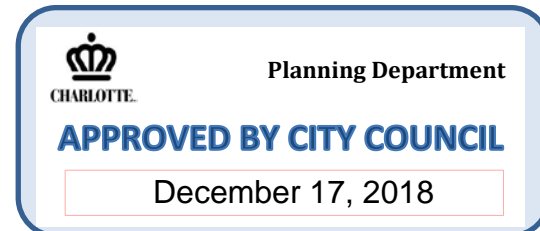


SECTION 1 - DEVELOPMENT DATA TABLE:

SITE ANALYSIS table with columns for category and value. Categories include SITE AREA, TAX PARCEL NUMBER, EXISTING ZONING, PROPOSED ZONING, EXISTING USE, PROPOSED USE, EXISTING BUILDING #1 AREA, EXISTING BUILDING #2 AREA, TOTAL EXISTING BUILDING AREA, FLOOR AREA RATIO (FAR), PARKING, and PROPOSED OPEN SPACE.



LINE LEGEND table listing various utility lines and their corresponding symbols, such as EASEMENT, FENCE, PROPERTY LINE, and various water, sewer, and gas lines.

LEGEND:

Legend table listing abbreviations for various engineering and architectural terms, such as BFP (Back Flow Preventer), CBG (Curb & Gutter), and various pipe and utility symbols.

SECTION 2 - GENERAL PROVISIONS

A. THE PURPOSE OF THIS REZONING REQUEST IS TO PROVIDE FOR THE ADAPTIVE RE-USE AND TO PRESERVE THE EXISTING BUILDINGS AND TO ACCOMMODATE THE REDEVELOPMENT OF AN APPROXIMATELY 0.33 ACRE PROPERTY LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF THE PLAZA AND McCLINTOCK ROAD ALSO IDENTIFIED AS MECKLENBURG COUNTY TAX PARCEL 12901201 (THE "SITE").

B. DEVELOPMENT OF THE SITE IS GOVERNED BY THE CONDITIONAL REZONING PLAN, THESE DEVELOPMENT STANDARDS AND THE APPLICABLE PROVISIONS OF THE CITY OF CHARLOTTE ZONING ORDINANCE (THE "ORDINANCE"), SUBJECT TO THE OPTIONAL PROVISIONS SET OUT BELOW, THE REGULATIONS ESTABLISHED IN THE ORDINANCE FOR THE MIXED USE DEVELOPMENT DISTRICT (MUDD-O). ZONING DISTRICT SHALL GOVERN THE DEVELOPMENT OF THE SITE.

SECTION 3 OPTIONAL PROVISIONS

PETITIONER REQUEST THE APPROVAL OF THE FOLLOWING OPTIONAL PROVISIONS: A. IN ORDER TO PRESERVE THE EXISTING BUILDINGS AND STREET TREES ALONG THE PLAZA, THE PETITIONER REQUEST A REDUCTION IN THE REQUIRED NUMBER OF PARKINGS AS DEPICTED ON THE SCHEMATIC SITE PLAN.

B. THE SIDEWALK SHALL BE ALLOWED TO MEANDER AROUND EXISTING TREES.

SECTION 4 - PERMITTED USES

A. A MAXIMUM OF 7,481 SQUARE FEET (SF) OF EATING, DRINKING AND ENTERTAINMENT ESTABLISHMENTS (TYPE 1 AND/OR TYPE 2) AND ANY OTHER USES THAT ARE PERMITTED UNDER THE ORDINANCE IN THE MUDD-O ZONING DISTRICT.

SECTION 5 - TRANSPORTATION

A. VEHICULAR ACCESS SHALL BE AS GENERALLY DEPICTED ON THE REZONING PLAN. THE PLACEMENT AND CONFIGURATION OF THE ACCESS POINTS ARE SUBJECT TO ANY MINOR MODIFICATIONS REQUIRED BY THE CHARLOTTE DEPARTMENT OF TRANSPORTATION.

B. PROPOSED RIGHT-OF-WAY DEDICATION AND FEE SIMPLE CONVEYANCE TO THE CITY SHALL COMPLETED BEFORE THE SITE'S FIRST BUILDING CERTIFICATE OF OCCUPANCY IS ISSUED. CDOT REQUESTS THAT THE PROPOSED RIGHT-OF-WAY BE SET 2' BEHIND BACK OF SIDEWALK WHERE FEASIBLE.

C. AT THE INTERSECTION OF THE PLAZA & HAMORTON PLACE A PEDESTRIAN ACCESS CROSSING OVER THE PLAZA WITH APPROPRIATE SIDEWALK RAMPS, CROSSWALKS, SIGNAGE AND PEDESTRIAN MEDIAN REFUGE, ETC. SHALL BE CONSTRUCTED PER CDOT APPROVAL. THE CITY OF CHARLOTTE WILL BE RESPONSIBLE FOR RELOCATING ANY EXISTING UTILITIES IMPACTED BY AND OBTAINING ANY RIGHT-OF-WAY OR EASEMENTS NEEDED FOR THE PROPOSED PEDESTRIAN ACCESS CROSSING IMPROVEMENTS.

D. ALL TRANSPORTATION IMPROVEMENTS SHALL BE APPROVED AND CONSTRUCTED PRIOR TO THE TENANT OPENING FOR BUSINESS ON THE SITE. (FOR THE SAKE OF CLARITY, CERTIFICATES OF OCCUPANCY RELATED PERMIT NUMBERS 380874 AND 380875, AND ANY OTHER PERMIT REQUESTED PRIOR TO THE INITIATION OF THIS REZONING, MAY BE ISSUED PRIOR TO THE APPROVAL AND COMPLETION OF THE TRANSPORTATION IMPROVEMENTS BUT TENANT BUSINESS SHALL NOT BE CONDUCTED ON THE SITE UNTIL ALL TRANSPORTATION IMPROVEMENTS ARE APPROVED AND CONSTRUCTED.

SECTION 6 - ARCHITECTURAL STANDARDS

A. EXTERIOR BUILDING MATERIALS MAY INCLUDE BRICK, STONE, CAST STONE, PRECAST CONCRETE, CEMENTITIOUS SIDING, STUCCO, EIFS AND METAL PANEL.

B. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM ADJOINING PUBLIC RIGHT-OF-WAYS AND ABUTTING PROPERTIES AS VIEWED FROM GRADE.

C. DUMPSTER/REFUSE/RECYCLING AREAS SHALL BE ENCLOSED ON ALL FOUR SIDES BY AN OPAQUE WALL WITH ONE SIDE BEING A HINGED OPAQUE GATE. THE DUMPSTER/REFUSE/RECYCLING AREAS MAY BE LOCATED IN THE SETBACKS AND BUFFER YARDS SO LONG AS THEY ARE SCREENED FROM VIEW FROM ADJOINING PUBLIC RIGHT-OF-WAYS AND ABUTTING PROPERTIES AS VIEWED FROM GRADE.

SECTION 7 - SETBACKS & STREETScape & LANDSCAPING

A. DEVELOPMENT OF THE SITE SHALL COMPLY WITH THE SETBACK, SIDE YARD AND REAR YARD REQUIREMENTS OF THE MUDD-O ZONING DISTRICT

B. A 10' PLANTING STRIP WITH 10' SIDEWALK ALONG THE PLAZA AND AN 8' PLANTING STRIP WITH AN 8' SIDEWALK ALONG McCLINTOCK ROAD SHALL BE CONSTRUCTED AS GENERALLY DEPICTED ON THE SCHEMATIC SITE PLAN.

SECTION 8 - ENVIRONMENTAL FEATURES

A. THE PETITIONER SHALL COMPLY WITH THE CHARLOTTE CITY COUNCIL APPROVED AND ADOPTED POST CONSTRUCTION STORMWATER ORDINANCE.

B. DEVELOPMENT OF THE SITE SHALL COMPLY WITH THE CITY OF CHARLOTTE TREE ORDINANCE. THIS SITE WILL MEET THE CHARLOTTE TREE ORDINANCE REQUIREMENTS FOR TREE SAVE AREA BY MAKING A "PAYMENT IN LIEU" AS DESCRIBED IN SECTION 21.84 OF THE TREE ORDINANCE.

SECTION 9 - PARKS, GREENWAYS AND OPEN SPACE

A. THIS SITE DOES NOT MEET THE MINIMUM THRESHOLD OF 50,000 SF FOR URBAN OPEN SPACE, HOWEVER THE PETITIONER HAS ELECTED TO PROVIDE A MINIMUM OF 75 SF OF OPEN SPACE.

SECTION 10 - FIRE PROTECTION

A. ADEQUATE FIRE PROTECTION IN THE FORM OF FIRE HYDRANTS WILL BE PROVIDED TO THE CHARLOTTE FIRE MARSHAL'S SPECIFICATIONS. PLANS FOR EACH BUILDING WILL BE SUBMITTED TO THE FIRE MARSHAL'S OFFICE FOR APPROVAL BEFORE THE CONSTRUCTION.

B. FIRE HYDRANTS SHALL BE INSTALLED SO THAT A FIRE TRUCK DOES NOT HAVE TO TRAVEL MORE THAN 750 FEET TO THE MOST REMOTELY ACCESSIBLE POINT OF ALL BUILDINGS.

SECTION 11 - SIGNAGE

A. SIGNAGE SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ORDINANCE.

SECTION 12 - LIGHTING

A. ALL NEW FREESTANDING LIGHTING FIXTURES INSTALLED ON THE SITE (EXCLUDING STREET LIGHTS AND LOWER DECORATIVE LIGHTING THAT MAY BE INSTALLED ALONG DRIVEWAYS, SIDEWALKS AND PARKING AREAS) SHALL BE FULLY CAPPED AND SHIELDED AND ILLUMINATION DOWNWARDLY DIRECTED SO THAT DIRECT ILLUMINATION DOES NOT EXTEND PAST ANY PROPERTY LINE OF THE SITE.

B. ANY NEW LIGHTING FIXTURES ATTACHED TO THE STRUCTURES ON THE SITE SHALL BE CAPPED AND DOWNWARDLY DIRECTED.

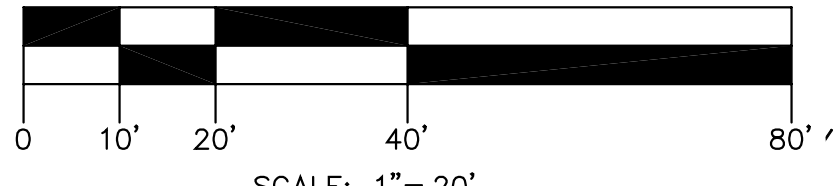
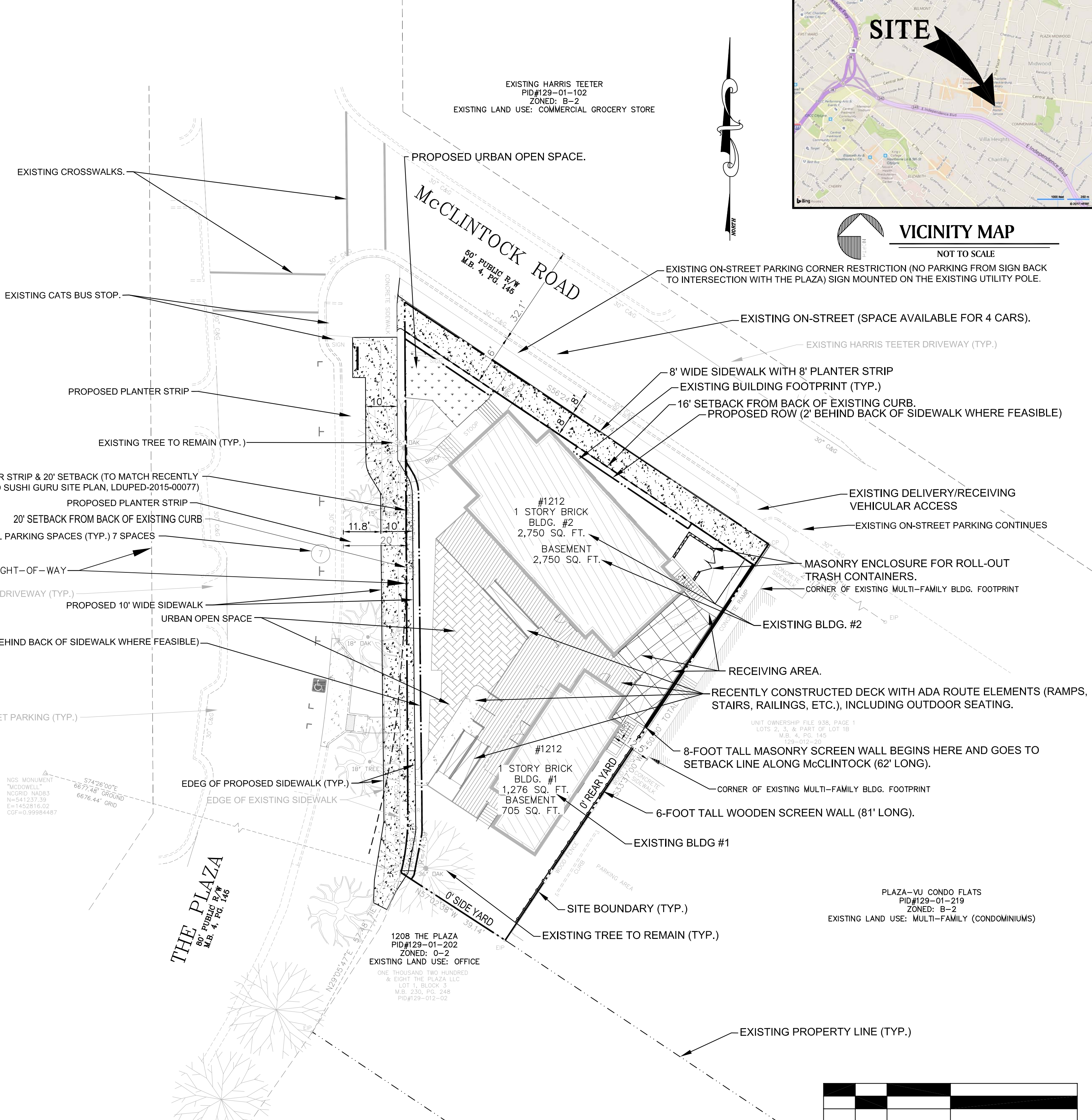
SECTION 13 - PHASING - N/A

SECTION 14 - BINDING EFFECT OF THE REZONING DOCUMENTS AND DEFINITIONS

A. IF THE REZONING PETITION IS APPROVED, ALL CONDITIONS APPLICABLE TO THE USE AND DEVELOPMENT OF THE SITE IMPOSED UNDER THESE DEVELOPMENT STANDARDS AND THE REZONING PLAN WILL, UNLESS AMENDED IN THE MANNER PROVIDED UNDER THE ORDINANCE, BE BINDING UPON AND INURE TO THE BENEFIT OF THE PETITIONER AND THE CURRENT AND SUBSEQUENT OWNERS OF THE SITE AND THEIR RESPECTIVE SUCCESSORS IN INTEREST AND ASSIGNS.

B. THROUGHOUT THESE DEVELOPMENT STANDARDS, THE TERM "PETITIONER" SHALL BE DEEMED TO INCLUDE THE HEIRS, DEVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST AND ASSIGNS OF THE PETITIONER OR THE OWNER OR OWNERS OF THE SITE FROM TIME TO TIME WHO MAY BE INVOLVED IN ANY FUTURE DEVELOPMENT THEREOF.

C. ANY REFERENCE TO THE ORDINANCE HEREIN SHALL BE DEEMED TO REFER TO THE REQUIREMENTS OF THE ORDINANCE IN EFFECT AS OF THE DATE THIS REZONING PETITION IS APPROVED.



PARKING CALCULATIONS

Table with 4 columns: LISTED BY BUILDING AND/OR USE, USE SIZE, # OF SPACES REQUIRED, # OF SPACES PROVIDED. Includes rows for Bldg #1, Bldg #2, outdoor seating, and a 32% parking reduction.

** PARKING INCLUDES 11 ON-STREET SPACES AS DEPICTED ON THE SITE PLAN

REZONING PETITION #2018-086 PROJECT: 1212 THE PLAZA HISTORIC PRESERVATION & REHABILITATION PLAN

1212 THE PLAZA CHARLOTTE, NC 28208 MECKLENBURG COUNTY

REVISIONS

JOB NO.: 2018-107 DRAWN BY: MDN DATE: 9.10.18 SCALE: 1\"/>

SCHEMATIC SITE PLAN RZ.1

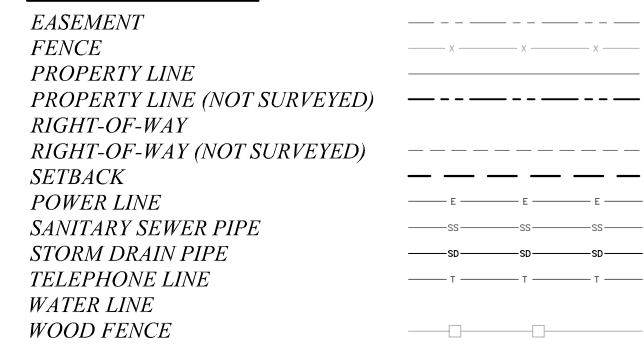
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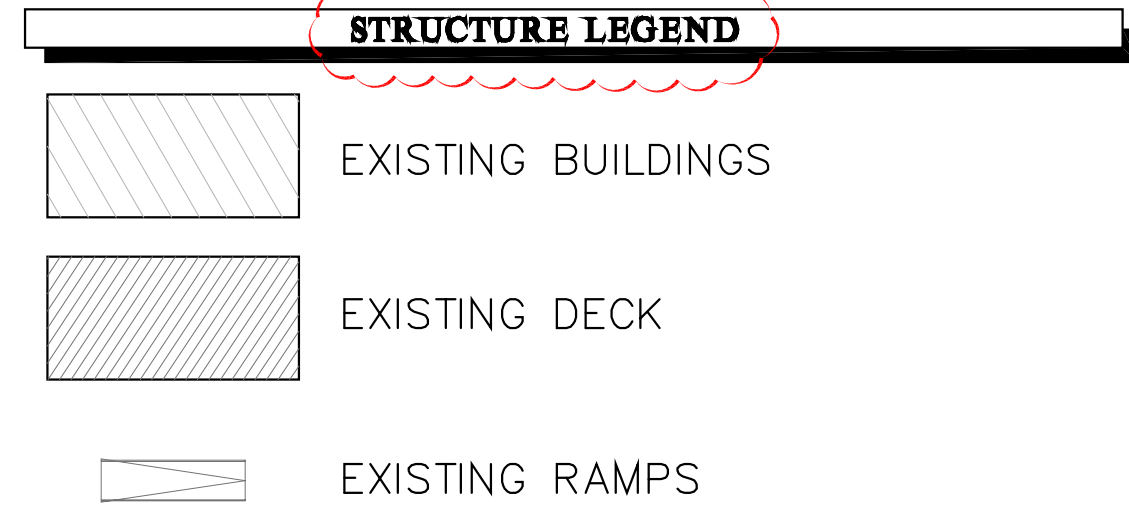
MDV Engineering logo and contact information: C/O Avera Design Group, 215 Johnston Street, Rock Hill, SC 29730, Phone: 704-400-1044, Email: michael@mdveng.com

LINE LEGEND:



LEGEND:

- BFP - BACK FLOW PREVENTER
- C&G - CURB & GUTTER
- CB - CATCH BASIN
- CI - CURB INLET
- CMP - CORRUGATED METAL PIPE
- CP - CALCULATED POINT
- CPP - CORRUGATED PLASTIC PIPE
- CO - CLEAN OUT
- D.B. - DEED BOOK
- DI - DROP INLET
- DIP - DUCTILE IRON PIPE
- KCM - EXISTING CONCRETE MONUMENT
- EIP - EXISTING IRON PIPE
- ER - EXISTING IRON ROD
- EMM - EXISTING METAL MONUMENT
- EN - EXISTING NAIL
- EOG - EDGE OF GRAVEL
- EOP - EDGE OF PAVEMENT
- EO - END TANKWAY
- FC - FIRE CONNECTION
- FH - FIRE HYDRANT
- FP - FLAG POLE
- FV - FIRE VALVE
- GDP - GUARD POST
- GLT - GROUND LIGHT
- GM - GAS METER
- GP - GATE POST
- GV - GAS VALVE
- GP - GUY WIRE
- HVAC - HEATING, VENTILATION, AIR COND.
- HW - HEADWALL
- ICV - IRRIGATION CONTROL VALVE
- JBX - JUNCTION BOX
- LMP - LAMP POST
- IM - MEASURED
- MBX - MAILBOX
- M.B. - MAP BOOK
- MW - MONITORING WELL
- NG.S. - NATIONAL GEODETIC SURVEY
- NIR - NEW IRON ROD
- NN - NEW NAIL
- OHANG - OVERHANG
- PB - POWER BOX
- PIN - PARCEL IDENTIFICATION NUMBER
- PM - POWER METER
- PMH - POWER MANHOLE
- PP - POWER POLE
- PG - PAGE
- PVC - PLASTIC PIPE
- (R) - RECORDED
- RW - RIGHT-OF-WAY
- RCP - REINFORCED CONCRETE PIPE
- RW - RETAINING WALL
- SBB - BILLBOARD
- SDMH - STORM DRAIN MANHOLE
- SMP - MULTI-POST SIGN
- SSMH - SANITARY SEWER MANHOLE
- (T) - TOTAL
- TB - TELEPHONE BOX
- TERR - TERRACOTTA PIPE
- TMH - TELEPHONE MANHOLE
- TSB - TRAFFIC SIGNAL BOX
- TB - CABLE TV BOX
- WB - WATER BOX
- WM - WATER METER
- WSP - WATER SPOGOT
- WV - WATER VALVE



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VICINITY MAP
NOT TO SCALE



P-0883
MDV Engineering
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REZONING PETITION
#2018-086

PROJECT:
1212 THE
PLAZA
HISTORIC
PRESERVATION &
REHABILITATION
PLAN

1212 THE PLAZA
CHARLOTTE, NC 28208
MECKLENBURG COUNTY

REVISIONS

JOB NO.: 2018-107
DRAWN BY: MDN
DATE: 9.10.18
SCALE: 1"=20'

EXISTING
CONDITIONS
PLAN
RZ.2

