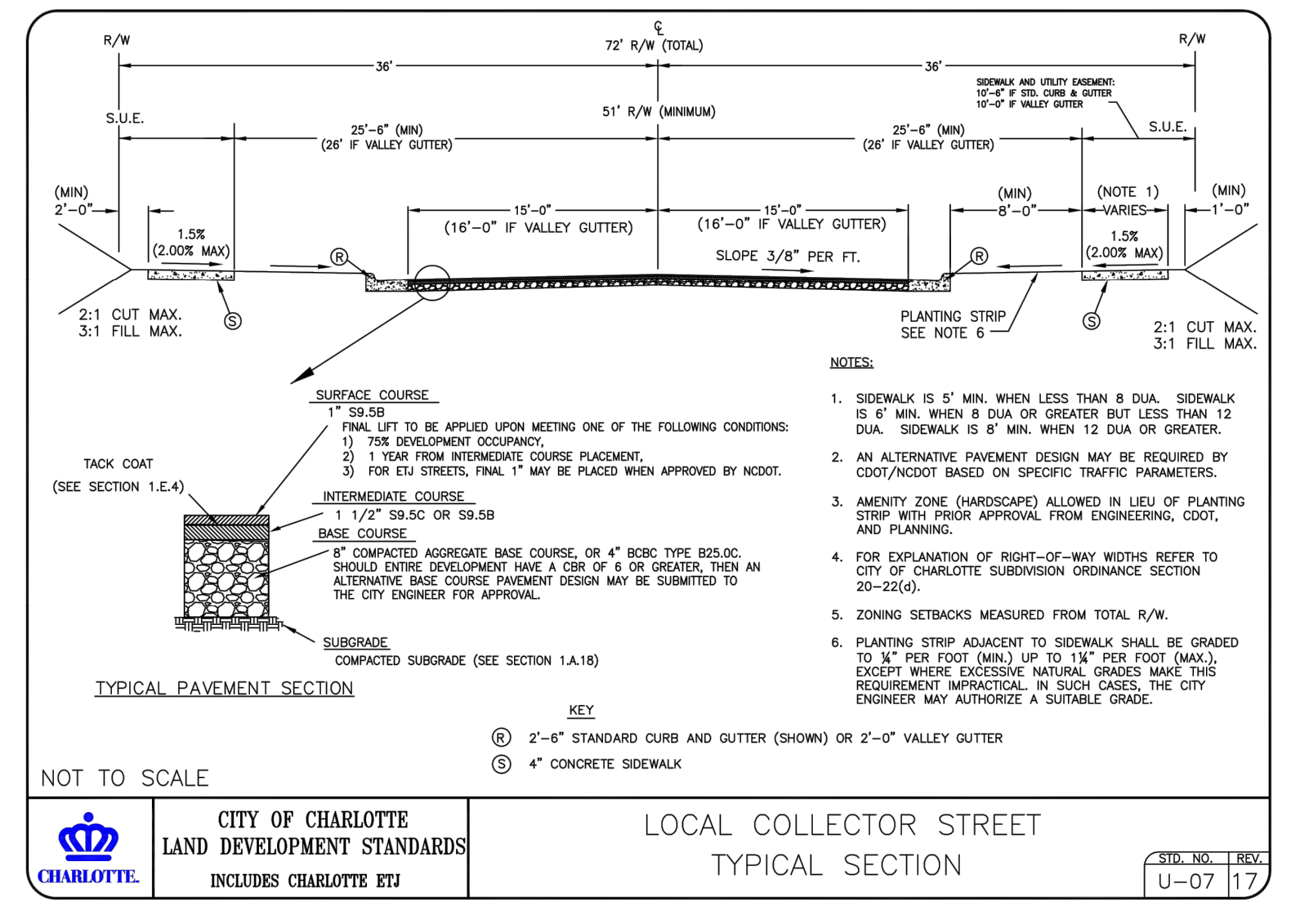
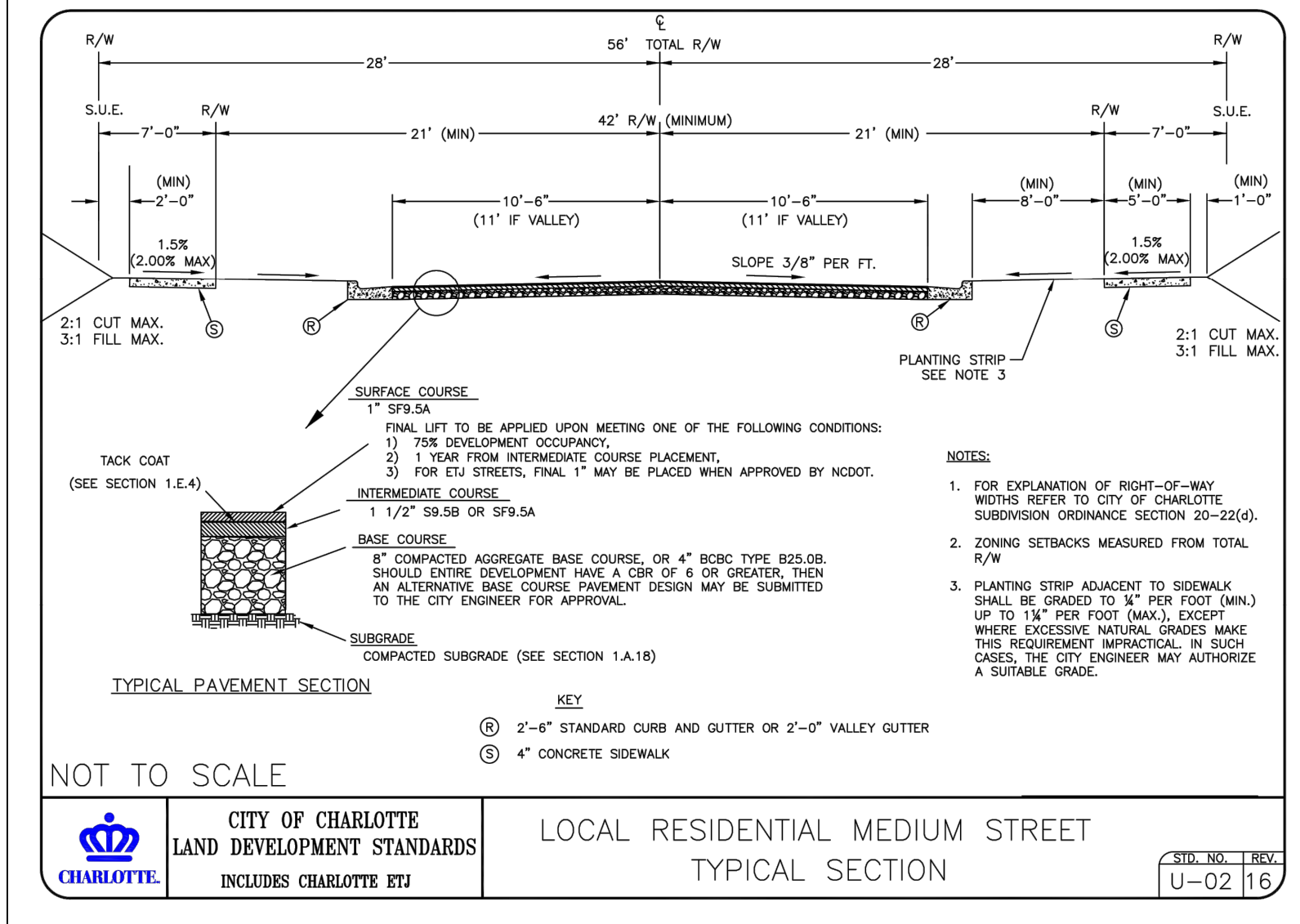
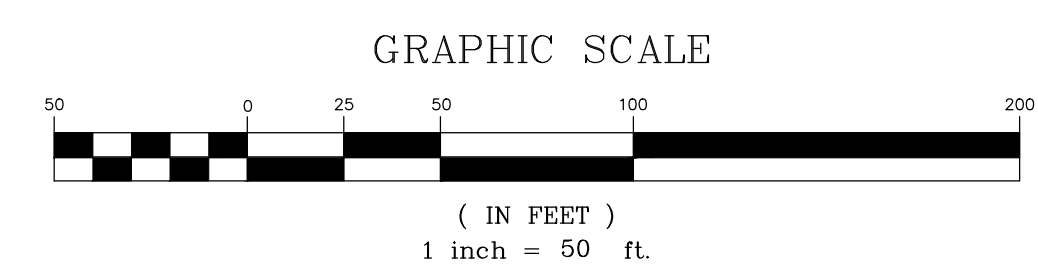
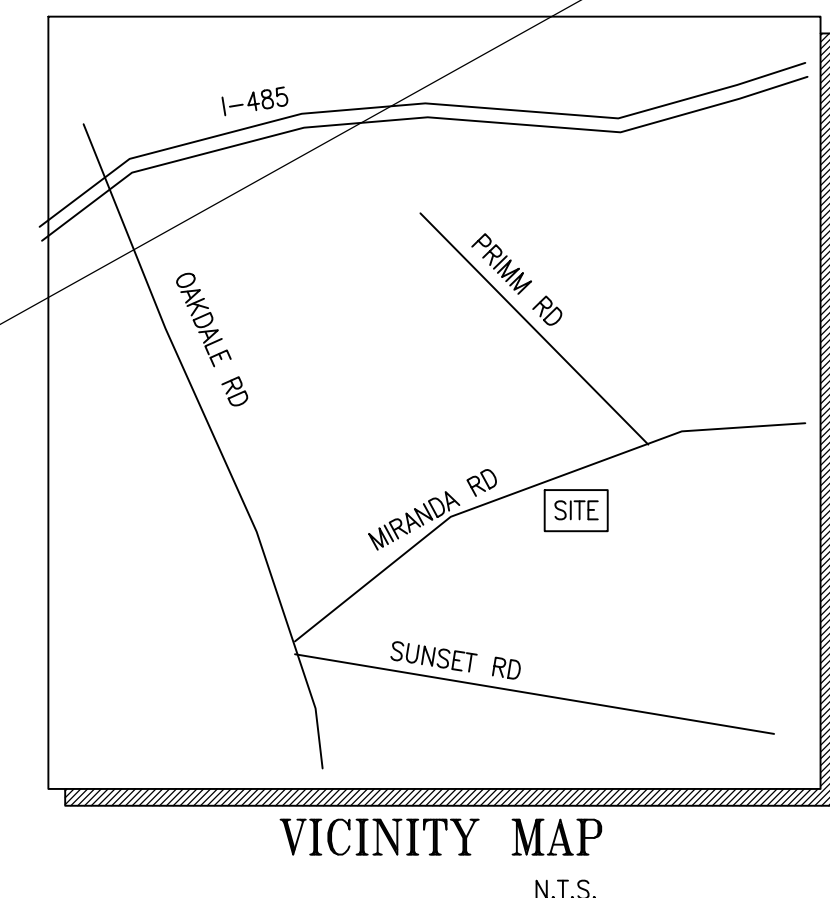
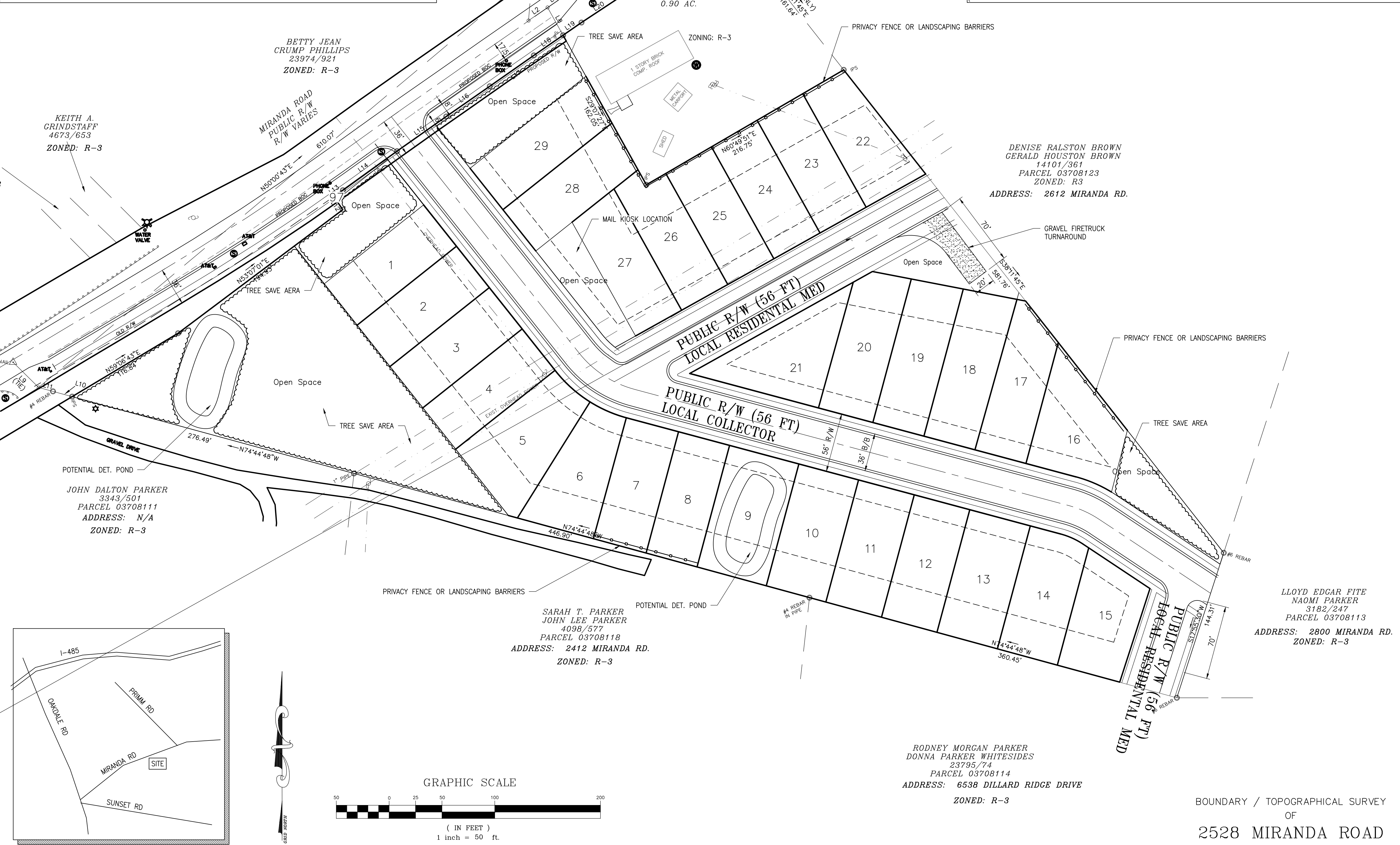


- Development Data Table
 SITE ACREAGE: 7.68 AC
 TAX PARCELS INCLUDED IN REZONING: 03708112
 EXIST. ZONING: R-3 (LAKE WYLIE PROTECTED AREA)
 PROPOSED ZONING: R-5(CD) (LAKE WYLIE PROTECTED AREA)
 PROPOSED USE: SINGLE FAMILY DETACHED
 PROPOSED DENSITY: (3.78) UNITS PER ACRE
 TOTAL UNITS: 29
 OPEN SPACE (NOT INCL. PONDS): 1.3 AC (16.9%)
 MIN. 15% TREE SAVE AREA (1.152 AC) TO BE RESERVED IN OPEN SPACE AREA
 MIN. 6000 SF AREA
 MIN. 50' FRONTAGE
 MIN. 17' FRONT YARD (LOCAL AND COLLECTOR STREETS)
 MIN. 35' REAR YARD
 MIN. 5' SIDE YARD
 MIN. 20' YARD AT THOROUGHFARE STREETS
- General Provisions
 - Development of the site will be controlled by the standards depicted on this site plan and by the standards of the Charlotte Zoning Ordinance. The development depicted on this plan is intended to reflect the arrangement of proposed uses on the site, but the exact configuration, placement, and size of individual site elements may be altered or modified within the limits prescribed by the ordinance during the design development and construction phases as allowed under the provisions of Section 6.2 of the Zoning Ordinance.
 - The Petitioner acknowledges that other standard development requirements imposed by other city ordinances, such as those that regulate streets, sidewalks, trees, and site development, may apply to the development of this site. These are not zoning regulations, are not administered by the Zoning Administrator, and are not separate zoning conditions imposed by this site plan. Unless specifically noted in the conditions for this site plan, these other standard development requirements will be applied to the development of this site as defined by those other city ordinances.
 - Throughout this Rezoning Petition, the terms "Owner", "Owners", "Petitioner" or "Petitioners", shall, with respect to the Site, be deemed to include the heirs, devisees, personal representatives, successors in interest and assignees of the owner or owners of the Site who may be involved in its development from time to time.
- Purpose
 The purpose of this Rezoning application is to provide for the development of a residential community composed of single family detached dwellings. To achieve this purpose, the application seeks the rezoning of the site to the R-5(CD) district.
- Permitted Uses
 Uses allowed on this property included in this Petition will be single family detached dwelling units and related accessory uses as are permitted in the R-5(CD) District.
- Transportation
 - Petitioner shall dedicate in fee simple 36' right-of-way as measured from miranda road's existing centerline along the site's miranda road frontage.
 - All transportation improvements will be approved and constructed before the site's first building certificate of occupancy. Transportation improvements may be phased if said improvements and phasing are explicitly described in site plan notes.
 - Petitioner shall provide 2.5' curb/gutter, an 8' planting strip, and 6' sidewalk along the site's Miranda Rd. frontage.
 - Petitioner shall provide dedication and fee simple conveyance of all rights of way to the City before the site's first building certificate of occupancy is issued. CDOT requests right of way set at 2' behind back of sidewalk where feasible.
 - Per contact with NCDOT, a westbound left turn storage lane is not required at the subdivision entrance.
 - The main entrance road connecting to Miranda Road shall be a Local Collector Street per the typical section.
 - According to the City of Charlotte's Driveway Regulations, CDOT has the authority to regulate/approve all private street/driveway and public street connections to the right-of-way of a street under the regulatory jurisdiction of the City of Charlotte.
 - Adequate sight triangles must be reserved at the existing/proposed street entrance(s). Two 35' x 35' sight triangles (and two 10' x 70' sight triangles on North Carolina Department of Transportation on NCDOT maintained streets) are required for the entrance(s) to meet requirements. All proposed trees, berms, walls, fences, and/or identification signs must not interfere with sight distance at the entrance(s). Such items should be identified on the site plan.
 - The proposed driveway connection(s) to public streets will require a driveway permit(s) to be submitted to CDOT (and the North Carolina Department of Transportation on NCDOT maintained streets) for review and approval. The exact driveway location(s) and type/width of the driveway(s) will be determined by CDOT during the driveway permit process. The locations of the driveway(s) shown on the site plan are subject to change in order to align with driveway(s) on the opposite side of the street and comply with City Driveway Regulations and the City Tree Ordinance.
 - All proposed commercial driveway connections to a future public street will require a driveway permit to be submitted to CDOT for review and approval.
 - Any fence or wall constructed along or adjacent to any sidewalk or street right-of-way requires a certificate issued by CDOT.
 - A Right-of-Way Encroachment Agreement is required for the installation of any non-standard item(s) (irrigation systems, decorative concrete pavement, brick pavers, etc.) within a proposed/existing City maintained street right-of-way by a private individual, group, business, or homeowner's/business association. An encroachment agreement must be approved by CDOT prior to the construction/installation of the non-standard item(s). Contact CDOT for additional information concerning cost, submittal, and liability insurance coverage requirements.
- Architectural Standards
 The development of the site will be governed by the District Regulations of the Zoning Ordinance for the R-5 district.
- Streetscape and Landscaping
 Streetscape and Landscaping shall be in accordance with the City of Charlotte Ordinance Standards and per the noted fencing and landscaping as shown on the Plan.
- Environmental Features
 - The petitioner shall analyze the adequacy of the existing stormwater conveyance across the adjoining parcels receiving stormwater discharge from the site. If the existing stormwater conveyance on the specified off-site parcels is found to be inadequate, the petitioner shall make a good faith effort with the property owner(s) to improve the stormwater conveyance or otherwise mitigate the stormwater discharge onto the parcel(s).
 - A tree survey shall be submitted to the city arborist for approval prior to construction.
 - The location, size, and type of storm water management systems depicted on the rezoning plan are subject to review and approval as part of the full development plan submittal and are not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual storm water treatment requirements and natural site discharge points.
 - Min. 15% tree save area will be required.
 - Erosion control submission will be required.
- Parks, Greenways, and Open Space
 Minimum of 15% Open Space as per the City of Charlotte Zoning Ordinance will be provided.
- Fire Protection
 Fire truck turnaround at end of streets will be provided.
- Signage
 Per City of Charlotte Ordinance requirements
- Lighting
 Per City of Charlotte Ordinance requirements
- Phasing
 N/A



Charlotte Planning Department
APPROVED BY CITY COUNCIL
 December 17, 2018



DARDEN ENGINEERING SERVICES, P.L.L.C.
 842 BRAUNLEY SCHOOL RD, SUITE 202
 MOOREVILLE, N.C. 28117
 PHONE NO. 704.463.7738
 EMAIL: info@dardeng.com

DESIGN NO. PROJECT NO. DRAWN BY: JCD/ML CHECKED BY: 10-2-18

PRELIMINARY NOT FOR CONSTRUCTION

APPROVED FOR CONTRACT	DATE	DATE	DATE
OWNER			

APPROVED BY: DARDEN ENGINEERING SERVICES
 (SEAL AND SIGNATURE OF PROFESSIONAL ENGINEER REQUIRED)
 LICENSE NO. 35010 (CIVIL ENGINEER)

MIRANDA RD SUBDIVISION
 2528 MIRANDA RD
 CHARLOTTE, NC

REZONING SITE PLAN
 PETITION # 18-072

SCALE: AS NOTED

C-1

BOUNDARY / TOPOGRAPHICAL SURVEY
 OF
 2528 MIRANDA ROAD