75 square feet, 1.463 acres.

GENERAL NOTES

- Subject property is not located within 100 yr Flood Plain (Zone X) according to Federal Emergency Management Agency, Flood Insurance Rate Map 3710451700K with an effective date of 9/2/15.
- Elevations based on GPS Observation using CORS Stations "177 WELCOME CNTR CORS", "WHITE ROSE CORS", and "MOORESVILLE CORS". Vertical Datum NAVD 88.
- Contact proper Authorities Before building near utility lines, for easement width and restrictions. Utilities are approximate and should be verified prior to any construction.
- This survey has been prepared for the exclusive use of the person or entities named hereon. No express or implied warranties with respect to the information shown hereon is to be extended to any persons or entities other than those shown hereon.
- A Topcon Hipex RIK GPS unit was used to collect boundary control. A Topcon 802A was used to collect boundary data from set control. Boundary control points were collected and re-collected on two separate days. The positional tolerance was within 0.07' and was not adjusted.
- Areas calculated by coordinate method.
- Property Zoned NS
- Front: (Riverbend Village Dr) 0'
- Left Side: (Corning Place) 0'
- Right Side: (Mt Holly) 24'
- Rear: (Undeveloped Lot) 0'
- Setbacks need to be verified by Site Engineer.
- There was evidence of recent earth moving work or construction was observed on the property.
- No evidence of the site being used as a solid waste dump, sump or sanitary landfill.
- UNABLE TO VISUALLY INSPECT INVERT & DETERMINE PIPE SIZE
- UNABLE TO FIND MH LOCATION AND ELEVATION TAKEN FROM ASSULTY PLAN. MH APPARENTLY BURIED.

SURVEYORS CERTIFICATE

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1-6a, 7a, b, 8, 9, 11, 13, 16, 17, 18, 20 and 21 of Table A thereof. The field work was completed on 7/16/19.

7/16/19 Date

Michael S. Perdue PLS #L-4322



PLEASE NOTE
INFORMATION REGARDING THE PRESENCE, SIZE AND LOCATION OF UNDERGROUND UTILITIES IS SHOWN HEREON. THIS INFORMATION HAS BEEN SHOWN BASED ON THE LOCATION OF ABOVE GROUND APPURTENANCES, AVAILABLE DESIGN PLANS, AND FLAGS AND PAINT PLACED BY THE UNDERGROUND PROTECTION SERVICE. NO CERTIFICATION IS MADE AS TO THE ACCURACY OF THOROUGHNESS OF THE INFORMATION CONCERNING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON.



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998



MICHAEL S. PERDUE, PLS #L-4322

CHICK-FIL-A
Mountain Island FSU
CITY: CHARLOTTE
COUNTY: MECKLENBURG
STATE: NORTH CAROLINA

FSU# 04388

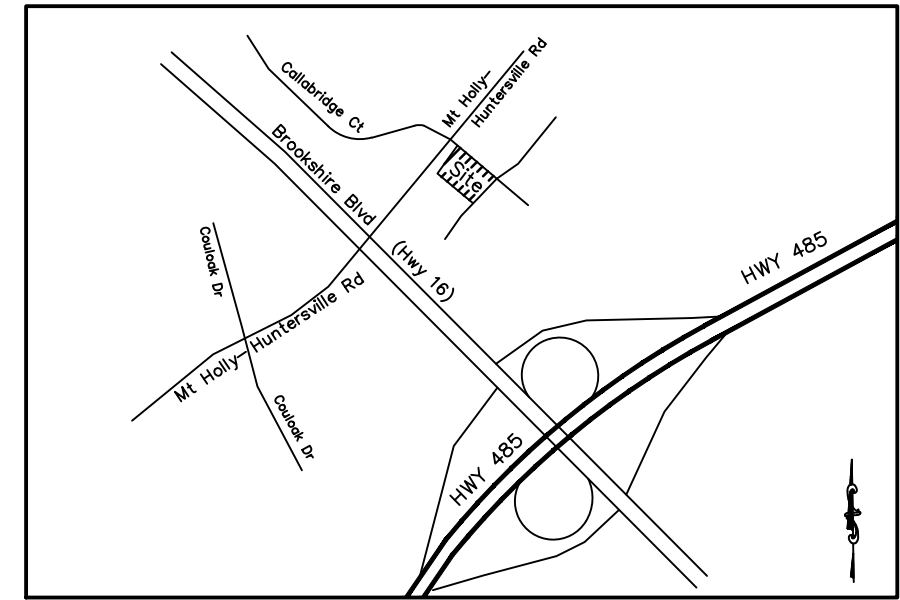
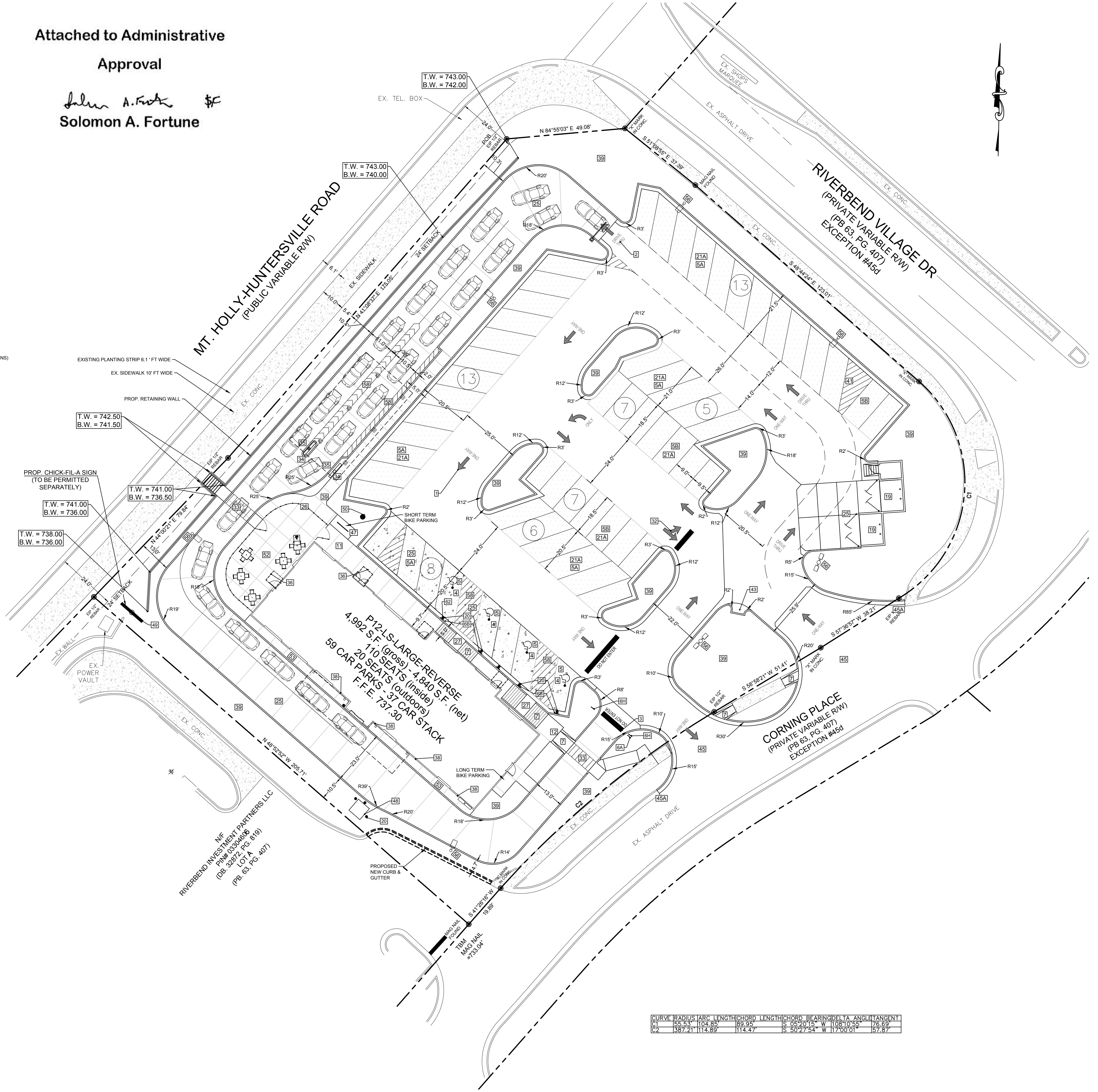
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PRINTED FOR			
DATE		07/16/2019	
DRAWN BY		MSP	
SHEET			
ALTA / NSPS SURVEY			
SHEET NUMBER			

Attached to Administrative
Approval

Solomon A. Fortune **Solomon A. Fortune**

SITE PLAN DESIGN NOTES & KEY PLAN

- 1 PAINTED DIRECTIONAL ARROW
- 2 PAINTED DRIVE-THRU GRAPHICS
- 3 PAINTED STOP LINE GRAPHIC
- 4 PAINTED HANDICAP PARKING SYMBOL
- 5 ACCESSIBLE PARKING STALL
- 5A 80' PARKING STALL @ 9' x 19' MIN.
- 5B 90' PARKING STALL @ 9' x 19' MIN.
- 6 DIRECTIONAL SIGNAGE (SEE SIGNAGE PACKAGE)
- 6A *STOP SIGN (SEE SIGNAGE PACKAGE)
- 6B *ACCESSIBLE PARKING SIGN (SEE SIGNAGE PACKAGE)
- 6C *CIRCLE BUILDING FOR DRIVE-THRU SERVICE (SEE SIGNAGE PACKAGE)
- 6D *RIGHT-TURN ONLY SIGN (SEE SIGNAGE PACKAGE)
- 6E *ONE-WAY SIGN (USE APPLICABLE DIRECTION) (SEE SIGNAGE PACKAGE)
- 6F *LEFT-TURN ONLY SIGN (SEE SIGNAGE PACKAGE)
- 6G *PEDESTRIAN CROSSWALK SIGN (SEE SIGNAGE PACKAGE)
- 6H *DO NOT ENTER SIGN (SEE SIGNAGE PACKAGE)
- 6I *NO PARKING SIGN (SEE SIGNAGE PACKAGE)
- 6J *TWO-ORDER LANE SIGN (SEE SIGNAGE PACKAGE)
- 6K *LANE MERGE SIGN (SEE SIGNAGE PACKAGE)
- 7 SIDEWALK ACCESSIBLE RAMP
- 8 CURB RAMP WITH FLARED SIDES
- 9 CURB RAMP WITH SHORT FLARED SIDES
- 10 RETURNED CURB ACCESSIBLE RAMP
- 10 TRUNCATED DOMES - CAST IN PLACE (ONLY IF REQUIRED)
- 11 TYPICAL CONCRETE SIDEWALK (SEE DETAIL FOR REVISIONS)
- 12 SIDEWALK WITH CURB & GUTTER SECTION (SEE DETAIL FOR REVISIONS)
- 13 DRIVE-THRU PLAN
- 14 DRIVE-THRU ISOMETRIC
- 15 CONCRETE WHEEL STOP
- 16 LANDSCAPE & IRRIGATION PROTECTOR
- 17A SPILLING 24" CONCRETE CURB & GUTTER
- 17B CATCHING 24" CONCRETE CURB & GUTTER
- 17C DEPRESSIONED SPILLING 24" CONCRETE CURB & GUTTER
- 17D DEPRESSIONED CATCHING 24" CONCRETE CURB & GUTTER
- 18 ROLLOFF/DEMOUNTABLE CURB
- 19 SCREENED REFUSE ENCLOSURE
- 19A SCREENED REFUSE ENCLOSURE - FLAGGED
- 19B SCREENED REFUSE ENCLOSURE - ALTERNATE DRAINAGE
- 20 CONCRETE BOLLARD
- 21A TYPICAL PAVEMENT SECTION - MEDIUM DUTY
- 21B TYPICAL PAVEMENT SECTION - HEAVY DUTY
- 21C HIGH DUTY PAVEMENT RESURFACE
- 22 TRANSVERSE & LONGITUDINAL CONTRACTION JOINT
- 23 TRANSVERSE & LONGITUDINAL DOWELED CONTRACTION JOINT
- 24 CONCRETE APRON @ TRASH ENCLOSURE
- 25 CONCRETE PAVING
- 26 ALUMINUM HANDRAIL
- 27 TYPICAL ADA RAMP AND HANDRAIL
- 28 GORGE/ROW JOINT
- 29 NEWED CONTRACTION JOINT
- 30 LONGITUDINAL DUFF JOINT
- 31 EXPANSION JOINT
- 32 MULTI-LANE DIRECTIONAL GRAPHICS
- 33 PAINTED CROSS WALK
- 34 MENU BOARD & CANOPY ORDERING STATION
- 35 MENU BOARD LOOP DETECTION SYSTEM
- 36 6"x6" LANDING AND ENTRY DOOR FROST SLAB
- 37 GREASE TRAP (SEE UTILITY PLAN)
- 38 ROOF DOWNSPOUT (TO CONNECT TO SITE DRAINAGE SYSTEM)
- 39 LANDSCAPED AREA (SEE LANDSCAPE PLAN)
- 40 CLEARANCE BAR (SEE SIGNAGE PACKAGE)
- 41 PAVEMENT STRIPING AREA
- 42 THICKENED SLAB EDGE AT RAILING/GDRE/GRILLS
- 43 CONCRETE FLAME
- 44 EX ASPHALT/FPROP - CONCRETE INTERFACE
- 45 EX.PROP. ASPHALT INTERFACE
- 45A EX.PROP. CURB INTERFACE
- 46 EX.PROP. CONCRETE INTERFACE
- 47 SINGLE BIKE RACK
- 48 TRANSFORMER
- 49 CHICK-FIL-A PRIME SIGN (SEE SIGNAGE PACKAGE)
- 50 FLAGPOLE, 50' (SEE SIGNAGE PACKAGE)
- 51 RETAINING WALL WITH HANDRAIL ON TOP (HANDRAIL SIMILAR TO DETAIL 20(C)-2)
- 52 TYPICAL LOCATION FOR THREE OUTDOOR TABLES. WHEN MORE SPACE IS AVAILABLE, OUTDOOR SEATING MAY BE EXPANDED.
- 53 4" THICK CONCRETE STRIP BETWEEN BUILDING AND BACK OF CURB
- 54 4" THICK CONCRETE STRIP BETWEEN CURBS
- 55 4" WIDE PAINT STRIPE
- 56 STANDARD LIGHT POLE
- 57 SIGNAGE STRIP WITH SIGN (SEE SIGNAGE PACKAGE)
- 58 CONCRETE STRIPING AREA. CONCRETE TO BE PER CONCRETE PAVING DETAIL ON SHEET C-5.1
- 59 CONCRETE VALLEY GUTTER
- 60A 3" WIDE CONCRETE FLAME
- 61 CATERING & CARRY-OUT (SEE SIGNAGE PACKAGE)
- 62 CURBSIDE DELIVERY (SEE SIGNAGE PACKAGE)
- 63 2" WIDE 4" THICK CONCRETE LANDSCAPE PROTECTION STRIP



LOCATION MAP
SCALE: N.T.S.

NOTE:
SUBJECT PROPERTY IS NOT LOCATED WITHIN 100 yr FLOOD PLAIN (ZONE X) ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP 3710451700K WITH AN EFFECTIVE DATE OF 09/02/15.

SITE DATA:

TOTAL SITE AREA:	1.48 ACRES
BUILDING AREA:	4,840 S.F.
BUILDING HEIGHT:	21'-8"
PROPOSED IMPERVIOUS AREA:	1.11 acres
PROPOSED IMPERVIOUS COVERAGE:	75.0 %

PARKING DATA:

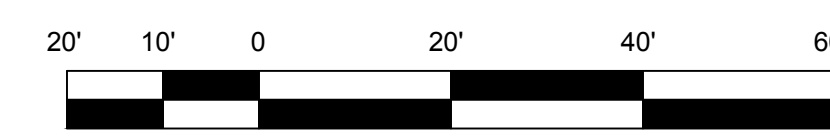
-REQUIRED-

- CAR: 1 SPACE PER 75 S.F. = 4,840 / 75 = 64.5 = 65 SPACES
- LONG TERM BIKE: 2 OR 1 PER 10,000 S.F. = 2 SPACES
- SHOT TERM BIKE: 5% OF AUTO PARKING = 65 X 5% = 3.25 = 4 SPACES

-PROPOSED-

- 55 REGULAR CAR SPACES
- 4 HANDICAP SPACES
- 2 LONG TERM BIKE SPACES
- 4 SHORT TERM BIKE SPACES
- 59 MOTOR VEHICLE PARKING SPACES
- 6 BICYCLE SPACES
- 65 TOTAL SPACES PROVIDED

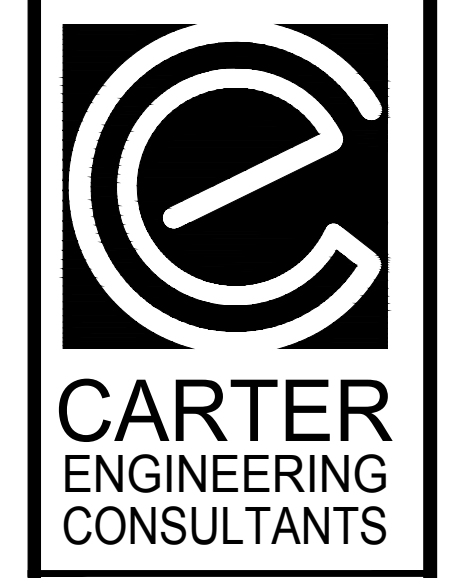
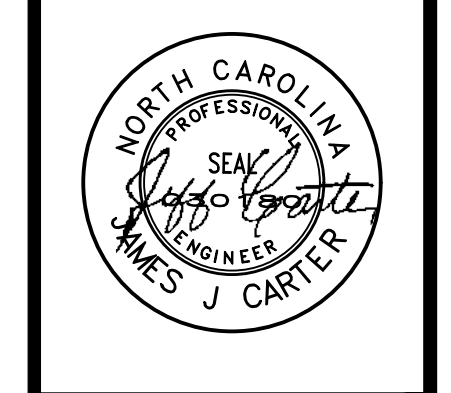
CURVE	RADIUS [ARC LENGTH]	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1	55.53'	110.45'	89.35°	S 05°20'15" W	110.8105'
C2	187.21'	114.89'	114.47°	S 50°27'54" W	117.0001'



Chick-fil-A

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

NO.	DATE	INITIAL SUBMITTAL	ADDRESS SITE COMMENTS
A	04/05/19		
B	07/20/19		
C	08/15/19		
D	08/27/19		
E	09/18/19		



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www.carterengineering.net

XXXXXX
STORE # 4388

MT HOLLY-HUNTERSVILLE
RD, CHARLOTTE NC 28216

SHEET TITLE

SITE PLAN

REVISION 6 - 2019

Job No. : 19007CFA
Store : 4388
Date : 08/15/19

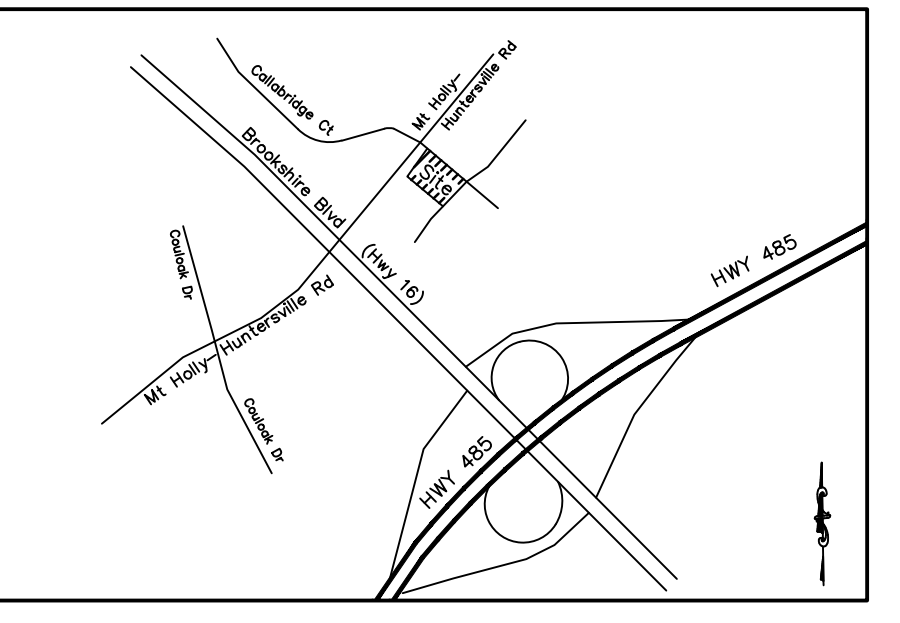
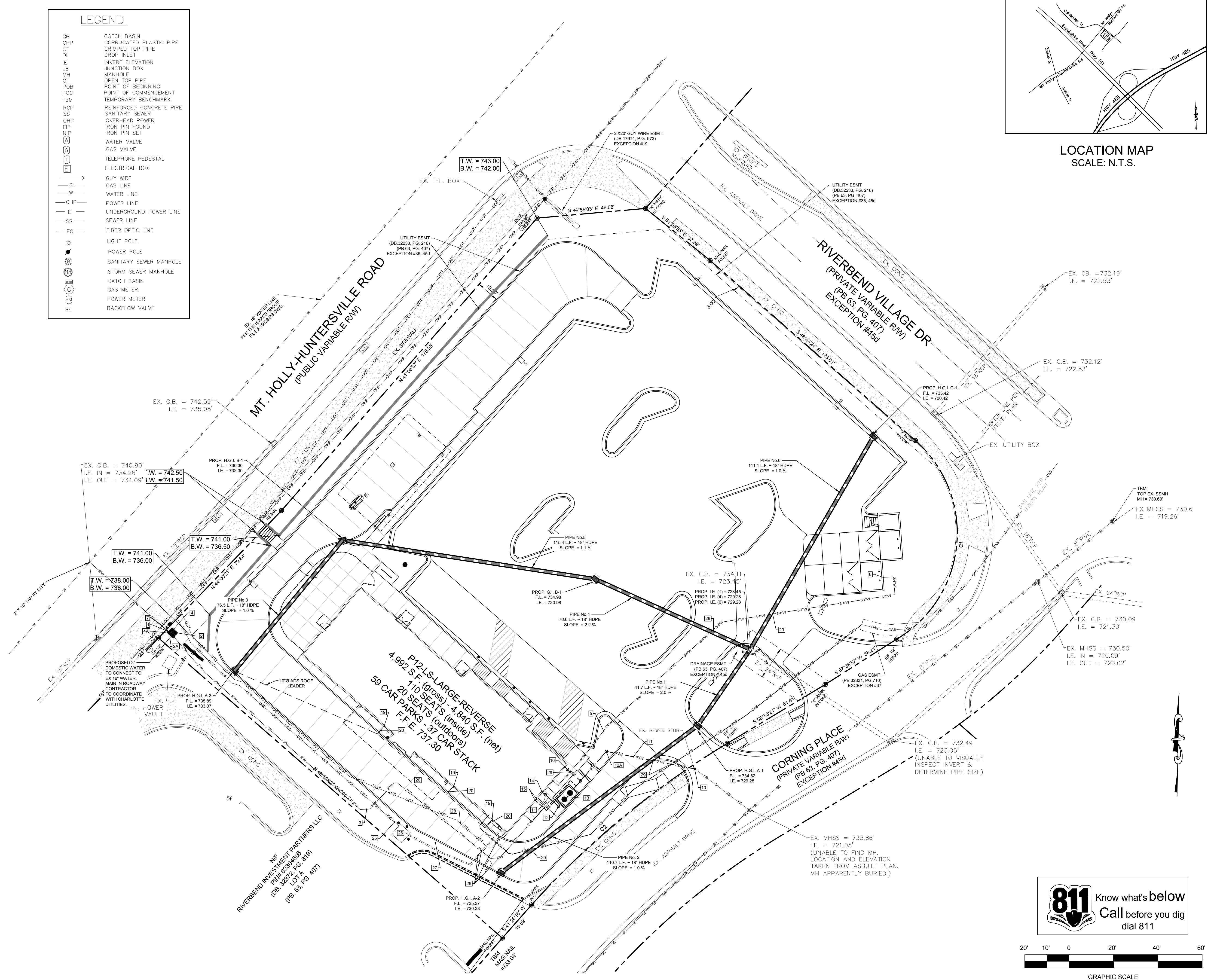
Sheet

C-2.0

- LAYOUT NOTES**
- INSTALL 2" DOMESTIC WATER SERVICE CONNECTION PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS. WATER COMPANY TO MAKE TAP.
 - INSTALL 1" IRRIGATION WATER SERVICE CONNECTION FROM EXISTING WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS. WATER COMPANY TO MAKE TAP.
 - INSTALL 1" IRRIGATION REDUCED PRESSURE BACKFLOW ASSEMBLY PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS.
 - INSTALL 1" IRRIGATION REDUCED PRESSURE BACKFLOW ASSEMBLY (REQUIRED) PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS. INSTALL AHEAD OF ANY SPRINKLER. INSTALL IN APPROVED ABOVE GROUND HOT BOX AND NO LESS THAN 12" FROM RELIEF GROUND LEVEL.
 - INSTALL 2" TYPE K COPPER DOMESTIC WATER SERVICE PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
 - INSTALL 2" TYPE K COPPER COLD WATER SERVICE TO DUMPSTER POST HYDRANT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
 - INSTALL 1 1/2" DOMESTIC WATER METER AND METER PIT PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS. WATER COMPANY TO INSTALL WATER METER AND CONTRACTOR TO INSTALL PIT.
 - INSTALL 1" IRRIGATION METER AND METER PIT PER WATER COMPANY'S SPECIFICATIONS AND REQUIREMENTS. WATER COMPANY TO INSTALL WATER METER AND CONTRACTOR TO INSTALL PIT.
 - INSTALL 3/4" TYPE K COPPER COLD WATER SERVICE TO DUMPSTER POST HYDRANT. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
 - INSTALL DUMPSTER POST HYDRANT. REFER TO THE FIXTURE CONNECTION SCHEDULE (P-31) DELETED ON THE PROJECT PLUMBING PLANS.
 - WASTEWATER SERVICE SEWER CONNECTION POINT. CONTRACTOR TO LOCATE EXISTING SEWER AS REQUIRED PER UTILITY COMPANY'S SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL OBTAIN THE EXISTING ELEVATION OF THE CONNECTION POINT AND VERIFY THAT IT IS DEEP ENOUGH TO SERVICE THE BUILDING FINISHED FLOOR AS DESIGNED. REPORT ANY ISSUES TO CARTER ENGINEERING CONSULTANTS, INC. PRIOR TO THE START OF THE BUILDING FOUNDATION CONSTRUCTION.
 - INSTALL 4" SCHEDULE 40 PVC WASTEWATER SERVICE LINE AT 1% MINIMUM SLOPE. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
 - INSTALL 4" CLEAN OUT. CLEAN OUT SHALL BE FLUSH IN PAVEMENT & INSTALLED UNDER A PROTECTIVE METAL BOX COVER SIMILAR TO A METER PIT COVER WITH A TRAFFIC BEARING LD.
 - INSTALL 4" TWO-WAY CLEAN OUT. CLEAN OUT SHALL BE FLUSH IN PAVEMENT & INSTALLED UNDER A PROTECTIVE METAL BOX COVER SIMILAR TO A METER PIT COVER WITH A TRAFFIC BEARING LD.
 - INSTALL PRECAST 150 GALLON CAPACITY GREASE TRAP. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR. TOP OF MANHOLE TO MATCH APPROACH PAD GRADE WHERE APPLICABLE. VERIFY GREASE TRAP MEETS CITY/STATE SPECIFICATIONS PRIOR TO INSTALLATION. CONTRACTOR RESPONSIBLE TO VERIFY ELEVATION OF SANITARY LATERAL PIPES AT GREASE TRAP PRIOR TO THE START OF SEWER CONSTRUCTION.
 - INSTALL 4" KITCHEN WASTE LINE (FL = 9'-0" BELOW FINISHED FLOOR ELEVATION). SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
 - INSTALL 3" VENT LINE. CONNECT TO GREASE INTERCEPTOR (SEE SHEET P-4 FOR LOCATION). SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
 - INSTALL 4" RESTROOM WASTE LINE (FL = 4'-0" BELOW FINISHED FLOOR ELEVATION). SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
 - INSTALL 4" DUMPSTER WASTE LINE (FL = 4'-0" BELOW FINISHED FLOOR ELEVATION). SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
 - INSTALL DOWNSPOUT FOR ROOF DRAINAGE (REFER TO ARCHITECTURAL PLANS). CONNECT TO STORM SEWER. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR (SEE DETAIL 38 ON SHEET C-4.3).
 - INSTALL 4" SCHEDULE 40 PVC ROOF DRAIN PIPE DRAIN INCLUDING ALL NECESSARY FITTINGS. CONNECT TO ROOF DRAIN. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
 - INSTALL 10" ADS ROOF DRAIN PIPE INCLUDING ALL NECESSARY FITTINGS. CONNECT TO STORM SEWER. SITE CONTRACTOR TO COORDINATE WITH BUILDING AND PLUMBING CONTRACTOR.
 - INSTALL GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION TO INSURE THE APPROPRIATE BENDS ARE INCORPORATED TO MAINTAIN A MINIMUM OF 1' CLEARANCE BELOW ALL STORM SEWER, WATER, AND WASTEWATER LINES OR SERVICES WHEN CROSSING. CONTRACTOR TO COORDINATE WITH GAS COMPANY.
 - COORDINATE GAS METER INSTALLATION WITH GAS COMPANY. CONTRACTOR TO MARK LOCATION OF METER ON WALL PRIOR TO GAS COMPANY ARRIVING ON-SITE.
 - INSTALL UNDERGROUND PRIMARY ELECTRIC SERVICE. INSTALL 3/4" SCHEDULE 40 CONDUITS FROM POWER POLE TO TRANSFORMER PAD LOCATION ALONG WITH PULL STRINGS. ALL ITEMS PER ELECTRIC COMPANY SPECIFICATIONS AND REQUIREMENTS. CONDUIT DEPTH TO BE _____.

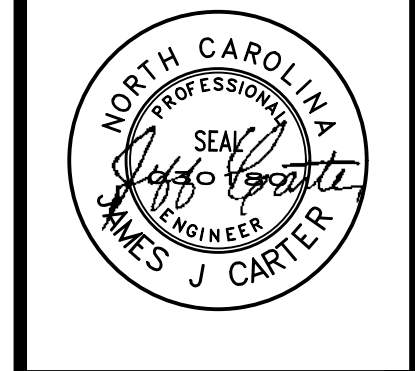
LEGEND

CB	CATCH BASIN
CPP	CORRUGATED PLASTIC PIPE
CT	CRIMPED TOP PIPE
DI	DROP INLET
IE	INVERT ELEVATION
JB	JUNCTION BOX
MH	MANHOLE
OT	OPEN TOP PIPE
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
TBM	TEMPORARY BENCHMARK
RCP	REINFORCED CONCRETE PIPE
SS	SANITARY SEWER
OHP	OVERHEAD POWER
EIP	IRON PIN FOUND
NIP	IRON PIN SET
W	WATER VALVE
G	GAS VALVE
T	TELEPHONE PEDESTAL
E	ELECTRICAL BOX
G	GUY WIRE
W	GAS LINE
W	WATER LINE
OHP	POWER LINE
E	UNDERGROUND POWER LINE
SS	SEWER LINE
FO	FIBER OPTIC LINE
*	LIGHT POLE
⊙	POWER POLE
⊙	SANITARY SEWER MANHOLE
⊙	STORM SEWER MANHOLE
⊙	CATCH BASIN
⊙	GAS METER
⊙	POWER METER
⊙	BACKFLOW VALVE



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

NO.	DATE	INITIAL SUBMITTAL	ADDRESS SITE COMMENTS	SITE/ALTA OVERLAY	PCR	ZONING AMENDMENT APPLICATION	ADDRESS SITE COMMENTS
A	04/05/19						
B	05/20/19						
C	07/23/19						
D	08/15/19						
E	08/27/19						
F	09/18/19						



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XXXXXX
STORE # 4388

MT HOLLY-HUNTERSVILLE
RD, CHARLOTTE NC 28216

SHEET TITLE

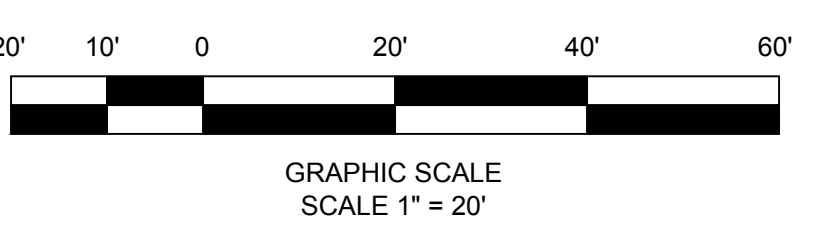
UTILITY PLAN

REVISION 6 - 2019

Job No. : 19007CFA
Store : 4388
Date : 08/15/19

Sheet

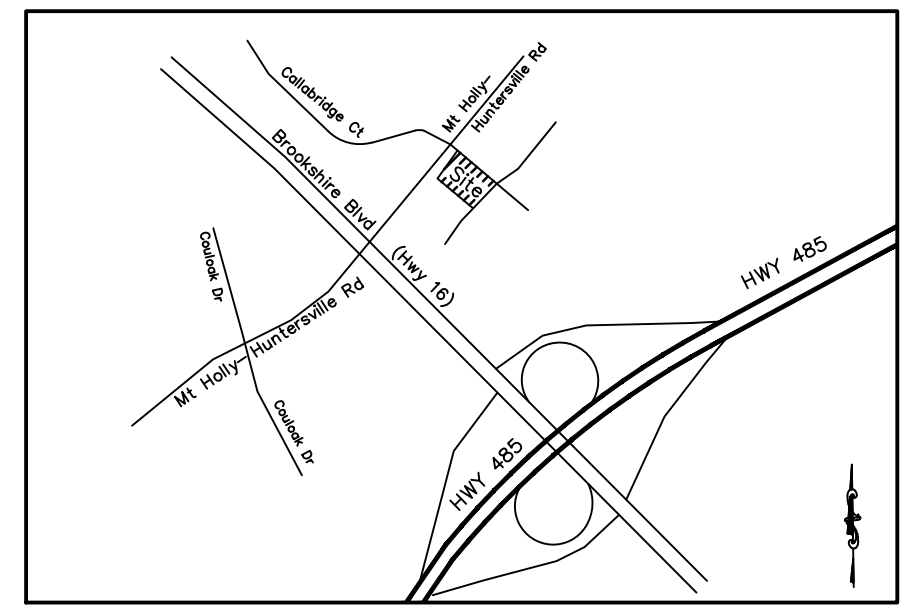
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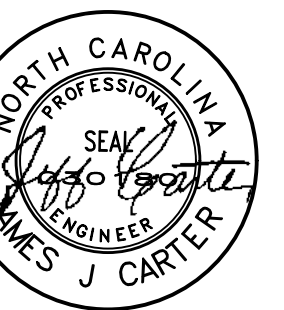
Chick-fil-e

5200 Buffington Rd.
Atlanta Georgia,
30349-2998



LOCATION MAP
SCALE: N.T.S.

DATE	DESCRIPTION
04/05/19	INITIAL SUBMITTAL
07/02/19	ADDRESS SITE COMMENTS
08/15/19	REPRESENTATIVE OVERLAY
08/15/19	PCR
08/27/19	ZONING AMENDMENT APPLICATION
09/18/19	ADDRESS SITE COMMENTS



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STORE # 4388

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SHEET TITLE

GRADING &
DRAINAGE PLAN

REVISION 6 - 2019

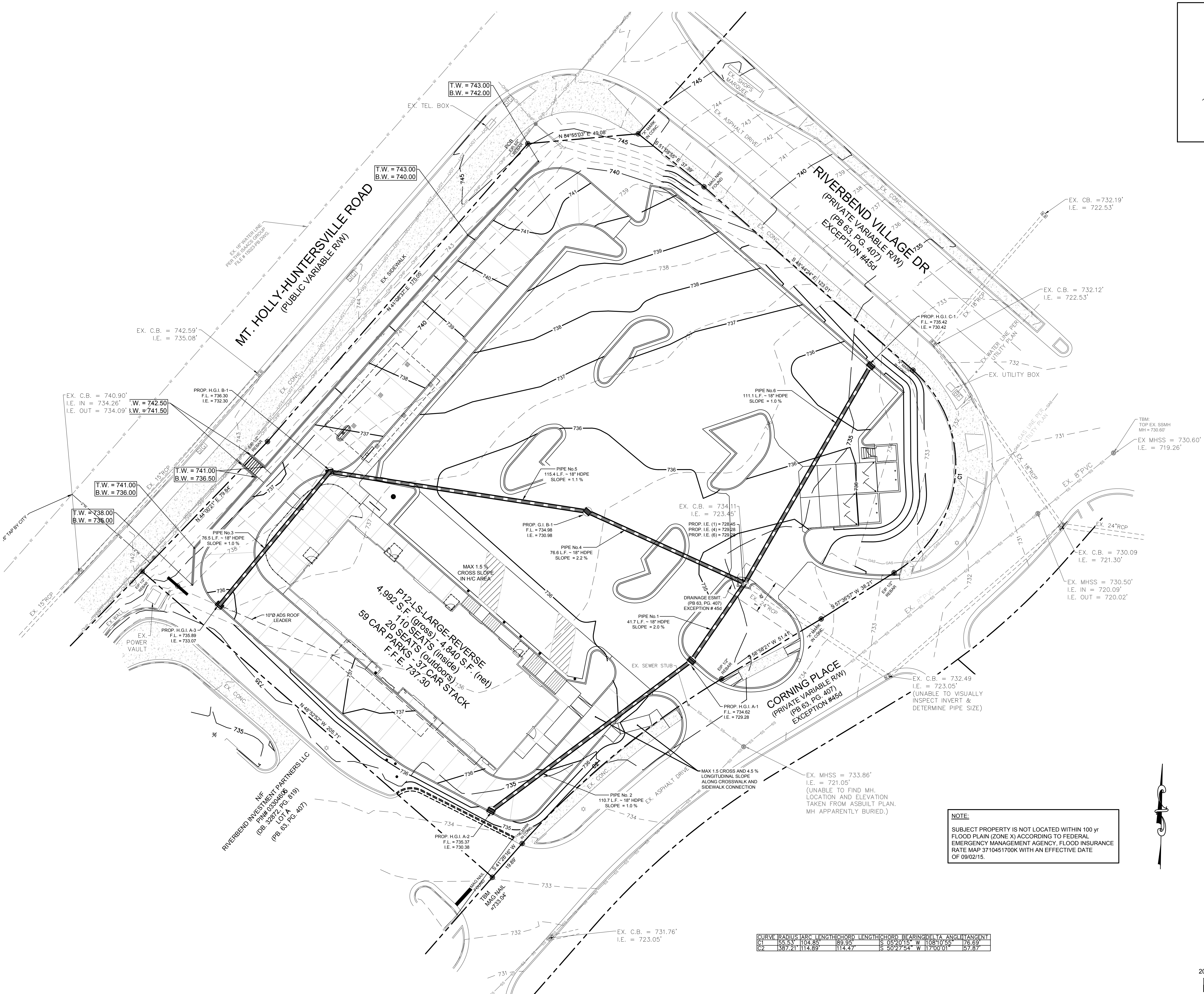
Job No. : 19007CFA

Store : 4388

Date : 08/15/19

Sheet

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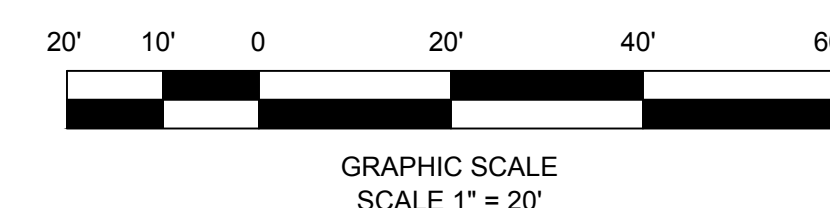


LEGEND

CB	CATCH BASIN
CPP	CORRUGATED PLASTIC PIPE
CT	CRIMPED TOP PIPE
DI	DROP INLET
IE	INVERT ELEVATION
JB	JUNCTION BOX
MH	MANHOLE
OT	OPEN TOP PIPE
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—G—	GUY WIRE
—W—	GAS LINE
—W—	WATER LINE
—OHP—	POWER LINE
—E—	UNDERGROUND POWER LINE
—SS—	SEWER LINE
—FO—	FIBER OPTIC LINE
●	LIGHT POLE
○	POWER POLE
⊙	SANITARY SEWER MANHOLE
⊙	STORM SEWER MANHOLE
⊙	CATCH BASIN
⊙	GAS METER
⊙	POWER METER
⊙	BACKFLOW VALVE

NOTE:
SUBJECT PROPERTY IS NOT LOCATED WITHIN 100 yr FLOOD PLAIN (ZONE X) ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP 3710451700K WITH AN EFFECTIVE DATE OF 09/02/15.

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1	55.53	104.85	89.95	S 05°20'15" W	108°10'55"	76.69
C2	1387.21	114.89	114.47	S 50°27'54" W	117°00'01"	57.87

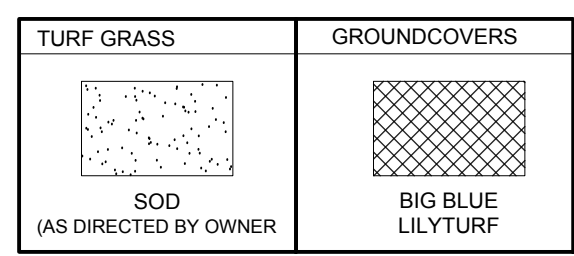


Charlotte Urban Forestry - Tree Planting and Preservation Requirements (Updated 10/10/16)

- Plant Material**
- Minimum tree size at planting is 2" caliper and 8' tall for single-stem trees. All multi-stem plants must be tree form; maximum 3 to 5 trunks, and minimum 10' tall. Where 3" single-stem caliper trees are specified/required the minimum height shall be 10' tall. If multi-stem trees are specified then they shall be a minimum of 12' tall.
 - All new trees must have straight trunks with strong central leaders intact to the top of the crown unless multi-stem trees are specified.
 - All required trees shall be typical of their species and variety, have normal growth habits, have well-developed branches, be vigorous and have fibrous root systems. Trees with major grinding roots will NOT be accepted. Trees with co-dominant branching will NOT be accepted.
 - Trees that have been sheared, topped or cut back to multiply the branching structure will NOT be accepted. Trees shall be free of abrasions, damage, disease, pests and cracks. All pruning cuts greater than 1/2 inch diameter shall have callus tissue formed prior to planting. No pruning out of the trunk shall be more than one-half the diameter of the central leader at the height where the cut was made. Root fares shall be located at grade. Trees with more than 2" of soil covering the root ball/fare from will NOT be accepted.
 - Size of required plants, spread of roots and size of balls shall be in accordance with ANSI Z60.1 (latest edition) as published by the American Nursery & Landscape Association, except where specified/authorized by Urban Forestry.
 - All required trees of a particular species and variety shall be uniform in size and configuration.
 - Perimeter trees in urban zones shall be 3" in caliper and be free of branches up to 6' from the top of root crown (ball).
 - A minimum of 50% of new trees must be native species, and sites with more than 20 trees required will have to install multiple (3 or more) species pursuant to the Tree Ordinance Guidelines.
 - 75% of required trees must be large mature species except in situations with overhead power line conflicts.
 - Planting Requirements
 - See CLDS 40.01 & 40.02 (on plan) for detailed tree planting requirements.
 - Plastic hose parts will NOT be accepted for tree staking. See CLDS 40.01 for approved staking methods/materials.
 - All strapping, and top 1/3 of wire basket and burlap must be cut away and removed from root ball when planting.
 - For new planting areas, remove all pavement, gravel sub-base and construction debris; remove compacted soil and add 18" new topsoil, or fill and amend the top 18" of existing soil to meet topsoil/planting mix standards for trees (within entire minimum area of 274 square feet).
 - Trees planted on public property will need approval from the City Arborist and/or NCCDOT.
 - Review soil requirements in the Tree Ordinance Guidelines at: <http://charlottenc.gov/td>
 - Check trees.
 - If any utility is being installed in or near any required tree(s) or Tree Save Area(s), call Urban Forestry Specialist to resolve PRIOR to utility installation.
 - Large maturing trees may not be planted within 25' of overhead power distribution or transmission lines.
 - If trees conflict with any utilities or signs, call Urban Forestry to resolve BEFORE planting.
 - Adjust tree planting locations to avoid existing underground utilities. Plant 15' from all underground utilities.
 - No light poles, utilities or transformers can be installed in tree islands.
 - Commercial scale lighting (8' - 15' in height) must be a minimum distance of 30' from a tree. Pedestrian scale lighting (5' - 15' in height) must be a minimum distance of 15' from a tree. Show site lighting on landscape plan.
 - Tree Save and Preservation
 - Tree protection must be installed and verified by Urban Forestry prior to starting ANY construction activity.
 - Show tree protection and tree save areas on erosion control, grading and landscape plan sheets.
 - Commercial tree save areas must be recorded on a final plat with the Mecklenburg County Register of Deeds before Urban Forestry holds can be released. A 10' no build zone around tree save areas must be referenced on the plat.
 - Tree Save Areas shall be free of invasive plant species. If an area proposed for tree save contains invasive plant species at time of proposal, such invasive plant species shall be removed prior to final CO.
 - The area of any easements (water, sewer, utility, etc.) can NOT be counted toward the tree save requirement.
 - Any alterations to tree save areas must be accomplished without mechanized equipment.
 - No structure will be allowed within 10' of tree save areas unless approved by Urban Forestry.
 - All trees on public property are protected and removal must be permitted by the city arborist (704)336-4262.
 - Contact Urban Forestry Specialist PRIOR to any crane set-up, machinery operation or temporary building erection that may impact Charlotte Tree Ordinance protected trees or tree save areas, including trees located in street right of way. Impacts may include but are not limited to: encroaching within tree drip-lines, excavation, soil compaction, tree trimming, erecting and dismantling of construction cranes.
 - General
 - Submit required CO/hold release form at <http://charlottenc.gov/td> for an inspection of tree protection/planting areas, a minimum of 5 days before the CO/hold release is needed.
 - Visit City of Charlotte's Land Development website for additional information and urban forestry requirements: <http://charlottenc.gov/td>
 - then click Trees.

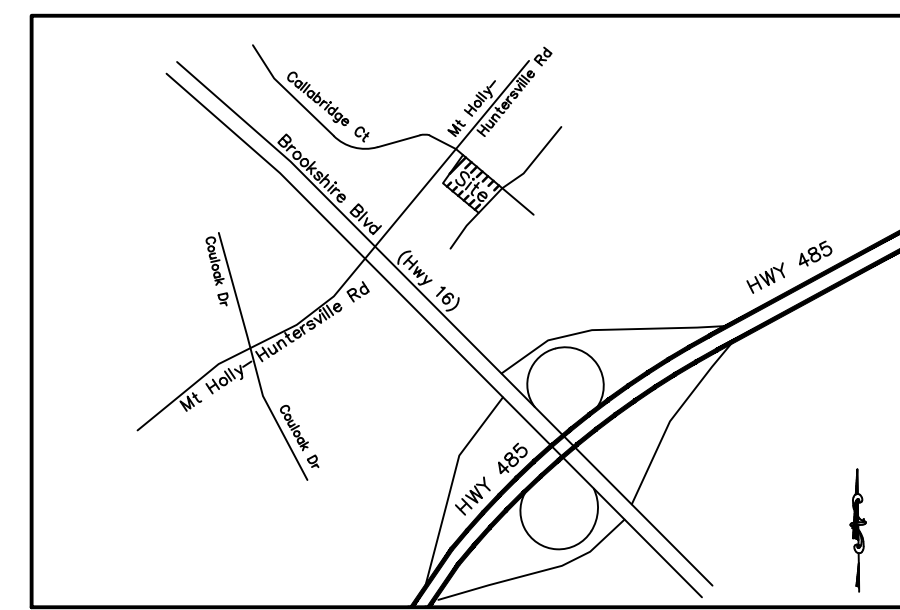
PLANTING NOTES:

- The contractor shall locate and verify all existing and new utility line locations prior to planting, and shall report any conflicts to the landscape architect. The contractor will be responsible for the protection of all underground utilities during the life of the project.
- The contractor is responsible for repair of any damage incurred during the execution of his work.
- The contractor shall stake all tree locations in the field and the staked locations shall be reviewed and approved by Carter Engineering. Carter Engineering may make minor adjustments to the layout without incurring additional costs to the project.
- Mulch all plant areas for trees and shrubs with 3" layer of double ground shredded hardwood mulch.
- Any proposed substitutions of plant species will be with plants with equivalent overall form, height, branching habit, flower color, leaf color, and time of bloom, as approved by Carter Engineering.
- Substitutions shall not be made unless drawings and/or written requests are submitted to Carter Engineering for approval. Carter Engineering shall determine equality based upon complete information submitted by the contractor.
- Trees: provide specimen balled and burlapped, or as specified, trees of height, size, caliper, genus, species, cultivar and branching configuration indicated. The root system of each shall be well provided with fibrous roots. All parts of plant shall be moist and show active green cambium when cut. They shall be free of disease, insect pests, eggs or larvae. All plants to be moved balled and burlapped, must be moved with the root systems as solid units with balls of earth firmly wrapped with untreated burlap, firmly held in place by a stout cord or wire, drum laced, boxed, or in containers.
- Pruning and shaping: prune, thin out, and shape plants in compliance with American Hort's 'American Standards for Nursery Stock' to preserve the natural character and only as approved by Carter Engineering design team. Retain required height and spread. Do not alter shape and do not cut leaders. Remove all dead wood, suckers, broken or bruised branches, and crossing branches.
- Stakes and Guy's to be round cedar posts.
- The Carter Engineering representative reserves the right to reject plant material at the nursery or at the site.
- The trunk flare (at the base of the tree) shall be properly exposed for all plantings.
- Keep root balls intact prior to and during planting operations. Plants with broken or damaged root balls shall be rejected and immediately removed from the site. Keep root balls damp and protected from damage due to sun and wind. Do not shave root balls. Plant soil mixture will be used to backfill the planting area. Install plants simultaneously with installation of planting soil mixes.
- Tree planting: see tree planting detail and specification notes herein for additional information related to planting pit dimensions, planting operations, backfilling, and staking of trees.
- Container stock planting: plant container grown stock the same as specified for balled and burlapped stock, but remove containers completely.
- Soil shall be free of all debris, construction material, and slurry. Landscape areas shall be backfilled with planting soil mixture per details and specifications.
- Obstructions: if obstructions or other conditions detrimental to healthy plant growth are encountered, notify Carter Engineering immediately and request additional instructions.
- Watering and drainage: fill excavations with water and allow water to percolate out before planting. If planting pits do not percolate or drain properly, notify the Carter Engineering and request additional instructions prior to planting. Do not plant into poorly draining planting pits; poorly draining planting pits may hold water and drown plants.
- Flood all plants with water twice within the first 24 hours after planting.
- All plant material shall be mulched after planting. Backfill to allow room for mulch after settling, and place mulch in dish after first watering and within one week of planting. See planting details for mulch thickness.
- All plants shall be plumbed vertically after settling or as directed by Carter Engineering.
- Planting restrictions: plant during one of the following periods:
 - Spring planting (shrubs, groundcover, perennials) - March through May
 - Fall planting (shrubs, groundcover, perennials) - Sept. through November
 - Tree planting - September through April
- Installer agrees to repair or replace plantings and accessories that fail in materials, workmanship or growth within 18-months of substantial completion. Failures include, but are not limited to:
 - Death and unsatisfactory growth, except for defects resulting from the lack of adequate maintenance by owner.
 - Structural failures including plantings falling or blowing over.
- The contractor shall verify the quantities listed in the plant legend. Contractor is responsible for installing all plants shown on planting plans. In case of discrepancies Carter Engineering should be contacted.
- All groundcover quantities shall be determined using the information provided in the groundcover quantity and spacing chart within the Landscape Drawing Set.



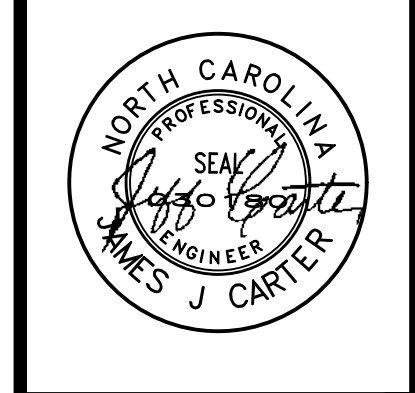
Attached to Administrative Approval

John A. Fort
Solomon A. Fortune



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

NO.	DATE	INITIAL SUBMITTAL	ADDRESS SITE COMMENTS	SITE/PLAN OVERLAY	PC/R	ZONING AMENDMENT APPLICATION	ADDRESS SITE COMMENTS
A	04/05/19						
B	05/20/19						
C	07/23/19						
D	08/15/19						
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XXXXXX
STORE # 4388

MT HOLLY-HUNTERSVILLE
RD, CHARLOTTE NC 28216

SHEET TITLE
LANDSCAPE PLAN

REVISION 6 - 2019

Job No. : 19007CFA
Store : 4388
Date : 08/15/19

Sheet

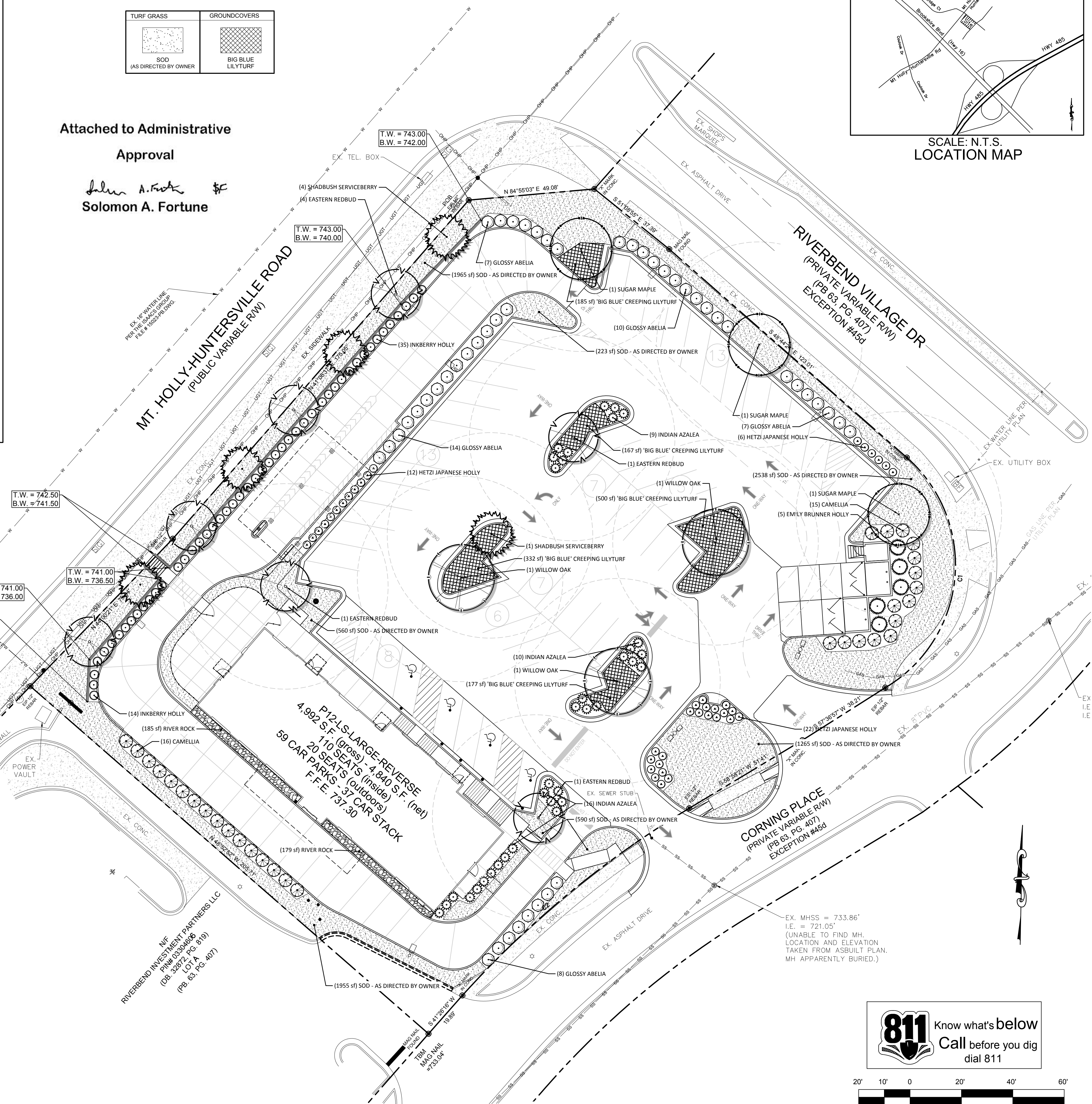
L-1.0

Landscape Calculations:

STREET FRONTAGE:
FOR SMALL MATURING TREES, EACH TREE SHALL HAVE A MINIMUM TWO-INCH CALIPER. ONE SUCH TREE SHALL BE PLANTED FOR EVERY 30 FEET OF FRONTAGE OR FRACTION THEREOF.
- 254.89 FT / 30 = 8.4 = 8 TREES REQUIRED
- PROPOSED 8 SMALL TREES

INTERNAL PLANTING REQUIREMENTS:
INTERNAL TREE PLANTING IS REQUIRED AT THE RATE OF ONE LARGE MATURING SHADE TREE PER 10,000 SQUARE FEET OF IMPERVIOUS COVER OR FRACTION THEREOF.
- IMPERVIOUS AREA 47,748 S.F. / 10,000 = 4.7 = 5 INTERNAL TREES REQUIRED
- PROPOSED 6 INTERNAL TREES

Qty	Botanical Name	Common Name	Shedule Size
Trees			
3	<i>Quercus phellos</i>	Willow Oak	3" Caliper
3	<i>Acer saccharum</i>	Sugar Maple	3" Caliper
5	<i>Amelanchier canadensis</i>	Shadbush Serviceberry	2" Caliper
7	<i>Cercis canadensis</i>	Eastern Redbud	2" Caliper
Shrubs			
5	<i>Ilex "Emily Brunner"</i>	Emily Brunner Holly	3 Gal.
31	<i>Camellia japonica</i>	Camellia	3 Gal. 18"-24" OA
46	<i>Abelia grandiflora</i>	Glossy Abelia	3 Gal. 14"-18" OA
35	<i>Ilex glabra</i>	Inkberry Holly	3 Gal. 14"-18" OA
40	<i>Ilex crenata 'hetzi'</i>	Hetzi Japanese Holly	3 Gal. 12"-18" OA
35	<i>Azalea indica</i>	Indian Azalea	3 Gal. 12"-18" OA
Groundcover			
1176 S.f.	<i>Liriope muscaria 'Big Blue'</i>	Big Blue' Creeping Lilyturf	Sf
364 S.f.		River Rock	Sf
9838 S.f.		SOD (As directed by Owner)	Sf ; SOD



GRAPHIC SCALE
SCALE 1" = 20'



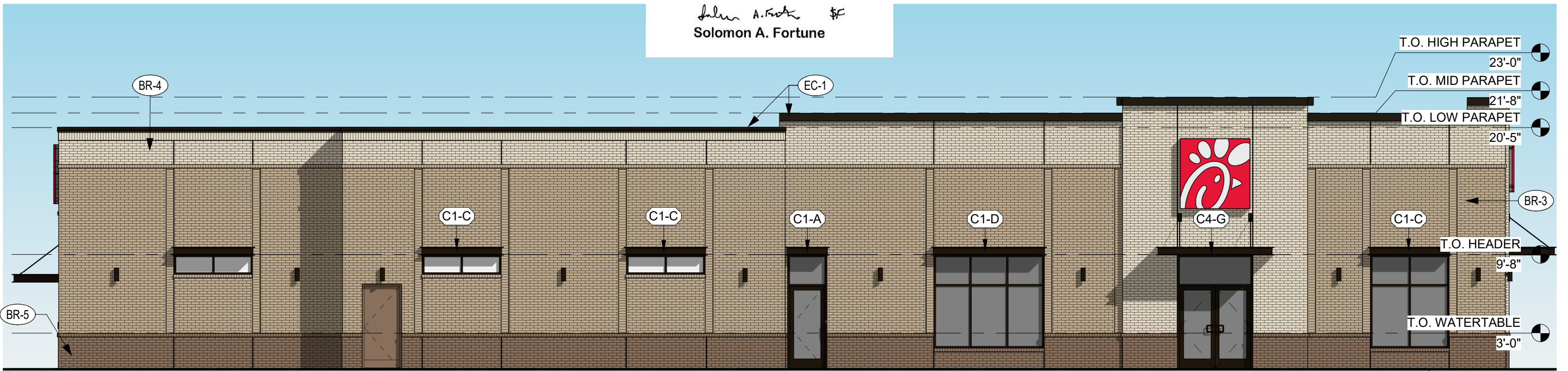
WEST ELEVATION (FACING PRIVATE PROPERTY)

1/8" = 1'-0"

Attached to Administrative

Approval

Solomon A. Fortune
Solomon A. Fortune



EAST ELEVATION (FACING RIVERBEND VILLAGE DRIVE)

1/8" = 1'-0"

EXTERIOR ELEVATIONS

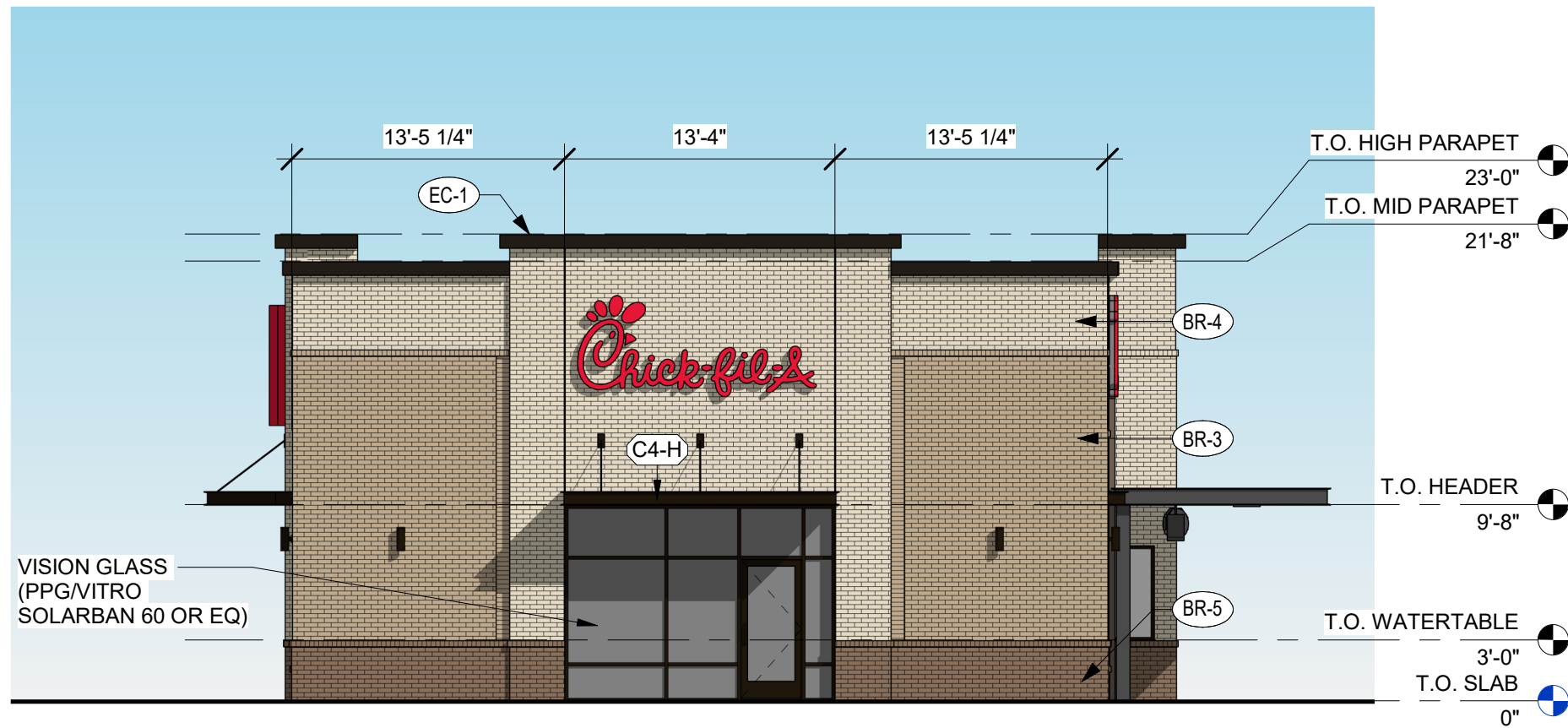
04388, MT. HOLLY-HUNTERSVILLE RD., CHARLOTTE, NC 28216

10/09/2019

THE CHICK-FIL-A DESIGN INTENT PACKAGE REPRESENTS A BRAND COMPLIANT DESIGN SOLUTION. SITE ADAPT PROFESSIONALS ARE RESPONSIBLE FOR APPLICATION OF DESIGN AND COMPLIANCE OF WITH ORDINANCES AND CODES.

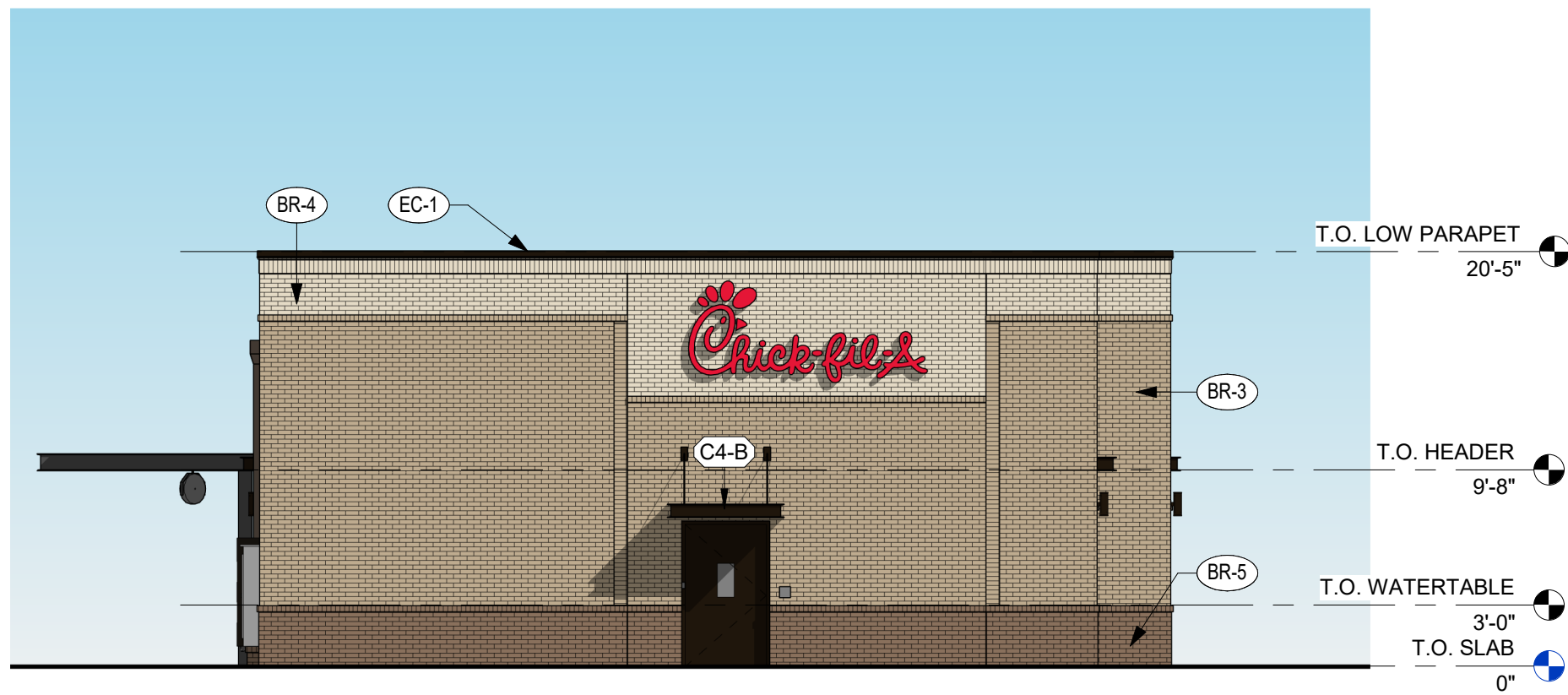


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NORTH ELEVATION (FACING MT. HOLLY-HUNTERSVILLE RD.)

1/8" = 1'-0"



SOUTH ELEVATION (FACING CORNING PLACE)

1/8" = 1'-0"

EXTERIOR ELEVATIONS

A301_ATTACHED CANOPY SCHEDULE

Mark	Description	Count	Overall Width	Overall Depth	Tie Back Mounting (Offset From Top)	Integral Lighting
C1-A	Exterior Canopy	1	3'-9"	1'-0"	0"	Yes
C1-C	Exterior Canopy	5	7'-1"	1'-0"	0"	No
C1-D	Exterior Canopy	4	9'-9"	1'-0"	0"	No
C4-B	Exterior Canopy	1	5'-9"	4'-0"	2'-6"	Yes
C4-G	Exterior Canopy	1	10'-0"	4'-0"	2'-6"	Yes
C4-H	Exterior Canopy	1	13'-9"	4'-0"	2'-6"	Yes
Grand total		13				

Attached to Administrative

Approval

Solomon A. Fortune \$
Solomon A. Fortune

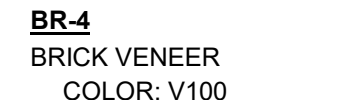
EXTERIOR FINISHES



BR-5
BRICK VENEER
COLOR: KO-KO PLUS CHOCOLATE
SIZE: MODULAR
MORTAR: ARGOS SAN TAN



EC-1
PREFINISHED METAL COPING
COLOR: DARK BRONZE



BR-4
BRICK VENEER
COLOR: V100
SIZE: MODULAR
MORTAR: ARGOS SAN TAN



PT-9
EXTERIOR PAINT
COLOR: DARK BRONZE
FINISH: SEMI-GLOSS



BR-3
BRICK VENEER
COLOR: PALOMA GRAY
SIZE: MODULAR
MORTAR: ARGOS SAN TAN



ST-1
STOREFRONT
COLOR: DARK BRONZE